



## City of Topeka City Council Agenda

City Council Chambers  
214 SE 8th Street  
Topeka, Kansas 66603  
[www.topeka.org](http://www.topeka.org)

March 21, 2017  
6:00 PM

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### Mayor: Larry E. Wolgast Councilmembers

|                     |                |                 |                |
|---------------------|----------------|-----------------|----------------|
| Karen A. Hiller     | District No. 1 | Brendan Jensen  | District No. 6 |
| Sandra Clear        | District No. 2 | Elaine Schwartz | District No. 7 |
| Sylvia E. Ortiz     | District No. 3 | Jeff Coen       | District No. 8 |
| Tony Emerson        | District No. 4 | Richard Harmon  | District No. 9 |
| Michelle De La Isla | District No. 5 |                 |                |

Interim City Manager: Doug Gerber

**Addressing the Council:** No person shall address the Council during a Council Meeting, unless they have notified the City Clerk at (785)368-3940 by 5:00 P.M. on the day of any Council Meeting of their desire to speak on a specific matter on the published meeting agenda or during the public comment portion of the Council Meeting. This limitation shall not apply to items added during the course of a meeting. The Council does not take action with respect to any subject not on the agenda unless added to the agenda by a two-thirds vote of the Council.

*Persons addressing the City Council will be limited to four (4) consecutive minutes of public address on a particular agenda item. Debate, question/answer dialogue or discussion between Councilmembers will not be counted towards the four (4) minute time limitation. The Chair may extend time with the unanimous consent of the Council or the Council by affirmative vote of five (5) members may extend the four (4) minute limitation.*

*Persons will be limited to addressing the City Council one (1) time on a particular matter unless otherwise allowed by an affirmative vote of five (5) members of the City Council.*

To make arrangements for special accommodations please call 785-368-3940. A 48-hour advance notice is preferred.

The Federal Communications Commission (FCC) has adopted use of the 711 dialing code for access to Telecommunications Relay Services (TRS). TRS permits persons with a hearing or speech disability to use the telephone system via a text telephone (TTY) or other device to call persons with or without such disabilities. To reach the City Clerk's office using the TRS, please dial 711.

(Agendas are available on Thursday afternoon in the City Clerk's office, 215 SE 7th - Room 166 and on the City's web site at <http://www.topeka.org>)

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**CALL TO ORDER:**

**INVOCATION:**

**PLEDGE OF ALLEGIANCE:**

**1. MAYORAL PROCLAMATIONS:**

**"None scheduled at this time."**

**2. PRESENTATIONS:**

**"AutoTheft Update - Topeka Police Department"**

**3. ROLL CALL:**

**4. CONSENT AGENDA:**

**A. Denial of Tort Claim Appeal - Jennifer Ditch**

**DENIAL of a Tort Claim Appeal submitted by Jennifer Ditch in the amount of \$1,000 for alleged damages to her vehicle from a pothole.**

**B. Denial of Tort Claim - Victoria Schultz**

**DENIAL of Tort Claim submitted by Victoria Schultz seeking \$18,797.17 in civil damages.**

**C. Ordinance - Expenditures - February 4-March 3, 2017**

**AN ORDINANCE introduced by Interim City Manager Doug Gerber, allowing and approving City expenditures for the period of February 4, 2017, through March 3, 2017, and enumerating said expenditures therein.**

*(Approval would authorize expenditures in the amount of \$23,854,549.66.)*

**D. MINUTES of the regular meeting of March 14, 2017**

**E. APPLICATIONS:**

**5. ACTION ITEMS:**

**A. Development Agreement - Downtown Topeka Foundation - Downtown Plaza**

**APPROVAL of a Development Agreement between the City of Topeka and the Downtown Topeka Foundation, a not for profit corporation.**

*(Approval would grant transient guest tax (TGT) funding in the total amount of \$3,450,000 for distribution, in accordance with the terms of the Development Agreement, over the course of the next 12 years.)*

**6. NON-ACTION ITEMS:**

**A. Discussion - Zoning Code Updates (ACZR17/01)**

**DISCUSSION of proposed amendments to the Topeka Zoning Regulations, Title 18 of the**

**Municipal Code regarding (1) conversion of the existing C-5 zoning to D-1 zoning and (2) miscellaneous other amendments.**

*(Discuss zoning code amendments to Downtown and other miscellaneous zoning regulations.)*

**B. Discussion - City Manager Recruitment Process**

**DISCUSSION** regarding the process for the recruitment of a City Manager.

*(The discussion will be facilitated by Doug Thomas, Strategic Government Resources.)*

**7. ANNOUNCEMENTS:**

**PRELIMINARY AGENDA**

*(The City Clerk will provide a brief summary of items on the next scheduled Council meeting agenda. Also during this time, the City Manager and Governing Body Members may offer comments regarding City business and announce upcoming events.)*

**8. PUBLIC COMMENT:**

**9. EXECUTIVE SESSION:**

**Executive Sessions** are closed meetings held in accordance with the provisions of the Kansas Open Meetings Act.

*(Executive sessions will be scheduled as needed and may include topics such as personnel matters, considerations of acquisition of property for public purposes, potential or pending litigation in which the city has an interest, employer-employee negotiations and any other matter provided for in K.S.A. 75-4319.)*

**10. ADJOURNMENT:**



**City of Topeka**  
**Council Action Form**  
**Council Chambers**  
**214 SE 8th Street**  
**Topeka, Kansas 66603**  
**[www.topeka.org](http://www.topeka.org)**  
March 21, 2017

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|                              |                                       |                    |
|------------------------------|---------------------------------------|--------------------|
| <b>DATE:</b>                 | <b>March 21, 2017</b>                 |                    |
| <b>CONTACT PERSON:</b>       | <b>Nick Jefferson</b>                 | <b>DOCUMENT #:</b> |
| <b>SECOND PARTY/SUBJECT:</b> | <b>Jennifer Ditch</b>                 | <b>PROJECT #:</b>  |
| <b>CATEGORY/SUBCATEGORY</b>  | <b>011 Lawsuits / 001 State Court</b> |                    |
| <b>CIP PROJECT:</b>          | <b>No</b>                             |                    |
| <b>ACTION OF COUNCIL:</b>    |                                       | <b>JOURNAL #:</b>  |
|                              |                                       | <b>PAGE #:</b>     |

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**DOCUMENT DESCRIPTION:**

**DENIAL** of a Tort Claim Appeal submitted by Jennifer Ditch in the amount of \$1,000 for alleged damages to her vehicle from a pothole.

**POLICY ISSUE:**

City had no prior notice of the pothole and reasonable opportunity to fix the pothole.

**STAFF RECOMMENDATION:**

Staff recommends the Governing Body move to deny the tort claim appeal.

**BACKGROUND:**

The claimant states that on September 9, 2016 at approximately 8:20 a.m. she hit at least two large potholes near the intersection of 33<sup>rd</sup> and Adams Streets. Ms. Ditch claims she suffered damages in the amount of \$1,000 to apparently replace all four rims and tires on her vehicle. A review of City records revealed that the City did not receive any report of any potholes at that location prior to the incident. City crews were in the area at that time sealing cracks on Adams. The manager responsible for the work reported that the driving lanes in that area were all clear and free of any hazards.

**BUDGETARY IMPACT:**

The claimant is seeking \$1,000.00

**SOURCE OF FUNDING:**

Special Liability Fund





Special Liability Fund



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**DATE:** March 21, 2017  
**CONTACT PERSON:** Nickie Lee/kej **DOCUMENT #:**  
**SECOND PARTY/SUBJECT:** Monthly Expenditures **PROJECT #:**  
**CATEGORY/SUBCATEGORY** 014 Ordinances – Non-Codified / 005 Miscellaneous  
**CIP PROJECT:** No  
**ACTION OF COUNCIL:** **JOURNAL #:**  
**PAGE #:**

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**DOCUMENT DESCRIPTION:**

**AN ORDINANCE** introduced by Interim City Manager Doug Gerber, allowing and approving City expenditures for the period of February 4, 2017, through March 3, 2017, and enumerating said expenditures therein.

*(Approval would authorize expenditures in the amount of \$23,854,549.66.)*

**POLICY ISSUE:**

Approve and allow weekly payments of valid operating expenditures, pursuant to Resolution No. 7607.

**STAFF RECOMMENDATION:**

Staff recommends the Governing Body adopt the ordinance.

**BACKGROUND:**

Pursuant to Resolution No. 7607, adopted on April 12, 2005, which provides authorization to pay for certain expenditures prior to approval by the Council in an expenditure ordinance, the expenditures being authorized by this ordinance have been previously paid, in accordance with established procedures and policies for such payments.

**BUDGETARY IMPACT:**

Approved expenditures for the period February 4, 2017 through March 3, 2017, in the amount of \$23,854,549.66.

**SOURCE OF FUNDING:**

Appropriated funds and fees-for-service revenues of various City departments.

**ATTACHMENTS:**

**Description**

Monthly Expenditures

Detail A/P Report for 2/4/17 to 3/3/17

Detail CB55 Report for 2/4/17 to 3/3/17

1 (Published in the Topeka Metro News \_\_\_\_\_)

2  
3  
4 ORDINANCE NO. \_\_\_\_\_

5  
6 AN ORDINANCE introduced by Interim City Manager Doug Gerber, allowing and  
7 approving City expenditures for the period of February 4, 2017,  
8 through March 3, 2017, and enumerating said expenditures herein.  
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF TOPEKA, KANSAS:

11 Section 1. All expenditures made or authorized to be made by issuance of checks  
12 or electronic transfers as enumerated herein, are in accordance with City of Topeka  
13 Resolution No. 7607.

14 Section 2. The claims and expenditures listed in Exhibit A, which is on file in the  
15 City Council Office and the City Clerk's Office and incorporated herein by said reference,  
16 are hereby allowed and approved for payment.

|    |                   |   |                        |
|----|-------------------|---|------------------------|
| 17 | <u>Section 3.</u> | Total of 451 vendor checks written this period          | 2,611,628.03           |
| 18 |                   | Total vendor payments voided in this period (net)       | (00.00)                |
| 19 |                   | Total of 687 ACH transfers to vendors this period       | 17,981,540.09          |
| 20 |                   | Total of 17 payroll checks to employees this period     | 28,652.90              |
| 21 |                   | Total of 3,689 payroll electronic transfers this period | <u>3,232,728.64</u>    |
| 22 |                   | Total for expenditures in this period                   | <u>\$23,854,549.66</u> |

23 Section 4. This ordinance shall take effect and be in force after its passage,  
24 approval and publication in the official city newspaper.

25 PASSED and APPROVED by the Governing Body \_\_\_\_\_

26  
27  
28 ATTEST:

\_\_\_\_\_  
Larry E. Wolgast, Mayor

29  
30  
31 \_\_\_\_\_  
32 Brenda Younger, City Clerk

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.                  | Check Date/PO # | Vendor Name and Number    | Check Amount     |
|----------------------------|-----------------|---------------------------|------------------|
| <b>Electronic Payments</b> |                 |                           |                  |
| 55341                      | 02/10/2017      | COOK & ASSOCIATES LLC     | 10126            |
| 45525 2017                 | CONTRACT        |                           | 9,660.00         |
|                            |                 |                           | <b>9,660.00</b>  |
| 55342                      | 02/10/2017      | HENSON HUTTON MUDRICK &   | 2199             |
| 34105                      | 38032           |                           | 97.50            |
|                            |                 |                           | <b>97.50</b>     |
| 55343                      | 02/10/2017      | LATHROP & GAGE LLP        | 9731             |
| 28817                      | 28817           |                           | 461.50           |
|                            |                 |                           | <b>461.50</b>    |
| 55344                      | 02/10/2017      | 5SC - HOLLIDAY SQUARE LLC | 8851             |
| JANUARY 2017               | CID HOLLIDAY    |                           | 7,885.66         |
|                            |                 |                           | <b>7,885.66</b>  |
| 55345                      | 02/10/2017      | A-1 INC                   | 9301             |
| 0107675 001                | 37112           |                           | 3,290.00         |
|                            |                 |                           | <b>3,290.00</b>  |
| 55346                      | 02/10/2017      | A-1 RENTAL INC            | 20               |
| 53732                      | 37495           |                           | 270.00           |
| 53733                      | 37532           |                           | 90.00            |
| 53735                      | 37495           |                           | 90.00            |
|                            |                 |                           | <b>450.00</b>    |
| 55347                      | 02/10/2017      | AAA CLUB ALLIANCE INC     | 10251            |
| 2470217                    | 37511           |                           | 650.00           |
| 286891                     | 37505           |                           | 38.50            |
| 287094                     | 37505           |                           | 38.50            |
| 287377                     | 37505           |                           | 38.50            |
| 287378                     | 37505           |                           | 38.50            |
| 287379                     | 37505           |                           | 38.50            |
| 287380                     | 37505           |                           | 38.50            |
| 287382                     | 37505           |                           | 38.50            |
| 287430                     | 37505           |                           | 38.50            |
| 287444                     | 37505           |                           | 38.50            |
| 287541                     | 37505           |                           | 38.50            |
| 287576                     | 37505           |                           | 38.50            |
| 287577                     | 37505           |                           | 38.50            |
| 287585                     | 37505           |                           | 38.50            |
| 287646                     | 37505           |                           | 38.50            |
| 287667                     | 37505           |                           | 38.50            |
| 287669                     | 37505           |                           | 38.50            |
| 287727                     | 37431           |                           | 38.50            |
| 287729                     | 37505           |                           | 38.50            |
| 287800                     | 37505           |                           | 38.50            |
| 287803                     | 37505           |                           | 38.50            |
| 287906                     | 37431           |                           | 38.50            |
| 287907                     | 37505           |                           | 38.50            |
| 287911                     | 37505           |                           | 38.50            |
| 287913                     | 37505           |                           | 38.50            |
| 287952                     | 37505           |                           | 38.50            |
| 287953                     | 37505           |                           | 38.50            |
| 288048                     | 37505           |                           | 38.50            |
| 288049                     | 37505           |                           | 38.50            |
| 288050                     | 37505           |                           | 38.50            |
| 288347                     | 37505           |                           | 38.50            |
|                            |                 |                           | <b>1,805.00</b>  |
| 55348                      | 02/10/2017      | AMERICAN PRESORT          | 177              |
| JANUARY 2017               | POSTAGE         |                           | 10,726.42        |
|                            |                 |                           | <b>10,726.42</b> |
| 55349                      | 02/10/2017      | AMERIPRIDE                | 197              |
| 2300756300                 | 37322           |                           | 28.32            |
| 2300756967                 | 37534           |                           | 158.56           |
| 2300756968                 | 37322           |                           | 34.61            |
| 2300756973                 | 37322           |                           | 15.86            |
| 2300756980                 | 37626           |                           | 11.36            |
|                            |                 |                           | <b>552.03</b>    |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.      | Check Date/PO # | Vendor Name and Number        | Check Amount |
|----------------|-----------------|-------------------------------|--------------|
| 2300756981     | 37626           |                               | 35.87        |
| 2300756982     | 37626           |                               | 135.08       |
| 2300756983     | 37626           |                               | 62.06        |
| 2300757053     | 37626           |                               | 70.31        |
| 55350          | 02/10/2017      | ANSWER TOPEKA                 | 237          |
| 170100029      | 37605           |                               | 1,003.37     |
| 55351          | 02/10/2017      | ASSOCIATION OF GOVERNMENT     | 276          |
| 37950 BLOOM AI | 37950           |                               | 40.00        |
| 55352          | 02/10/2017      | AVAAP USA INC                 | 7677         |
| 20164112       | 38016           |                               | 3,500.00     |
| 55353          | 02/10/2017      | BARTLETT & WEST ENGINEERS     | 391          |
| 730059819      | 35236           |                               | 2,926.00     |
| 730059835      | 35798           |                               | 29,184.14    |
| 730059852      | 32656           |                               | 18,818.11    |
| 55354          | 02/10/2017      | BINSWANGER ENTERPRISES LLC    | 7825         |
| I593013253     | 37421           |                               | 50.00        |
| 55355          | 02/10/2017      | BLUE CROSS BLUE SHIELD INC    | 528          |
| FEB 2017 ADMIN | 37524           |                               | 98,793.18    |
| 55356          | 02/10/2017      | BLUE CROSS BLUE SHIELD INC    | 528          |
| W/E 02/07/17   | 37524           |                               | 65,456.57    |
| 55357          | 02/10/2017      | C & C PRODUCE                 | 7788         |
| 001081452      | 37490           |                               | 363.75       |
| 55358          | 02/10/2017      | CDW GOVERNMENT INC            | 857          |
| GMV6927        | 37680           |                               | 6,210.09     |
| GND7095        | 37680           |                               | 656.88       |
| 55359          | 02/10/2017      | CHEMTRADE CHEMCIALS           | 1864         |
| 92014575       | 37571           |                               | 3,230.10     |
| 55360          | 02/10/2017      | CLARKSON CONSTRUCTION COMPANY | 10428        |
| 35586 7        | 35586           |                               | 51,594.34    |
| 55361          | 02/10/2017      | CONCEPTS FOR BUSINESS LLC     | 1063         |
| 42243          | 37527           |                               | 93.50        |
| 55362          | 02/10/2017      | CONCRETE SUPPLY OF TOPEKA     | 1066         |
| 138722         | 37478           |                               | 685.00       |
| 138723         | 37478           |                               | 274.00       |
| 138724         | 37478           |                               | 685.00       |
| 138725         | 37478           |                               | 685.00       |
| 55363          | 02/10/2017      | CONSOLIDATED ELECTRICAL       | 6778         |
| 8795 540141    | 37799           |                               | 86.50        |
| 8795 540583    | 37799           |                               | 204.91       |
| 8795 540607    | 37799           |                               | 188.91       |
| 8795 540635    | 37799           |                               | 235.00       |
| 8795 540642    | 37799           |                               | 35.46        |
| 8795 540772    | 36352           |                               | 11,000.00    |
| 8795 540852    | 36352           |                               | 11,600.00    |
| 8795 540853    | 36352           |                               | 23,200.00    |
| 8795 540952    | 37799           |                               | 99.60        |
| 55364          | 02/10/2017      | CONSOLIDATED RURAL WATER      | 1075         |
|                |                 |                               | 3,344.60     |

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Between 2/4/2017 and 3/3/2017

| Check No.    | Check Date/PO # | Vendor Name and Number           | Check Amount |
|--------------|-----------------|----------------------------------|--------------|
| 37542 1      | 37542           |                                  | 3,344.60     |
| 55365        | 02/10/2017      | COPY CENTER OF TOPEKA 1107       | 135.00       |
| 133935       | 37942           |                                  |              |
| 55366        | 02/10/2017      | CREATIVE LANDSCAPE INC 1166      | 4,045.39     |
| 121289       | 36407           |                                  | 954.70       |
| 121756       | 37087           |                                  | 4,045.39     |
| IRR 074      | 36407           |                                  | -954.70      |
| 55367        | 02/10/2017      | DELTA DENTAL OF KANSAS INC 1323  | 10,385.60    |
| W/E 02/02/17 | 37770           |                                  |              |
| 55368        | 02/10/2017      | DH PACE COMPANY INC 1346         | 377.85       |
| SVC 163794   | 37858           |                                  |              |
| 55369        | 02/10/2017      | DILLONS COMPANY 2918             | 28.48        |
| 1316515967   | 37509           |                                  |              |
| 55370        | 02/10/2017      | DORMA USA INC 9665               | 625.33       |
| 335993       | 37649           |                                  |              |
| 55371        | 02/10/2017      | DOWNTOWN TOPEKA INC 1408         | 17,031.41    |
| 2513         | 34149           |                                  |              |
| 55372        | 02/10/2017      | DUNCAN PARKING TECHNOLOGIES 1440 | 137.33       |
| DPT027768    | 38006           |                                  |              |
| 55373        | 02/10/2017      | DURKIN EQUIPMENT CO 1451         | 6,091.50     |
| 120007117    | 37580           |                                  | 2,051.00     |
| 120007118    | 33192           |                                  | 3,300.90     |
| 120007119    | 33192           |                                  | 739.60       |
| 55374        | 02/10/2017      | ELECTRONICS SUPPLY CO INC 1505   | 395.38       |
| 1652465      | 37560           |                                  |              |
| 55375        | 02/10/2017      | ETHANOL PRODUCTS LLC 9576        | 5,410.76     |
| CO2177329    | 37581           |                                  | 3,678.12     |
| CO2177431    | 37581           |                                  | 1,732.64     |
| 55376        | 02/10/2017      | EXPRESS SERVICES INC 9622        | 4,859.43     |
| 18399936 6   | 37607           |                                  | 563.27       |
| 18399937 4   | 37528           |                                  | 3,762.24     |
| 18399938 2   | 37687           |                                  | 533.92       |
| 55377        | 02/10/2017      | FIT EXCAVATING INC 3126          | 31,796.69    |
| 2060         | 36608           |                                  | 25,960.00    |
| 2061         | 36607           |                                  | 1,081.00     |
| 2064         | 36608           |                                  | 4,755.69     |
| 55378        | 02/10/2017      | FOLEY INDUSTRIES INC 1734        | 25,831.10    |
| R8965001     | 38081           |                                  | 13,673.76    |
| SS340006112  | 38081           |                                  | 1,088.88     |
| SS340006234  | 38081           |                                  | 4,013.90     |
| SS340006273  | 37152           |                                  | 5,407.26     |
| SS340006274  | 37153           |                                  | 1,647.30     |
| 55379        | 02/10/2017      | G COOPERS INC 1100               | 13,476.79    |
| 37027        | 36382           |                                  | 8,467.24     |
| 37028        | 36465           |                                  | 5,009.55     |
| 55380        | 02/10/2017      | GO BLUE LLC 7071                 | 263.76       |

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Between 2/4/2017 and 3/3/2017

| Check No.   | Check Date/PO #                                | Vendor Name and Number               | Check Amount  |
|---|--|--------------------------------------|---|
| 2015 3053   | 33830  |                                      | 263.76  |
| 55381<br>JANUARY 2017                                     | 02/10/2017<br>CID CROSSWINDS                   | GREAT SOUTHERN BANK<br>9969          | 23,981.16<br><b>23,981.16</b>                         |
| 55382<br>138541   | 02/10/2017<br>37590                            | HAMM INC<br>6576                     | 14,451.88<br><b>14,451.88</b>                         |
| 55383<br>3011496079                                       | 02/10/2017<br>37562                            | IDEXX DISTRIBUTION INC<br>2381       | 3,236.36<br><b>3,236.36</b>                           |
| 55384<br>31411 2 FINAL                                    | 02/10/2017<br>31411                            | J WARREN COMPANY INC<br>2469         | 28,101.60<br><b>28,101.60</b>                         |
| 55385<br>31013739<br>31062370                             | 02/10/2017<br>33897<br>37324                   | JC EHRLICH COMPANY INC<br>9677       | 26.00<br>26.00<br><b>52.00</b>                        |
| 55386<br>6 227036   | 02/10/2017<br>37383                            | KAN EQUIPMENT INC<br>2621            | 191.02<br><b>191.02</b>                               |
| 55387<br>130116677<br>130116685<br>130116686<br>130116759 | 02/10/2017<br>37362<br>37362<br>37362<br>37362 | KCR INTERNATIONAL TRUCKS INC<br>1347 | 6.73<br>77.94<br>23.46<br>303.53<br><b>411.66</b>     |
| 55388<br>3041776<br>3041777<br>3041778                    | 02/10/2017<br>37539<br>37954<br>37624          | KEY WORKFORCE SOLUTIONS INC<br>9879  | 835.20<br>1,392.00<br>367.08<br><b>2,594.28</b>       |
| 55389<br>17137<br>17168<br>17218                          | 02/10/2017<br>37760<br>37760<br>37760          | LAWYERS TITLE OF TOPEKA INC<br>3002  | 250.00<br>250.00<br>250.00<br><b>750.00</b>           |
| 55390<br>16 3293<br>17 24                                 | 02/10/2017<br>38083<br>38070                   | LEAGUE OF KANSAS<br>3010             | 25.00<br>34,533.04<br><b>34,558.04</b>                |
| 55391<br>8 16   | 02/10/2017<br>37632                            | LEWIS, GAIL A<br>9952                | 2,083.00<br><b>2,083.00</b>                           |
| 55392<br>87710<br>87714<br>87716                          | 02/10/2017<br>37568<br>37568<br>37568          | LUXURY LAWN & LANDSCAPE INC<br>3147  | 125.00<br>130.00<br>640.00<br><b>895.00</b>           |
| 55393<br>4177   | 02/10/2017<br>37501                            | MATHER FLARE RENTAL INC<br>5791      | 1,025.50<br><b>1,025.50</b>                           |
| 55394<br>14750817   | 02/10/2017<br>37536                            | MATHESON TRI-GAS INC<br>7179         | 0.84<br><b>0.84</b>                                   |
| 55395<br>221915<br>222156<br>222157                       | 02/10/2017<br>37662<br>37662<br>37662          | MEDTRAK SERVICES LLC<br>3330         | 92,165.66<br>17,298.55<br>264.51<br><b>109,728.72</b> |
| 55396<br>36911 2  | 02/10/2017<br>36911                            | MERIDIAN ROOFING SOLUTIONS<br>9641   | 117,299.15<br><b>117,299.15</b>                       |



# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.   | Check Date/PO #   | Vendor Name and Number                | Check Amount  |
|---|---|---------------------------------------|---|
| 55397<br>T0029560011906   | 02/10/2017<br>37393   | MHC KENWORTH<br>3375                  | 50.14<br><b>50.14</b>   |
| 55398<br>553801   | 02/10/2017<br>36959   | MICHAEL & SONS INC<br>3377            | 39,155.00<br><b>39,155.00</b>   |
| 55399<br>37731 JAN 2017   | 02/10/2017<br>37731   | MILLS, RANDY W<br>3456                | 1,876.90<br><b>1,876.90</b>   |
| 55400<br>37732 JAN 2017   | 02/10/2017<br>37732   | MILLS, RICKY A<br>3457                | 1,274.20<br><b>1,274.20</b>   |
| 55401<br>145845   | 02/10/2017<br>37292   | MURPHY, EUGENE EDWARD<br>9492         | 157.00<br><b>157.00</b>   |
| 55402<br>2170   | 02/10/2017<br>37641   | MYGOV LLC<br>9627                     | 1,600.00<br><b>1,600.00</b>   |
| 55403<br>0152 301524  | 02/10/2017<br>37396   | O REILLY AUTO PARTS<br>3714           | 121.97<br><b>121.97</b>   |
| 55404<br>INV 100045986  | 02/10/2017<br>37642   | OPTIV SECURITY INC<br>1700            | 62,247.33<br><b>62,247.33</b>   |
| 55405<br>1106737  | 02/10/2017<br>37569   | POLYDYNE INC<br>5879                  | 11,631.05<br><b>11,631.05</b>   |
| 55406<br>1160001336<br>1160001375<br>1160001507<br>1160001514               | 02/10/2017<br>37432<br>37432<br>37432<br>37432                            | POMPS TIRE SERVICE INC<br>10675       | 16.13<br>100.78<br>16.13<br>16.13<br><b>149.17</b>  |
| 55407<br>248393<br>248394<br>514263<br>514264<br>514438<br>514439<br>514518 | 02/10/2017<br>36708<br>36709<br>36042<br>15649<br>36042<br>35091<br>36943 | PROFESSIONAL ENGINEERING<br>4018      | 1,515.44<br>1,080.00<br>5,244.20<br>19,545.70<br>3,919.30<br>1,545.00<br>3,065.60<br><b>35,915.24</b> |
| 55408<br>114269032  | 02/10/2017<br>37471   | PROTECTION 1 ALARM MONITORING<br>6532 | 168.00<br><b>168.00</b>   |
| 55409<br>2017 03  | 02/10/2017<br>37846   | R & R VENTURES OF TOPEKA INC<br>4065  | 2,016.00<br><b>2,016.00</b>   |
| 55410<br>7571<br>7583   | 02/10/2017<br>37545<br>37710  | RANDY LONG TRUCKING LLC<br>4105       | 31,750.00<br>10,850.00<br><b>42,600.00</b>  |
| 55411<br>00R24455<br>00R24476   | 02/10/2017<br>36799<br>36799  | RED THE UNIFORM TAILOR INC<br>4131    | 355.00<br>710.00<br><b>1,065.00</b>   |
| 55412<br>276938<br>276939<br>276940<br>276941                               | 02/10/2017<br>37645<br>37645<br>37645<br>37645                            | REIN, LINNEA S<br>4166                | 160.50<br>294.00<br>118.00<br>70.00<br><b>1,508.00</b>  |

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| 276942       | 37645           |                                     | 174.00       |
| 276944       | 37645           |                                     | 180.00       |
| 276945       | 37645           |                                     | 73.00        |
| 276948       | 37645           |                                     | 135.00       |
| 276949       | 37645           |                                     | 303.50       |
| 55413        | 02/10/2017      | SANCHEZ PROFESSIONAL CLEANING 10169 | 598.75       |
| 47 A         | 37683           |                                     | 508.75       |
| 47 B         | 37683           |                                     | 90.00        |
| 55414        | 02/10/2017      | SELLERS EQUIPMENT INC 4470          | 5,169.30     |
| IC224722     | 37399           |                                     | 3,666.06     |
| IC224734     | 37399           |                                     | 1,503.24     |
| 55415        | 02/10/2017      | SHI INTERNATIONAL CORPORATION 4540  | 15,141.00    |
| B05987940    | 37734           |                                     | 15,141.00    |
| 55416        | 02/10/2017      | SIMPLIFILE LC 9508                  | 1,293.64     |
| JANUARY 2017 | DE              |                                     | 1,293.64     |
| 55417        | 02/10/2017      | STACKS LLC 2502                     | 434.00       |
| N699135      | DE              | W/O#N076847 1/25/17                 | 33.00        |
| N699137      | DE              | W/O#N076151 1/4/17                  | 37.00        |
| N699138      | DE              | W/O#N076147 1/4/17                  | 253.00       |
| N699142      | DE              | W/O#N077113 1/18/17                 | 37.00        |
| N699144      | DE              | W/O#N076807 1/25/17                 | 50.00        |
| N699145      | DE              | W/O#N077159 1/31/17                 | 24.00        |
| 55418        | 02/10/2017      | STAPLES CONTRACT N COMMERCIAL 4725  | 2,649.11     |
| 3325080941   | 37041           |                                     | 3.71         |
| 3326914515   | 37075           |                                     | -8.26        |
| 3327194464   | 37277           |                                     | 82.18        |
| 3327194471   | 37277           |                                     | 481.44       |
| 3327194478   | 37749           |                                     | 47.84        |
| 3327194479   | 37749           |                                     | 45.32        |
| 3327194480   | 37749           |                                     | 195.60       |
| 3327194481   | 37759           |                                     | 113.44       |
| 3327194482   | 37762           |                                     | 43.53        |
| 3327194483   | 37769           |                                     | 44.99        |
| 3327194485   | 37780           |                                     | 74.18        |
| 3327194488   | 37781           |                                     | 269.02       |
| 3327416157   | 37783           |                                     | 55.60        |
| 3327471653   | 37794           |                                     | 220.88       |
| 3327533815   | 37792           |                                     | 135.77       |
| 3327533816   | 37793           |                                     | 56.01        |
| 3327533817   | 37794           |                                     | 52.73        |
| 3327533818   | 37794           |                                     | 714.48       |
| 3327636601   | 37813           |                                     | 68.14        |
| 3327636602   | 37817           |                                     | 47.49        |
| 3328215528   | 37780           |                                     | -47.49       |
| 3328763719   | 37817           |                                     | -47.49       |
| 55419        | 02/10/2017      | SUNGARD PUBLIC SECTOR INC 4820      | 1,264.04     |
| 132074       | 33427           |                                     | 1,264.04     |
| 55420        | 02/10/2017      | THE GOODYEAR TIRE & RUBBER CO 9375  | 823.37       |
| 123 1054260  | 37425           |                                     | 272.02       |
| 123 1054261  | 37461           |                                     | 551.35       |
| 55421        | 02/10/2017      | THE TERMINIX INTERNATIONAL 10096    | 203.98       |
| 21253778     | 37489           |                                     | 203.98       |
| 55422        | 02/10/2017      | THE TIRE CUTTERS INC 5633           | 885.00       |

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| 53560          | 33494           |                                | 585.00              |
| 53620          | 33494           |                                | 300.00              |
| 55423          | 02/10/2017      | TOPEKA METROPOLITAN TRANSIT    | 8812                |
| SNCO TAX 1/20/ | DE              |                                | 2,397,792.20        |
|                |                 |                                | <b>2,397,792.20</b> |
| 55424          | 02/10/2017      | TRIA HEALTH LLC                | 6938                |
| 0217 0006      | 37773           |                                | 7,450.00            |
|                |                 |                                | <b>7,450.00</b>     |
| 55425          | 02/10/2017      | TRUCK PARTS & EQUIPMENT INC    | 5102                |
| 436567         | 37408           |                                | 740.52              |
| 437034         | 37408           |                                | -350.00             |
|                |                 |                                | <b>390.52</b>       |
| 55426          | 02/10/2017      | U S LIME COMPANY - ST CLAIR    | 5117                |
| 161040         | 37573           |                                | 4,069.08            |
| 161071         | 37573           |                                | 4,023.70            |
| 161089         | 37573           |                                | 4,248.95            |
| 161241         | 37573           |                                | 4,132.28            |
|                |                 |                                | <b>16,474.01</b>    |
| 55427          | 02/10/2017      | UMB BANK NA                    | 5127                |
| PCARD02032017  |                 |                                | 78,873.81           |
| PCARD02072017  |                 |                                | 1,076.05            |
|                |                 |                                | <b>79,949.86</b>    |
| 55428          | 02/10/2017      | VETERINARY MEDICAL & SURGICAL  | 5222                |
| 100130         | 37737           |                                | 90.38               |
|                |                 |                                | <b>90.38</b>        |
| 55429          | 02/10/2017      | WALKER TOWEL & UNIFORM         | 5266                |
| 2219180        | 33374           |                                | 32.25               |
| 2239431        | 37547           |                                | 88.05               |
| 2243066        | 37320           |                                | 12.60               |
| 2243074        | 37469           |                                | 32.25               |
| 2243661        | 37320           |                                | 7.65                |
| 2243662        | 37320           |                                | 23.90               |
|                |                 |                                | <b>196.70</b>       |
| 55430          | 02/10/2017      | YEARY JR, JOHNNY L             | 10637               |
| 2017 1         | 37713           |                                | 600.00              |
|                |                 |                                | <b>600.00</b>       |
| 55431          | 02/10/2017      | RADIOLOGY & NUCLEAR MEDICINE   | 4073                |
| 4052205233     | 38073           |                                | 141.00              |
| 4052205233 (2) | 38073           |                                | 390.00              |
|                |                 |                                | <b>531.00</b>       |
| 55432          | 02/10/2017      | ACE ELECTRIC JONES COMPANY INC | 35                  |
| 3675           | 36901           |                                | 2,813.54            |
|                |                 |                                | <b>2,813.54</b>     |
| 55433          | 02/10/2017      | ANCOR INFORMATION MANAGEMENT   | 7058                |
| 0317 PA        | 37593           |                                | 22,000.00           |
|                |                 |                                | <b>22,000.00</b>    |
| 55434          | 02/10/2017      | BERRY COMPANIES INC            | 5408                |
| 06165020       | 37496           |                                | 1,208.94            |
|                |                 |                                | <b>1,208.94</b>     |
| 55435          | 02/10/2017      | BETTIS ASPHALT & CONSTRUCTION  | 470                 |
| 1701 002       | 36048           |                                | 363,666.91          |
|                |                 |                                | <b>363,666.91</b>   |
| 55436          | 02/10/2017      | BORDER STATES INDUSTRIES INC   | 9824                |
| S5530305 001   | 37559           |                                | 41.54               |
| S5531446 001   | 37559           |                                | 61.49               |
| S5531446 002   | 37559           |                                | 1.41                |
|                |                 |                                | <b>104.44</b>       |
| 55437          | 02/10/2017      | CAPITAL CITY OIL CO INC        | 778                 |
| 1063385        | 37619           |                                | 882.85              |
| 1064579        | 37433           |                                | 17,906.12           |
| 1064631        | 37433           |                                | 30.53               |
|                |                 |                                | <b>21,202.10</b>    |

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| 1064687        | 37433           |                                     | 114.30            |
| 1064989        | 37433           |                                     | 28.50             |
| FN 527         | 37619           |                                     | 2,239.80          |
| 55438          | 02/10/2017      | COGENT INC 3018                     | <b>4,340.82</b>   |
| 5384850        | 37203           |                                     | 4,340.82          |
| 55439          | 02/10/2017      | FERGUSON ENTERPRISES INC 1639       | <b>909.96</b>     |
| 6221871        | 37554           |                                     | 909.96            |
| 55440          | 02/10/2017      | HD SUPPLY FACILITIES 5175           | <b>1,779.87</b>   |
| 160224         | 37596           |                                     | 1,779.87          |
| 55441          | 02/10/2017      | HD SUPPLY WATERWORKS LTD 2146       | <b>6,832.30</b>   |
| G666993        | 37612           |                                     | 6,832.30          |
| 55442          | 02/10/2017      | KRIZ DAVIS COMPANY 2916             | <b>220.47</b>     |
| S101487779 002 | 37922           |                                     | 220.47            |
| 55443          | 02/10/2017      | LINDYSPRING WATER LLC 3071          | <b>32.60</b>      |
| 1074505        | 37986           |                                     | 24.60             |
| 1082786        | 37986           |                                     | 8.00              |
| 55444          | 02/10/2017      | MCELROY'S INC 3289                  | <b>968.35</b>     |
| SVC41241       | 38104           |                                     | 968.35            |
| 55445          | 02/10/2017      | NORTHEAST KANSAS HYDRAULICS IN 3705 | <b>2,064.47</b>   |
| 30907          | 37395           |                                     | 2,064.47          |
| 55446          | 02/10/2017      | OLDCASTLE PRECAST INC 3739          | <b>60.00</b>      |
| 120036604      | 37845           |                                     | 60.00             |
| 55447          | 02/10/2017      | SALISBURY SUPPLY COMPANY INC 4352   | <b>1,835.97</b>   |
| 104824         | 37498           |                                     | 249.19            |
| 104834         | 37483           |                                     | 94.95             |
| 104838         | 37483           |                                     | 18.72             |
| 104939         | 37483           |                                     | 429.00            |
| 104959         | 37483           |                                     | 33.78             |
| 104965         | 37853           |                                     | 917.90            |
| 105117         | 37853           |                                     | 44.00             |
| 105276         | 37483           |                                     | 106.33            |
| 106599         | 37853           |                                     | -57.90            |
| 55448          | 02/10/2017      | SCHMIDTLEIN EXCAVATING INC 4406     | <b>4,775.00</b>   |
| 16128 02 FINAL | 36049           |                                     | 4,775.00          |
| 55449          | 02/10/2017      | SHAWNEE COUNTY 4518                 | <b>702,664.24</b> |
| JANUARY 2017   | DE              |                                     | 702,664.24        |
| 55450          | 02/10/2017      | TAZCO INC 4885                      | <b>46,327.83</b>  |
| 3312           | 37105           |                                     | 646.60            |
| 3313           | 37259           |                                     | 2,297.60          |
| 3317           | 37159           |                                     | 9,427.48          |
| 3318           | 36506           |                                     | 1,694.00          |
| 3319           | 37057           |                                     | 2,103.25          |
| 3320           | 37058           |                                     | 1,617.00          |
| 3321           | 37104           |                                     | 4,381.30          |
| 3322           | 37967           |                                     | 7,642.00          |
| 3323           | 37274           |                                     | 12,406.80         |
| 3324           | 37298           |                                     | 4,111.80          |
| 55451          | 02/10/2017      | TFM COMM INC 4914                   | <b>3,748.51</b>   |

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| 183962     | 36866           |                                     | 2,692.00          |
| 185530     | 37587           |                                     | 100.00            |
| 185531     | 37587           |                                     | 100.00            |
| 185580     | 37587           |                                     | 100.00            |
| 185664     | 37530           |                                     | 756.51            |
| 55452      | 02/10/2017      | TOPEKA ELECTRIC MOTOR REPAIR 5025   | <b>2,248.57</b>   |
| 43866      | 37546           |                                     | 243.57            |
| 44014      | 37861           |                                     | 2,005.00          |
| 55453      | 02/17/2017      | HENSON HUTTON MUDRICK & 2199        | <b>736.31</b>     |
| 34188      | 36403           |                                     | 736.31            |
| 55454      | 02/17/2017      | 4R CONSTRUCTION COMPANY LLC 10254   | <b>8,750.00</b>   |
| 000 054    | 36890           |                                     | 6,200.00          |
| 000 055    | 36936           |                                     | 2,550.00          |
| 55455      | 02/17/2017      | A 1 LOCK & KEY LLC 13               | <b>117.50</b>     |
| 88225      | 37566           |                                     | 117.50            |
| 55456      | 02/17/2017      | AAA CLUB ALLIANCE INC 10251         | <b>808.50</b>     |
| 244082     | 37505           |                                     | 38.50             |
| 287589     | 37505           |                                     | 38.50             |
| 287673     | 37505           |                                     | 38.50             |
| 287734     | 37505           |                                     | 38.50             |
| 287735     | 37505           |                                     | 38.50             |
| 287736     | 37505           |                                     | 38.50             |
| 287858     | 37505           |                                     | 38.50             |
| 287860     | 37505           |                                     | 38.50             |
| 287917     | 37505           |                                     | 38.50             |
| 287918     | 37505           |                                     | 38.50             |
| 287955     | 37505           |                                     | 38.50             |
| 287957     | 37505           |                                     | 38.50             |
| 288001     | 37505           |                                     | 38.50             |
| 288007     | 37505           |                                     | 38.50             |
| 288054     | 37505           |                                     | 38.50             |
| 288349     | 37505           |                                     | 38.50             |
| 288350     | 37505           |                                     | 38.50             |
| 288352     | 37505           |                                     | 38.50             |
| 288353     | 37505           |                                     | 38.50             |
| 288354     | 37505           |                                     | 38.50             |
| 293348     | 37505           |                                     | 38.50             |
| 55457      | 02/17/2017      | ADVANCED ENVIRONMENTAL TESTING 8000 | <b>1,764.00</b>   |
| 2063       | 37928           |                                     | 1,764.00          |
| 55458      | 02/17/2017      | ALTERNATIVES EAP LLC 8445           | <b>1,681.47</b>   |
| 7030       | 38126           |                                     | 1,681.47          |
| 55459      | 02/17/2017      | AMERIPRIDE 197                      | <b>552.14</b>     |
| 2300758764 | 37322           |                                     | 28.32             |
| 2300759339 | 37534           |                                     | 159.26            |
| 2300759340 | 37322           |                                     | 34.61             |
| 2300759356 | 37322           |                                     | 15.86             |
| 2300759372 | 37626           |                                     | 10.56             |
| 2300759374 | 37626           |                                     | 35.87             |
| 2300759376 | 37626           |                                     | 135.29            |
| 2300759378 | 37626           |                                     | 62.06             |
| 2300759509 | 37626           |                                     | 70.31             |
| 55460      | 02/17/2017      | AMINO BROTHERS CO INC 8026          | <b>108,284.24</b> |
| 35021 8    | 35021           |                                     | 108,284.24        |

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| 55461<br>161200024                        | 02/17/2017<br>38107                            | ANSWER TOPEKA 237                   | 74.50<br><b>74.50</b>   |
| 55462<br>R97165                           | 02/17/2017<br>LEASE FIRE TRU                   | BANC OF AMERICA PUBLIC CAPITAL 7209 | 338,793.68<br><b>338,793.68</b>                                   |
| 55463<br>24722                            | 02/17/2017<br>37350                            | BERGKAMP INC 454                    | 27.77<br><b>27.77</b>   |
| 55464<br>W/E 02/14/17                     | 02/17/2017<br>37524                            | BLUE CROSS BLUE SHIELD INC 528      | 58,946.61<br><b>58,946.61</b>                                     |
| 55465<br>100024                           | 02/17/2017<br>38175                            | BOYS & GIRLS CLUB OF TOPEKA 576     | 3,000.00<br><b>3,000.00</b>                                       |
| 55466<br>2604                             | 02/17/2017<br>37892                            | BREATHING AIR SERVICES INC 601      | 945.00<br><b>945.00</b>   |
| 55467<br>BMS568623                        | 02/17/2017<br>37629                            | BRENNTAG MID SOUTH 607              | 3,207.07<br><b>3,207.07</b>                                       |
| 55468<br>35738 7                          | 02/17/2017<br>35738                            | BURNS & MCDONNELL 10450             | 111,106.30<br><b>111,106.30</b>                                   |
| 55469<br>001084194                        | 02/17/2017<br>37490                            | C & C PRODUCE 7788                  | 549.50<br><b>549.50</b>   |
| 55470<br>440893                           | 02/17/2017<br>37384                            | CENTURY BUSINESS TECHNOLOGIES 870   | 1,655.21<br><b>1,655.21</b>                                       |
| 55471<br>4291                             | 02/17/2017<br>37761                            | COLLECTION BUREAU 1023              | 1,800.52<br><b>1,800.52</b>                                       |
| 55472<br>17116002                         | 02/17/2017<br>37971                            | COLUMBIA CAPITAL MANAGEMENT LL 1038 | 4,500.00<br><b>4,500.00</b>                                       |
| 55473<br>36828<br>36829<br>36830<br>36831 | 02/17/2017<br>36189<br>37199<br>37200<br>37648 | COOK FLATT & STROBEL ENGINEERS 1089 | 27,108.22<br>8,600.00<br>2,594.00<br>3,296.00<br><b>41,598.22</b> |
| 55474<br>W/E 02/09/17                     | 02/17/2017<br>37770                            | DELTA DENTAL OF KANSAS INC 1323     | 12,731.20<br><b>12,731.20</b>                                     |
| 55475<br>1316518982                       | 02/17/2017<br>37509                            | DILLONS COMPANY 2918                | 24.95<br><b>24.95</b>   |
| 55476<br>SI347755<br>SI347928             | 02/17/2017<br>37831<br>37867                   | DLT SOLUTIONS LLC 1370              | 1,422.12<br>1,634.16<br><b>3,056.28</b>                           |
| 55477<br>16YSS5DSP                        | 02/17/2017<br>37001                            | DOORSTEP INC 1385                   | 8,571.50<br><b>8,571.50</b>                                       |
| 55478<br>BID ADMIN 2017<br>BID ADMIN 2017 | 02/17/2017<br>CONTRACT<br>CONTRACT             | DOWNTOWN TOPEKA INC 1408            | 8,110.52<br>8,110.52<br><b>16,221.04</b>                          |
| 55479<br>36928                            | 02/17/2017<br>37823                            | EMBROIDERY PLUS 1522                | 72.51<br><b>72.51</b>   |

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| 55480          | 02/17/2017      | ESRI INC 1569                       | 56,306.85    |
| 93242121       | 37832           |                                     | 56,306.85    |
| 55481          | 02/17/2017      | ETHANOL PRODUCTS LLC 9576           | 3,020.81     |
| CO2178041      | 37581           |                                     | 1,283.81     |
| CO2178145      | 37581           |                                     | 1,737.00     |
| 55482          | 02/17/2017      | EUROFINS EATON ANALYTICAL INC 8594  | 2,120.00     |
| L0301733       | 37543           |                                     | 2,120.00     |
| 55483          | 02/17/2017      | EXPRESS SERVICES INC 9622           | 4,237.10     |
| 18430111 7     | 37607           |                                     | 563.98       |
| 18430112 5     | 37528           |                                     | 3,673.12     |
| 55484          | 02/17/2017      | FIT EXCAVATING INC 3126             | 13,444.33    |
| 2069           | 36960           |                                     | 13,444.33    |
| 55485          | 02/17/2017      | FOLEY INDUSTRIES INC 1734           | 13,673.36    |
| R8965002       | 38081           |                                     | 13,178.76    |
| SS240009599    | 37366           |                                     | 494.60       |
| 55486          | 02/17/2017      | FRIENDS OF THE TOPEKA ZOO 1794      | 257.42       |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 36.39        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 50.41        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 6.68         |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 15.85        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 9.85         |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 13.19        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 1.00         |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 11.35        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 28.92        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 64.76        |
| FOTZ170217162: |                 | Friends of the Topeka Zoo Pass      | 19.02        |
| 55487          | 02/17/2017      | HARRIS & SONS ENTERPRISES INC 7996  | 2,728.00     |
| 481            | 37218           |                                     | 2,728.00     |
| 55488          | 02/17/2017      | HELPING HANDS HUMANE SOCIETY I 2183 | 4,035.96     |
| 37646 JAN 2017 | 37646           |                                     | 4,035.96     |
| 55489          | 02/17/2017      | HERNLY ENVIRONMENTAL INC 9487       | 695.00       |
| 756            | 37686           |                                     | 695.00       |
| 55490          | 02/17/2017      | INNOVATIVE BUSINESS CONCEPTS 8226   | 13.22        |
| 363            | 37515           |                                     | 13.22        |
| 55491          | 02/17/2017      | KANSAS GAS SERVICE 2707             | 35,616.69    |
| 51000034314520 |                 | 620 MADISON - COMMONS .14%          | 1.46         |
| 51000034314520 |                 | 620 MADISON - HOLLIDAY ROOM 5.      | 57.43        |
| 51000034314520 |                 | 620 MADISON - WELLNESS CLINIC       | 34.14        |
| 51000034314520 |                 | 620 MADISON - TPD INTERNAL AFF      | 15.24        |
| 51000034314520 |                 | 620 MADISON - WATER 3.6%            | 37.59        |
| 51000034314520 |                 | 620 MADISON - HND 14.6%             | 152.44       |
| 51000034314520 |                 | 620 MADISON - IT 5.3%               | 55.34        |
| 51000034314520 |                 | 620 MADISON - TSG 5.6%              | 58.47        |
| 51000034314520 |                 | 620 MADISON - PARKING 3.12%         | 32.58        |
| 51000034314520 |                 | 620 MADISON - ENG 18.8%             | 196.30       |
| 51000034314520 |                 | 620 MADISON - CODE 4.9%             | 51.16        |
| 51000034314520 |                 | 620 MADISON - DSD PERMIT 6.45%      | 67.35        |
| 51000034314520 |                 | 620 MADISON - DSD INSPECTION 6      | 67.35        |
| 51000034314520 |                 | 620 MADISON - TPD EMER COMM 2.      | 30.49        |
| 51000034314520 |                 | 620 MADISON - FIRE INS 2.52%        | 26.31        |

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| 51000034314520 |                 | 620 MADISON - PW ADMIN 4.07%   | 42.50        |
| 51000034314520 |                 | 620 MADISON - PLANNING 11.3%   | 117.98       |
| 51001191514520 |                 | 504 NW WINTER                  | 315.28       |
| 51001708814474 |                 | 1200 NE DIVISION               | 372.25       |
| 51006027914474 |                 | 322 NW CRANE - PD IMP LOT      | 561.49       |
| 51007832216467 |                 | 1115 NE POPLAR                 | 1,947.71     |
| 51007832216467 |                 | 1115 NE POPLAR                 | 1,278.77     |
| 51011344914474 |                 | 2816 SW 29TH                   | 395.87       |
| 51013629514474 |                 | 324 SE JEFFERSON ACA           | 728.73       |
| 51014508715501 |                 | 2521 SE 2ND ST                 | 383.91       |
| 51014508716424 |                 | 2200 SW CENTRAL PRK            | 1,024.90     |
| 51018419516294 |                 | 6305 SW 9TH                    | 599.87       |
| 51020418414475 |                 | 5961 SW 10TH                   | 188.48       |
| 51020900114474 |                 | 1115 NE POPLAR                 | 1,472.09     |
| 51023202614474 |                 | 318 SE JEFFERSON #3            | 622.56       |
| 51026676414474 |                 | 312 SE JEFFERSON FIRE ADMIN 54 | 748.69       |
| 51026676414474 |                 | 312 SE JEFFERSON FLEET 46%     | 637.77       |
| 51029659016010 |                 | 2101 SW URISH #12              | 680.48       |
| 51029919914474 |                 | 1215 SW OAKLEY #7              | 534.46       |
| 51030363914521 |                 | 320 S KANSAS AVE CHIEF OFF 3.0 | 51.90        |
| 51030363914521 |                 | 320 S KANSAS AVE EXEC SRV 1.0  | 17.30        |
| 51030363914521 |                 | 320 S KANSAS AVE TRAIN 1.0%    | 17.30        |
| 51030363914521 |                 | 320 S KANSAS AVE ADULT CRIME 7 | 121.10       |
| 51030363914521 |                 | 320 S KANSAS AVE CRIME SCENE 1 | 17.30        |
| 51030363914521 |                 | 320 S KANSAS AVE FIELD OPS 26. | 455.15       |
| 51030363914521 |                 | 320 S KANSAS AVE COMM POLICE 2 | 34.60        |
| 51030363914521 |                 | 320 S KANSAS AVE SCHOOL RES 2. | 34.60        |
| 51030363914521 |                 | 320 S KANSAS AVE MOTORCYCLE UN | 17.30        |
| 51030363914521 |                 | 320 S KANSAS AVE ANIMAL CONTRO | 51.90        |
| 51030363914521 |                 | 320 S KANSAS AVE REC/PROP 6.0% | 103.80       |
| 51030363914521 |                 | 320 S KANSAS AVE PD IT .32%    | 5.54         |
| 51030363914521 |                 | 320 S KANSAS AVE NARC 3.0%     | 51.90        |
| 51030363914521 |                 | 320 S KANSAS AVE BIKE UNIT 1.0 | 17.30        |
| 51030363914521 |                 | 320 S KANSAS AVE CANINE UNIT 2 | 34.60        |
| 51030363914521 |                 | 320 S KANSAS AVE - FLEET 8.44% | 145.98       |
| 51030363914521 |                 | 320 S KANSAS AVE - CORONER 4.0 | 69.20        |
| 51030363914521 |                 | 320 S KANSAS AVE - SHERIFF 27. | 483.18       |
| 51031823814474 |                 | 934 NE QUINCY #1               | 330.27       |
| 51036856214474 |                 | 2010 SW 37TH #10               | 484.58       |
| 51040018714474 |                 | 1600 NW BUTTON                 | 2,794.82     |
| 51040186315501 |                 | 500 NE STRAIT                  | 219.26       |
| 51042095514474 |                 | 1419 NE SEWARD #6              | 244.38       |
| 51044161414474 |                 | 201 NW TOPEKA-STREET 47.8%     | 366.55       |
| 51044161414474 |                 | 201 NW TOPEKA-FLEET 25.1%      | 192.48       |
| 51044161414474 |                 | 201 NW TOPEKA-FORESTRY 22.4%   | 171.77       |
| 51044161414474 |                 | 201 NW TOPEKA-FACILITIES 4.7%  | 36.05        |
| 51045578114474 |                 | 2521 SE 2ND ST                 | 395.42       |
| 51046426414475 |                 | 545 NE LAKE                    | 30.08        |
| 51047249914474 |                 | 201 NW TOPEKA - TRANS OP       | 1,237.77     |
| 51051368914474 |                 | 2000 NW 17TH #11               | 697.59       |
| 51053899415667 |                 | 1901 SW WESTERN                | 211.19       |
| 51056030914474 |                 | 318 NW CRANE - ENG             | 418.64       |
| 51058991414474 |                 | 3245 NW WATERWORKS             | 2,076.11     |
| 51059103214474 |                 | 813 SW CLAY #4                 | 900.15       |
| 51060942714236 |                 | 215 SE 7TH - COMMONS 2.69%     | 70.83        |
| 51060942714236 |                 | 215 SE 7TH - CONTRACTS 1.95%   | 51.34        |
| 51060942714236 |                 | 215 SE 7TH - IT/ERP 7.32%      | 192.73       |
| 51060942714236 |                 | 215 SE 7TH - FACILITIES .20%   | 5.27         |
| 51060942714236 |                 | 215 SE 7TH - TPAC 60%          | 1,579.77     |
| 51060942714236 |                 | 215 SE 7TH - COURT 5.6%        | 147.45       |
| 51060942714236 |                 | 215 SE 7TH - CREDIT UNION 1.2% | 31.60        |
| 51060942714236 |                 | 215 SE 7TH - CITY CLERK 1.6%   | 42.13        |
| 51060942714236 |                 | 215 SE 7TH - HR/WEELLNESS 4.7% | 123.75       |
| 51060942714236 |                 | 215 SE 7TH - PROSECUTION 1.86% | 48.97        |



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| 51060942714236 |                 | 215 SE 7TH - PROBATION 2.4%    | 63.19            |
| 51060942714236 |                 | 215 SE 7TH - COUNCIL OFFICE 1. | 28.96            |
| 51060942714236 |                 | 215 SE 7TH - CITY4 .86%        | 22.64            |
| 51060942714236 |                 | 215 SE 7TH - LEGAL 1.3%        | 34.23            |
| 51060942714236 |                 | 215 SE 7TH - LEGAL SPEC LIABIL | 34.23            |
| 51060942714236 |                 | 215 SE 7TH - MAYOR .82%        | 21.59            |
| 51060942714236 |                 | 215 SE 7TH - CITY MGR 1.3%     | 34.23            |
| 51060942714236 |                 | 215 SE 7TH - FINANCE 3.80%     | 100.04           |
| 51061145114474 |                 | 701 SW GAGE                    | 914.52           |
| 51061145114474 |                 | 823 SW GAGE ZOO                | 189.32           |
| 51061145114474 |                 | 821 SW GAGE                    | 117.14           |
| 51061145114474 |                 | 635 SW GAGE #C ZOO             | 118.78           |
| 51061145114474 |                 | 635 SW GAGE #B-B ZOO           | 143.40           |
| 51061145114474 |                 | 4200 SW 6TH BIG GAGE           | 443.63           |
| 51061145114474 |                 | 815 SW GAGE APES               | 263.16           |
| 51061145114474 |                 | 639 SW GAGE RAINFOREST         | 847.25           |
| 51061145120239 |                 | 635 SW GAGE #QUAR - ZOO        | 331.38           |
| 51061403614474 |                 | 2447 SE 29TH #9                | 584.82           |
| 51066777514474 |                 | 720 SW 21ST #5                 | 776.55           |
| 51071373414474 |                 | 2700 SW FAIRLAWN #8            | 793.68           |
| 51071699416020 |                 | 1215 SW 38TH                   | 30.86            |
| 51073291014474 |                 | 1901 SW WESTERN - WATER        | 597.86           |
| 51073565515665 |                 | 619 SE RICE RD #2              | 756.89           |
| 55492          | 02/17/2017      | KANSAS PERSONNEL SERVICES INC  | 2849             |
| 3041624        | 37874           |                                | 1,117.20         |
| 3041625        | 37653           |                                | 574.23           |
| 3041626        | 37757           |                                | 532.00           |
| 3041627        | 37675           |                                | 651.05           |
| 3041628        | 37776           |                                | 512.55           |
| 3041629        | 37567           |                                | 3,285.95         |
| 3041630        | 37952           |                                | 359.73           |
| 3041705        | 37653           |                                | 453.53           |
| 3041706        | 37757           |                                | 412.30           |
| 3041707        | 37675           |                                | 486.45           |
| 3041708        | 37776           |                                | 413.10           |
| 3041709        | 37567           |                                | 3,034.56         |
| 3041710        | 37952           |                                | 234.00           |
| 3041788        | 37653           |                                | 566.91           |
| 3041789        | 37757           |                                | 532.00           |
| 3041790        | 37675           |                                | 651.05           |
| 3041791        | 37567           |                                | 3,190.88         |
| 3041792        | 37952           |                                | 310.83           |
| 3041866        | 37688           |                                | 638.40           |
| 3041867        | 37689           |                                | 522.69           |
| 3041868        | 38085           |                                | 580.00           |
| 3041869        | 37653           |                                | 552.28           |
| 3041870        | 37757           |                                | 532.00           |
| 3041871        | 37675           |                                | 596.18           |
| 3041872        | 37567           |                                | 3,300.58         |
| 3041873        | 37952           |                                | 282.89           |
| 3041874        | 37491           |                                | 335.28           |
| 55493          | 02/17/2017      | KELLER CRAIG & ASSOCIATES      | 2811             |
| 16 870         | 38012           |                                | 1,500.00         |
| 55494          | 02/17/2017      | KEY WORKFORCE SOLUTIONS INC    | 9879             |
| 3041858        | 37539           |                                | 730.80           |
| 3041859        | 37954           |                                | 1,113.60         |
| 3041860        | 37624           |                                | 255.36           |
| 55495          | 02/17/2017      | LAWYERS TITLE OF TOPEKA INC    | 3002             |
| 17220          | 37760           |                                | 250.00           |
|                |                 |                                | <b>24,658.62</b> |
|                |                 |                                | <b>1,500.00</b>  |
|                |                 |                                | <b>2,099.76</b>  |
|                |                 |                                | <b>500.00</b>    |

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| 17254      | 37760           |                                 | 250.00       |
| 55496      | 02/17/2017      | LEAGUE OF KANSAS 3010           | 100.00       |
| 17 916     | 37939           |                                 | 100.00       |
| 55497      | 02/17/2017      | LIGHTHOUSE CONTRACTING INC 3061 | 7,000.00     |
| COLFAX 2   | 37080           |                                 | 2,000.00     |
| HARRISON 2 | 37247           |                                 | 5,000.00     |
| 55498      | 02/17/2017      | MATHER FLARE RENTAL INC 5791    | 10,897.32    |
| 3622       | 33539           |                                 | 471.50       |
| 4062       | 33539           |                                 | 72.08        |
| 4104       | 33539           |                                 | 84.00        |
| 4106       | 33539           |                                 | 2,340.00     |
| 4173       | 37841           |                                 | 292.50       |
| 4174       | 37841           |                                 | 30.20        |
| 4175       | 37841           |                                 | 1,125.00     |
| 4176       | 37841           |                                 | 150.00       |
| 4181       | 37501           |                                 | 1,130.00     |
| 4182       | 37841           |                                 | 1,130.16     |
| 4187       | 37841           |                                 | 92.40        |
| 4189       | 37841           |                                 | 1,237.50     |
| 4190       | 37841           |                                 | 171.00       |
| 4191       | 37841           |                                 | 400.00       |
| 4192       | 37841           |                                 | 37.00        |
| 4193       | 37501           |                                 | 316.40       |
| 4194       | 37501           |                                 | 1,640.08     |
| 4197       | 37841           |                                 | 177.50       |
| 55499      | 02/17/2017      | MATHESON TRI-GAS INC 7179       | 86.11        |
| 14781396   | 37309           |                                 | 86.11        |
| 55500      | 02/17/2017      | MICHAEL & SONS INC 3377         | 10,118.88    |
| 553803     | 37265           |                                 | 9,571.38     |
| 553882     | 37260           |                                 | 547.50       |
| 55501      | 02/17/2017      | MINNESOTA ELEVATOR INC 7834     | 2,503.44     |
| 688825     | 37305           |                                 | 2,503.44     |
| 55502      | 02/17/2017      | ONEILL EXCAVATING INC 10202     | 17,398.88    |
| 000077     | 37704           |                                 | 17,398.88    |
| 55503      | 02/17/2017      | PACE ANALYTICAL SERVICES 3794   | 197.00       |
| 170557     | 37537           |                                 | 160.00       |
| 170622     | 37537           |                                 | 37.00        |
| 55504      | 02/17/2017      | POMPS TIRE SERVICE INC 10675    | 55.00        |
| 1160001576 | 37432           |                                 | 55.00        |
| 55505      | 02/17/2017      | PROFESSIONAL ENGINEERING 4018   | 8,400.00     |
| 437772     | 36792           |                                 | 3,920.00     |
| 737573     | 36792           |                                 | 4,480.00     |
| 55506      | 02/17/2017      | RANDY LONG TRUCKING LLC 4105    | 24,850.00    |
| 7572       | 37710           |                                 | 15,400.00    |
| 7576       | 37710           |                                 | 9,450.00     |
| 55507      | 02/17/2017      | REIN, LINNEA S 4166             | 907.50       |
| 274601     | 37645           |                                 | 43.00        |
| 274602     | 37645           |                                 | 84.00        |
| 274603     | 37645           |                                 | 150.00       |
| 274604     | 37645           |                                 | 114.00       |

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| 274605     | 37645           |                                     | 80.00        |
| 274607     | 37645           |                                     | 34.50        |
| 274608     | 37645           |                                     | 66.50        |
| 274609     | 37645           |                                     | 43.00        |
| 274610     | 37645           |                                     | 32.00        |
| 274611     | 37645           |                                     | 116.00       |
| 274612     | 37645           |                                     | 28.00        |
| 274613     | 37645           |                                     | 33.00        |
| 276950     | 37645           |                                     | 83.50        |
| 55508      | 02/17/2017      | SANCHEZ PROFESSIONAL CLEANING 10169 | 598.75       |
| 48 A       | 37683           |                                     | 508.75       |
| 48 B       | 37683           |                                     | 90.00        |
| 55509      | 02/17/2017      | SCHMIDT, BECK & BOYD 8999           | 1,625.00     |
| 2253       | 34763           |                                     | 1,625.00     |
| 55510      | 02/17/2017      | SHANNON CHEMICAL CORPORATION 9165   | 3,841.20     |
| 31451      | 37802           |                                     | 3,841.20     |
| 55511      | 02/17/2017      | SHAWNEE REGIONAL PREVENTION & 4525  | 6,000.00     |
| 38183      | 38183           |                                     | 6,000.00     |
| 55512      | 02/17/2017      | SHELDON GUENTHER 10708              | 125.00       |
| 1132017001 | 37785           |                                     | 125.00       |
| 55513      | 02/17/2017      | SHI INTERNATIONAL CORPORATION 4540  | 1,464.00     |
| B06038624  | 37896           |                                     | 1,464.00     |
| 55514      | 02/17/2017      | SOUTHERN UNIFORM & EQUIPMENT 4672   | 9,780.78     |
| 43095      | 36798           |                                     | 2,229.26     |
| 43603      | 36798           |                                     | 1,335.42     |
| 44875      | 37895           |                                     | 6,216.10     |
| 55515      | 02/17/2017      | SOUTHWEST PAPER COMPANY INC 4674    | 1,981.86     |
| 944591     | 37826           |                                     | 51.02        |
| 944592     | 37826           |                                     | 97.18        |
| 944593     | 37826           |                                     | 124.17       |
| 944594     | 37826           |                                     | 221.18       |
| 944595     | 37826           |                                     | 163.28       |
| 944596     | 37826           |                                     | 165.75       |
| 944597     | 37826           |                                     | 180.70       |
| 944598     | 37826           |                                     | 149.90       |
| 944599     | 37826           |                                     | 230.86       |
| 944600     | 37826           |                                     | 597.82       |
| 55516      | 02/17/2017      | STAPLES CONTRACT N COMMERCIAL 4725  | 1,627.29     |
| 3327533819 | 37798           |                                     | 126.92       |
| 3327533820 | 37798           |                                     | 31.15        |
| 3327533821 | 37798           |                                     | 54.14        |
| 3327850834 | 37672           |                                     | 16.14        |
| 3327850837 | 37835           |                                     | 148.54       |
| 3327961562 | 37848           |                                     | 47.49        |
| 3328142700 | 37658           |                                     | 17.23        |
| 3328142701 | 37762           |                                     | 6.90         |
| 3328142702 | 37878           |                                     | 141.91       |
| 3328142703 | 37899           |                                     | 31.33        |
| 3328142704 | 37879           |                                     | 14.21        |
| 3328215527 | 37615           |                                     | 267.99       |
| 3328215529 | 37794           |                                     | 11.87        |
| 3328215530 | 37901           |                                     | 191.34       |
| 3328215531 | 37907           |                                     | 201.49       |
| 3328215532 | 37907           |                                     | 52.41        |

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| 3328293851    | 37615           |                                    | 178.92       |
| 3328293852    | 37924           |                                    | 87.31        |
| 55517         | 02/17/2017      | SUNGARD PUBLIC SECTOR INC 4820     | 55,955.78    |
| 130168        | 37602           |                                    | 55,955.78    |
| 55518         | 02/17/2017      | SUPERIOR SIGNALS INC 6761          | 2,426.60     |
| 430495        | 37416           |                                    | 588.00       |
| 430791        | 37457           |                                    | 1,127.00     |
| 430908        | 37457           |                                    | 711.60       |
| 55519         | 02/17/2017      | SYMBOLARTS 4849                    | 660.00       |
| 0274283 IN    | 36753           |                                    | 660.00       |
| 55520         | 02/17/2017      | THE GOODYEAR TIRE & RUBBER CO 9375 | 4,649.41     |
| 123 1054272   | 37425           |                                    | 2,189.96     |
| 123 1054283   | 37461           |                                    | 2,139.73     |
| 123 1054290   | 37425           |                                    | 319.72       |
| 55521         | 02/17/2017      | THE TERMINIX INTERNATIONAL 10096   | 203.98       |
| 21253779      | 37489           |                                    | 203.98       |
| 55522         | 02/17/2017      | THERMO FISHER SCIENTIFIC LLC 4949  | 639.46       |
| 9179763       | 37561           |                                    | 639.46       |
| 55523         | 02/17/2017      | TOPEKA PERFORMING ARTS CENTER 5040 | 629.28       |
| 1274          | 38056           |                                    | 629.28       |
| 55524         | 02/17/2017      | TOPEKA TRANSMISSION SERVICE 5057   | 2,094.08     |
| 70200         | 37406           |                                    | 2,094.08     |
| 55525         | 02/17/2017      | TRAFFIC CONTROL CORPORATION 8892   | 274,950.00   |
| 96317         | 37175           |                                    | 274,950.00   |
| 55526         | 02/17/2017      | TRUCK PARTS & EQUIPMENT INC 5102   | 3.03         |
| 437676        | 37408           |                                    | 3.03         |
| 55527         | 02/17/2017      | U S LIME COMPANY - ST CLAIR 5117   | 15,824.19    |
| 161140        | 37573           |                                    | 11,821.56    |
| 161243        | 37573           |                                    | 4,002.63     |
| 55528         | 02/17/2017      | UMB BANK NA 5127                   | 36,180.44    |
| PCARD02102017 |                 |                                    | 36,032.36    |
| PCARD02142017 |                 |                                    | 148.08       |
| 55529         | 02/17/2017      | US BANK INC 5174                   | 5,150.00     |
| 4553000       | 37931           |                                    | 5,150.00     |
| 55530         | 02/17/2017      | VANDERBILT'S NO 6 5199             | 149.99       |
| 307501        | 37321           |                                    | 149.99       |
| 55531         | 02/17/2017      | VETERINARY MEDICAL & SURGICAL 5222 | 505.44       |
| 100680        | 37737           |                                    | 205.48       |
| 100682        | 37737           |                                    | 207.82       |
| 100683        | 37737           |                                    | 92.14        |
| 55532         | 02/17/2017      | VICTOR L PHILLIPS COMPANY INC 5225 | 494.38       |
| WT36182       | 37410           |                                    | 494.38       |
| 55533         | 02/17/2017      | VISIT TOPEKA INC 5237              | 397,945.10   |
| 4TH QTR 2016  | 35485           |                                    | 397,945.10   |

# COUNCIL REPORT OF VENDOR PAYMENTS

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| Check No.       | Check Date/PO # | Vendor Name and Number              | Check Amount |
|-----------------|-----------------|-------------------------------------|--------------|
| 55534           | 02/17/2017      | WALKER TOWEL & UNIFORM 5266         | 216.65       |
| 2245361         | 37547           |                                     | 86.25        |
| 2246008         | 37320           |                                     | 12.45        |
| 2246624         | 37320           |                                     | 7.65         |
| 2246625         | 37320           |                                     | 23.90        |
| 2246629         | 37617           |                                     | 8.00         |
| 2247257         | 37617           |                                     | 16.90        |
| 2247258         | 37617           |                                     | 2.40         |
| 2247259         | 37617           |                                     | 27.70        |
| 2247260         | 37617           |                                     | 4.80         |
| 2247261         | 37617           |                                     | 15.00        |
| 2247262         | 37617           |                                     | 11.60        |
| 55535           | 02/17/2017      | WESTSIDE STAMP & AWARDS INC 5865    | 69.00        |
| 161861          | 37977           |                                     | 69.00        |
| 55536           | 02/17/2017      | RUNNING R PROPERTY MANAGEMENT 10417 | 965.00       |
| LYI101-0217     |                 | S+C February 2017Payment            | 390.00       |
| LYI101-DEP      |                 | S+C February 2017Depositt           | 575.00       |
| 55537           | 02/17/2017      | STORMONT VAIL WORKCARE 4783         | 3,869.03     |
| 45446           | 37664           |                                     | 411.50       |
| 45476           | 37664           |                                     | 240.00       |
| 45484           | 37664           |                                     | 312.41       |
| 45487           | 37664           |                                     | 312.41       |
| 45488           | 37664           |                                     | 1,026.00     |
| 45504           | 37664           |                                     | 312.41       |
| 45712           | 37664           |                                     | 50.00        |
| 45735           | 37664           |                                     | 826.00       |
| 45745           | 37664           |                                     | 139.30       |
| 45746           | 37664           |                                     | 239.00       |
| 55538           | 02/17/2017      | CITY OF TOPEKA FRIENDSHIP FUND 948  | 363.92       |
| FR101702171622  |                 | Friendship Fund                     | 53.00        |
| FR101702171622  |                 | Friendship Fund                     | 29.00        |
| FR101702171622  |                 | Friendship Fund                     | 37.00        |
| FR101702171622  |                 | Friendship Fund                     | 17.00        |
| FR101702171622  |                 | Friendship Fund                     | 6.00         |
| FR101702171622  |                 | Friendship Fund                     | 16.00        |
| FR101702171622  |                 | Friendship Fund                     | 2.00         |
| FR101702171622  |                 | Friendship Fund                     | 13.00        |
| FR101702171622  |                 | Friendship Fund                     | 31.00        |
| FR101702171622  |                 | Friendship Fund                     | 97.42        |
| FR101702171622  |                 | Friendship Fund                     | 52.50        |
| FR101702171622  |                 | Friendship Fund                     | 10.00        |
| 55539           | 02/17/2017      | COLONIAL LIFE & ACCIDENT 8789       | 7,141.52     |
| 2/17/17 PAYROLI | PAYROLL         |                                     | 3,570.76     |
| 2/3/17 PAYROLL  | PAYROLL         |                                     | 3,563.29     |
| ADJ- HICKOCK 1  | PAYROLL         |                                     | 7.47         |
| 55540           | 02/17/2017      | COLONIAL LIFE & ACCIDENT 8789       | 10,714.56    |
| 2/17/17 PAYROLI | PAYROLL         |                                     | 5,383.98     |
| 2/3/17 PAYROLL  | PAYROLL         |                                     | 5,332.92     |
| JAN 2017 ADJ/2  | PAYROLL         |                                     | -2.34        |
| 55541           | 02/17/2017      | COLONIAL LIFE & ACCIDENT 8789       | 1,904.42     |
| 2/17/17 PAYROLI | PAYROLL         |                                     | 952.21       |
| 2/3/17 PAYROLL  | PAYROLL         |                                     | 952.21       |
| 55542           | 02/17/2017      | COLONIAL LIFE & ACCIDENT 8789       | 7,086.30     |
| 2/17/17 PAYROLI | PAYROLL         |                                     | 3,508.00     |
| 2/3/17 PAYROLL  | PAYROLL         |                                     | 3,529.84     |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

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|-----------------|-----------------|------------------------------------|--------------|
| ADJ-NEISWENDI   | PAYROLL         |                                    | 21.84        |
| ADJ-SHREVE J F  | PAYROLL         |                                    | 26.62        |
| 55543           | 02/17/2017      | FIREMENS OFF DUTY RELIEF FUND 1676 | 5.61         |
| FO101702031356  |                 | Firefighter's Off Duty Relief      | 0.00         |
| FO101702171622  |                 | Firefighter's Off Duty Relief      | 5.61         |
| 55544           | 02/17/2017      | INTERNATIONAL ASSOCIATION OF 2424  | 7,681.50     |
| ADMIN FEE 2/17/ | PAYROLL         |                                    | -13.50       |
| UNI11702171622  |                 | Union Dues - IAFF                  | 7,695.00     |
| 55545           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 228.92       |
| 00000007417021  |                 | Child Support - Amt                | 228.92       |
| 55546           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 163.43       |
| 00000008617021  |                 | Child Support - Amt                | 163.43       |
| 55547           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 442.15       |
| 00000011917021  |                 | Child Support - Amt                | 442.15       |
| 55548           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 160.46       |
| 00000014517021  |                 | Child Support - Amt                | 160.46       |
| 55549           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 183.69       |
| 00000020417021  |                 | Child Support - Amt                | 183.69       |
| 55550           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 1,010.73     |
| 00000022217021  |                 | Child Support - Amt                | 1,010.73     |
| 55551           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 53.08        |
| 00000024217021  |                 | Child Support - Amt                | 53.08        |
| 55552           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 112.15       |
| 00000031617021  |                 | Child Support - Amt                | 112.15       |
| 55553           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 259.85       |
| 00000032417021  |                 | Child Support - Amt                | 259.85       |
| 55554           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 277.38       |
| 00000034017021  |                 | Child Support - Amt                | 277.38       |
| 55555           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 498.46       |
| 00000034317021  |                 | Child Support - Amt                | 498.46       |
| 55556           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 184.15       |
| 00000034517021  |                 | Child Support - Amt                | 184.15       |
| 55557           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 183.29       |
| 00000034817021  |                 | Child Support - Amt                | 183.29       |
| 55558           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 25.15        |
| 00000038017021  |                 | Child Support - Amt                | 25.15        |
| 55559           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 368.88       |
| 00000038517021  |                 | Child Support - Amt                | 368.88       |
| 55560           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 144.46       |
| 00000041717021  |                 | Child Support - Amt                | 144.46       |
| 55561           | 02/17/2017      | KANSAS PAYMENT CENTER 2732         | 185.13       |
| 00000044717021  |                 | Child Support - Amt                | 185.13       |

**COUNCIL REPORT OF VENDOR PAYMENTS**

Between 2/4/2017 and 3/3/2017

| Check No.      | Check Date/PO # | Vendor Name and Number     | Check Amount  |
|----------------|-----------------|----------------------------|---------------|
| 55562          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>267.69</b> |
| 00000064117021 |                 | Child Support - Amt        | 267.69        |
| 55563          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>323.08</b> |
| 00000064117021 |                 | Child Support - Amt        | 323.08        |
| 55564          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>415.51</b> |
| 00000066717021 |                 | Child Support - Amt        | 415.51        |
| 55565          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>346.15</b> |
| 00000068217021 |                 | Child Support - Amt        | 346.15        |
| 55566          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>192.00</b> |
| 00000070817021 |                 | Child Support - Amt        | 192.00        |
| 55567          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>121.88</b> |
| 00000073217021 |                 | Child Support - Amt        | 121.88        |
| 55568          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>209.08</b> |
| 00000075417021 |                 | Child Support - Amt        | 209.08        |
| 55569          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>230.77</b> |
| 00000077917021 |                 | Child Support - Amt        | 230.77        |
| 55570          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>185.08</b> |
| 00000078517021 |                 | Child Support - Amt        | 185.08        |
| 55571          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>256.15</b> |
| 00000082717021 |                 | Child Support - Amt        | 256.15        |
| 55572          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>184.62</b> |
| 00000086317021 |                 | Child Support - Amt        | 184.62        |
| 55573          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>443.08</b> |
| 00000086617021 |                 | Child Support - Amt        | 443.08        |
| 55574          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>464.91</b> |
| 00000091117021 |                 | Child Support - Amt        | 464.91        |
| 55575          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>147.23</b> |
| 00000092417021 |                 | Child Support - Amt        | 147.23        |
| 55576          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>88.64</b>  |
| 00000093617021 |                 | Child Support - Amt        | 88.64         |
| 55577          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>304.15</b> |
| 00000095917021 |                 | Child Support - Amt        | 304.15        |
| 55578          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>487.38</b> |
| 00000098217021 |                 | Child Support - Amt        | 487.38        |
| 55579          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>144.51</b> |
| 00000101517021 |                 | Child Support - Amt        | 144.51        |
| 55580          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>124.15</b> |
| 00000102217021 |                 | Child Support - Amt        | 124.15        |
| 55581          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>182.77</b> |
| 00000104317021 |                 | Child Support - Amt        | 182.77        |
| 55582          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | <b>153.69</b> |

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| Check No.      | Check Date/PO # | Vendor Name and Number     | Check Amount |
|----------------|-----------------|----------------------------|--------------|
| 00000109317021 |                 | Child Support - Amt        | 153.69       |
| 55583          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 71.08        |
| 00000109717021 |                 | Child Support - Amt        | 71.08        |
| 55584          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 392.43       |
| 00000112917021 |                 | Child Support - Amt        | 392.43       |
| 55585          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 335.64       |
| 00000118117021 |                 | Child Support - Amt        | 335.64       |
| 55586          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 113.11       |
| 00000118917021 |                 | Child Support - Amt        | 113.11       |
| 55587          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 219.69       |
| 00000118917021 |                 | Child Support - Amt        | 219.69       |
| 55588          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 56.31        |
| 00000120017021 |                 | Child Support - Amt        | 56.31        |
| 55589          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 183.23       |
| 00000147417021 |                 | Child Support - Amt        | 183.23       |
| 55590          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 369.23       |
| 00000197317021 |                 | Child Support - Amt        | 369.23       |
| 55591          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 384.46       |
| 00000197917021 |                 | Child Support - Amt        | 384.46       |
| 55592          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 115.38       |
| 00000215417021 |                 | Child Support - Amt        | 115.38       |
| 55593          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 160.62       |
| 00000219117021 |                 | Child Support - Amt        | 160.62       |
| 55594          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 412.62       |
| 00000225917021 |                 | Child Support - Amt        | 412.62       |
| 55595          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 180.46       |
| 00000233517021 |                 | Child Support - Amt        | 180.46       |
| 55596          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 66.92        |
| 00000237917021 |                 | Child Support - Amt        | 66.92        |
| 55597          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 108.33       |
| 00000241017021 |                 | Child Support - Amt        | 108.33       |
| 55598          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 1,127.54     |
| 00000247617021 |                 | Child Support - Amt        | 1,127.54     |
| 55599          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 461.53       |
| 00000247817021 |                 | Child Support - Amt        | 461.53       |
| 55600          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 68.77        |
| 00000249317021 |                 | Child Support - Amt        | 68.77        |
| 55601          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 127.85       |
| 00000251517021 |                 | Child Support - Amt        | 127.85       |
| 55602          | 02/17/2017      | KANSAS PAYMENT CENTER 2732 | 251.08       |
| 00000252917021 |                 | Child Support - Amt        | 251.08       |



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|---|---------------------------------------|---|--|
| 55603<br>00000257817021   | 02/17/2017                            | KANSAS PAYMENT CENTER<br>Child Support - Amt 2732   | 50.00  |
| 55604<br>00000264217021   | 02/17/2017                            | KANSAS PAYMENT CENTER<br>Child Support - Amt 2732   | 82.62  |
| 55605<br>00000264217021   | 02/17/2017                            | KANSAS PAYMENT CENTER<br>Child Support - Amt 2732   | 66.00  |
| 55606<br>00000268917021   | 02/17/2017                            | KANSAS PAYMENT CENTER<br>Child Support - Amt 2732   | 80.77  |
| 55607<br>00000268917021   | 02/17/2017                            | KANSAS PAYMENT CENTER<br>Child Support - Amt 2732   | 143.08   |
| 55608<br>UW10170217162<br>UW10170217162<br>UW10170217162<br>UW10170217162<br>UW10170217162<br>UW10170217162<br>UW10170217162<br>UW10170217162 | 02/17/2017                            | UNITED WAY OF GREATER TOPEKA<br>United Way<br>United Way<br>United Way<br>United Way<br>United Way<br>United Way<br>United Way<br>United Way 5157 | 77.00<br>27.00<br>1.00<br>1.00<br>6.00<br>15.00<br>8.00<br>11.00<br>8.00 |
| 55609<br>SS46884<br>SS46886   | 02/17/2017<br>37814<br>37814          | 3 M CO 4  | 1,765.50<br>564.00<br>1,201.50   |
| 55610<br>3679<br>3680<br>3862   | 02/17/2017<br>37679<br>37679<br>37958 | ACE ELECTRIC JONES COMPANY INC 35   | 2,783.83<br>213.60<br>75.00<br>2,495.23                                  |
| 55611<br>06165074<br>06165126   | 02/17/2017<br>37851<br>37412          | BERRY COMPANIES INC 5408  | 115.53<br>107.67<br>7.86   |
| 55612<br>S5533730 001<br>S5537097 001   | 02/17/2017<br>37559<br>37559          | BORDER STATES INDUSTRIES INC 9824   | 338.84<br>2.17<br>336.67   |
| 55613<br>97588  | 02/17/2017<br>37488                   | CAPITAL BELT & SUPPLY INC 776   | 390.00   |
| 55614<br>1064995<br>FN 089  | 02/17/2017<br>37433<br>37433          | CAPITAL CITY OIL CO INC 778   | 19,650.54<br>18,893.62<br>756.92   |
| 55615<br>513936   | 02/17/2017<br>37439                   | CHAMPION BRANDS LLC 883   | 1,045.16   |
| 55616<br>1526 14  | 02/17/2017<br>32113                   | DAVIN ELECTRIC INC 1264   | 62,114.79  |
| 55617<br>NT230718   | 02/17/2017<br>37402                   | ELECTROLIFE BATTERY INC 5014  | 109.98   |
| 55618<br>P 22598 0  | 02/17/2017<br>37365                   | FLU-CON INC 1729  | 166.32   |

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|---|---|-------------------------------------|---|
| 55619<br>161290   | 02/17/2017<br>37596   | HD SUPPLY FACILITIES 5175           | 145.37  |
| 55620<br>G631984<br>G710973   | 02/17/2017<br>37477<br>37612  | HD SUPPLY WATERWORKS LTD 2146       | 7,815.00<br>977.00  |
| 55621<br>S101474966 001   | 02/17/2017<br>37922   | KRIZ DAVIS COMPANY 2916             | 543.14  |
| 55622<br>1018229 ADJ  | 02/17/2017<br>33863   | LINDYSPRING WATER LLC 3071          | 8.00  |
| 55623<br>INV105233<br>INV105296   | 02/17/2017<br>37868<br>37869  | LOGIC INC 3090                      | 2,276.00<br>15,339.00   |
| 55624<br>N474822<br>N475057   | 02/17/2017<br>37476<br>37476  | NEPTUNE TECHNOLOGY GROUP INC 3658   | 9,515.00<br>16,640.00   |
| 55625<br>30913  | 02/17/2017<br>37395   | NORTHEAST KANSAS HYDRAULICS IN 3705 | 1,118.77  |
| 55626<br>120036707  | 02/17/2017<br>37845   | OLDCASTLE PRECAST INC 3739          | 822.36  |
| 55627<br>105416<br>105417<br>105419<br>105420<br>105422<br>105431<br>105434<br>105685<br>105715<br>105837<br>105853 | 02/17/2017<br>37498<br>37498<br>37498<br>37498<br>37723<br>37483<br>37498<br>37311<br>37483<br>37483<br>37483 | SALISBURY SUPPLY COMPANY INC 4352   | 101.76<br>112.30<br>45.81<br>104.62<br>91.99<br>1.10<br>16.35<br>16.07<br>166.43<br>199.00<br>64.37 |
| 55628<br>4D000632   | 02/17/2017<br>37654   | SMITH FERTILIZER & GRAIN 9367       | 4,910.68  |
| 55629<br>45525 2017   | 02/24/2017<br>CONTRACT  | COOK & ASSOCIATES LLC 10126         | 9,660.00  |
| 55630<br>37940 JAN 2017   | 02/24/2017<br>37940   | DUNBAR, DANIEL ALAN 10561           | 175.00  |
| 55631<br>37941 JAN 2017   | 02/24/2017<br>37941   | KNUTZEN, THOMAS E 10563             | 237.50  |
| 55632<br>001 052  | 02/24/2017<br>37168   | 4R CONSTRUCTION COMPANY LLC 10254   | 301.00  |
| 55633<br>88243  | 02/24/2017<br>38060   | A 1 LOCK & KEY LLC 13               | 116.41  |
| 55634<br>287388<br>287389<br>287587   | 02/24/2017<br>37505<br>37505<br>37431   | AAA CLUB ALLIANCE INC 10251         | 38.50<br>38.50<br>38.50   |

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| 287592     | 37505           |                               | 38.50           |
| 287676     | 37505           |                               | 38.50           |
| 287739     | 37505           |                               | 63.50           |
| 287742     | 37505           |                               | 38.50           |
| 287743     | 37505           |                               | 38.50           |
| 287744     | 37505           |                               | 38.50           |
| 287745     | 37505           |                               | 38.50           |
| 287799     | 37431           |                               | 38.50           |
| 287807     | 37505           |                               | 38.50           |
| 287809     | 37505           |                               | 38.50           |
| 287922     | 37505           |                               | 38.50           |
| 287954     | 37431           |                               | 38.50           |
| 287960     | 37505           |                               | 38.50           |
| 288356     | 37505           |                               | 38.50           |
| 288357     | 37505           |                               | 38.50           |
| 288358     | 37505           |                               | 38.50           |
| 288360     | 37505           |                               | 38.50           |
| 288361     | 37505           |                               | 38.50           |
| 293350     | 37505           |                               | 38.50           |
|            |                 |                               |                 |
| 55635      | 02/24/2017      | ALEXANDER OPEN SYSTEMS        | 112             |
| I0090785   | 35522           |                               | 717.41          |
|            |                 |                               | <b>717.41</b>   |
|            |                 |                               |                 |
| 55636      | 02/24/2017      | ALTERNATIVES EAP LLC          | 8445            |
| 7070       | 38126           |                               | 1,681.47        |
|            |                 |                               | <b>1,681.47</b> |
|            |                 |                               |                 |
| 55637      | 02/24/2017      | AMERICAN MESSAGING SERVICES   | 5814            |
| F1050996RB | 37926           |                               | 117.42          |
|            |                 |                               | <b>117.42</b>   |
|            |                 |                               |                 |
| 55638      | 02/24/2017      | AMERICAN PRESORT              | 177             |
| 18440      | 38173           |                               | 198.61          |
|            |                 |                               | <b>198.61</b>   |
|            |                 |                               |                 |
| 55639      | 02/24/2017      | AMERIPRIDE                    | 197             |
| 2300761197 | 37322           |                               | 28.32           |
| 2300761840 | 37534           |                               | 197.56          |
| 2300761842 | 37322           |                               | 34.61           |
| 2300761853 | 37322           |                               | 15.86           |
| 2300761869 | 37626           |                               | 10.56           |
| 2300761870 | 37626           |                               | 35.87           |
| 2300761873 | 37626           |                               | 135.08          |
| 2300761874 | 37626           |                               | 62.06           |
| 2300761965 | 37626           |                               | 70.31           |
|            |                 |                               |                 |
| 55640      | 02/24/2017      | ANIMAL CLINIC OF NORTH TOPEKA | 235             |
| 174153     | 37512           |                               | 2,801.11        |
|            |                 |                               | <b>2,801.11</b> |
|            |                 |                               |                 |
| 55641      | 02/24/2017      | ANSWER TOPEKA                 | 237             |
| 170100028  | 38107           | FEB 2017 PLUS LATE FEES       | 94.94           |
|            |                 |                               | <b>94.94</b>    |
|            |                 |                               |                 |
| 55642      | 02/24/2017      | ARCHITECT ONE PA              | 249             |
| 170117 R1  | 38077           |                               | 2,200.00        |
|            |                 |                               | <b>2,200.00</b> |
|            |                 |                               |                 |
| 55643      | 02/24/2017      | BARTLETT & WEST ENGINEERS     | 391             |
| 730060045  | 23104           |                               | 1,474.02        |
| 730060046  | 35236           |                               | 13,341.68       |
| 730060130  | 31654           |                               | 33,460.00       |
| 730060132  | 31654           |                               | 600.00          |
| 730060167  | 37968           |                               | 3,783.62        |
| 730060212  | 34248           |                               | 6,496.48        |
| 730060215  | 35057           |                               | 18,070.70       |
| 730060282  | 36280           |                               | 3,360.88        |
| 730060329  | 35339           |                               | 17,240.00       |

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| Check No.     | Check Date/PO # | Vendor Name and Number              | Check Amount |
|---------------|-----------------|-------------------------------------|--------------|
| 55644         | 02/24/2017      | BLUE CROSS BLUE SHIELD INC 528      | 98,629.74    |
| MARCH 2017 AD | 37524           |                                     |              |
| 55645         | 02/24/2017      | BLUE CROSS BLUE SHIELD INC 528      | 80,520.69    |
| W/E 02/21/17  | 37524           |                                     |              |
| 55646         | 02/24/2017      | BOBS JANITORIAL SERVICE & SUPP 539  | 1,167.00     |
| 185717        | 37323           |                                     |              |
| 55647         | 02/24/2017      | BUSINESS SOFTWARE INC 729           | 7,462.69     |
| LUC 15958     | 38366           |                                     |              |
| 55648         | 02/24/2017      | C & C PRODUCE 7788                  | 465.00       |
| 001086917     | 37490           |                                     | 486.75       |
| C99XDQ        | 37490           |                                     | -21.75       |
| 55649         | 02/24/2017      | CDW GOVERNMENT INC 857              | 8,176.56     |
| GRM3370       | 37908           |                                     |              |
| 55650         | 02/24/2017      | CE WATER MANAGEMENT INC 858         | 366.00       |
| C47573        | 38002           |                                     |              |
| 55651         | 02/24/2017      | CENTURY BUSINESS TECHNOLOGIES 870   | 26,678.90    |
| 24862         | 37384           |                                     | -2,889.00    |
| 437984        | 37384           |                                     | 573.76       |
| 438003        | 37384           |                                     | 288.74       |
| 441081        | 37384           |                                     | 288.74       |
| 441099        | 37384           |                                     | 2,155.49     |
| 441328        | 37384           |                                     | 0.82         |
| 441330        | 37384           |                                     | 1,516.43     |
| 441780        | 37384           |                                     | 576.13       |
| 441781        | 37384           |                                     | 1,145.98     |
| 442067        | 37384           |                                     | 2,889.00     |
| 442087        | 37384           |                                     | 3,392.64     |
| 442140        | 37384           |                                     | 6,821.64     |
| 442173        | 37384           |                                     | 1,424.04     |
| 442176        | 37384           |                                     | 4,863.72     |
| 442180        | 37384           |                                     | 3,585.96     |
| 442295        | 37384           |                                     | 44.81        |
| 55652         | 02/24/2017      | CODE PUBLISHING COMPANY 999         | 1,351.35     |
| 55458         | 38219           |                                     |              |
| 55653         | 02/24/2017      | COLLECTION BUREAU 1023              | 7,185.30     |
| 4288          | 37601           |                                     | 5,802.73     |
| 4289          | 37625           |                                     | 47.02        |
| 4290          | 37625           |                                     | 79.05        |
| 4292          | 37753           |                                     | 1,087.62     |
| 4293          | 37752           |                                     | 13.22        |
| 4294          | 37601           |                                     | 140.66       |
| 4295          | 37514           |                                     | 15.00        |
| 55654         | 02/24/2017      | CONTECH ENGINEERED SOLUTIONS 8337   | 275.78       |
| IN00297087    | 37806           |                                     | 112.80       |
| IN00299555    | 37806           |                                     | 162.98       |
| 55655         | 02/24/2017      | COOK FLATT & STROBEL ENGINEERS 1089 | 15,000.00    |
| 36866         | 34663           |                                     |              |
| 55656         | 02/24/2017      | CORNERSTONE OF TOPEKA INC 1116      | 342.99       |
| 14624         | 34451           |                                     |              |

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| 55657                          | 02/24/2017      | DELTA DENTAL OF KANSAS INC 1323      | 11,261.60            |
| 37770 ADMIN JA<br>W/E 02/16/17 | 37770<br>37770  |                                      | 3,270.40<br>7,991.20 |
| 55658                          | 02/24/2017      | DH PACE COMPANY INC 1346             | 846.94               |
| SVC 165036                     | 37858           |                                      |                      |
| 55659                          | 02/24/2017      | ED ROEHR SAFETY PRODUCTS 1484        | 875.00               |
| 460372                         | 36260           |                                      |                      |
| 55660                          | 02/24/2017      | ELECTRONICS SUPPLY CO INC 1505       | 3,063.58             |
| 1654114                        | 37560           |                                      | 882.60               |
| 1654115                        | 37560           |                                      | 1,806.98             |
| 1654118                        | 37560           |                                      | 374.00               |
| 55661                          | 02/24/2017      | EMBROIDERY PLUS 1522                 | 163.83               |
| 36946                          | 37778           |                                      |                      |
| 55662                          | 02/24/2017      | ETHANOL PRODUCTS LLC 9576            | 1,806.26             |
| CO2178347                      | 37581           |                                      |                      |
| 55663                          | 02/24/2017      | EVOQUA WATER TECHNOLOGIES LLC 9245   | 2,523.00             |
| 902971105                      | 37748           |                                      |                      |
| 55664                          | 02/24/2017      | EXELON CORPORATION 8898              | 51,226.37            |
| 0037954214                     | CONSTELLATION   |                                      |                      |
| 55665                          | 02/24/2017      | EXPRESS SERVICES INC 9622            | 4,724.38             |
| 18467167 5                     | 37607           |                                      | 569.26               |
| 18467168 3                     | 37528           |                                      | 4,155.12             |
| 55666                          | 02/24/2017      | FIT EXCAVATING INC 3126              | 17,791.21            |
| 2070                           | 38005           |                                      |                      |
| 55667                          | 02/24/2017      | FLEETMATICS USA LLC 8154             | 420.00               |
| IN1602208                      | 37480           |                                      |                      |
| 55668                          | 02/24/2017      | FORENSIC PSYCHOLOGY ASSOCIATES 10189 | 585.00               |
| 1392                           | 37729           |                                      |                      |
| 55669                          | 02/24/2017      | GARDA CL SOUTHWEST INC 1839          | 742.50               |
| 10274804                       | 37970           |                                      |                      |
| 55670                          | 02/24/2017      | GO BLUE LLC 7071                     | 1,250.47             |
| 2017 0102                      | 38116           |                                      |                      |
| 55671                          | 02/24/2017      | HARRIS & SONS ENTERPRISES INC 7996   | 1,894.00             |
| 482                            | 38019           |                                      |                      |
| 55672                          | 02/24/2017      | HELPING HANDS HUMANE SOCIETY I 2183  | 25,892.27            |
| 44141 2017                     | CONTRACT        |                                      |                      |
| 55673                          | 02/24/2017      | HOUSE OF TOOL & ENGINEERING 10409    | 1,833.40             |
| 738147 001                     | 37583           |                                      |                      |
| 55674                          | 02/24/2017      | INNOVATIVE BUSINESS CONCEPTS 8226    | 1,282.47             |
| 41849 2017                     | CONTRACT        |                                      |                      |
| 55675                          | 02/24/2017      | JC EHRLICH COMPANY INC 9677          | 627.00               |
| 31082534                       | 37324           |                                      | 10.00                |
| 31082535                       | 37324           |                                      | 50.00                |
| 31082536                       | 37324           |                                      | 50.00                |

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|-----------|-----------------|------------------------|--------------|----------|
| 31082537  | 37324           |                        | 19.00        |          |
| 31082538  | 37324           |                        | 19.00        |          |
| 31082539  | 37324           |                        | 10.00        |          |
| 31082540  | 37324           |                        | 10.00        |          |
| 31082541  | 37324           |                        | 10.00        |          |
| 31082542  | 37324           |                        | 10.00        |          |
| 31082543  | 37324           |                        | 10.00        |          |
| 31082544  | 37324           |                        | 10.00        |          |
| 31082545  | 37324           |                        | 10.00        |          |
| 31082546  | 37324           |                        | 10.00        |          |
| 31082547  | 37324           |                        | 10.00        |          |
| 31082548  | 37324           |                        | 10.00        |          |
| 31082549  | 37324           |                        | 10.00        |          |
| 31082550  | 37324           |                        | 10.00        |          |
| 31082551  | 37324           |                        | 10.00        |          |
| 31082552  | 37324           |                        | 7.00         |          |
| 31082553  | 37324           |                        | 7.00         |          |
| 31082554  | 37324           |                        | 7.00         |          |
| 31082555  | 37324           |                        | 7.00         |          |
| 31082556  | 37324           |                        | 7.00         |          |
| 31082557  | 37324           |                        | 7.00         |          |
| 31082558  | 37324           |                        | 7.00         |          |
| 31082559  | 37324           |                        | 7.00         |          |
| 31082560  | 37324           |                        | 7.00         |          |
| 31082561  | 37324           |                        | 7.00         |          |
| 31082562  | 37324           |                        | 7.00         |          |
| 31082563  | 37324           |                        | 7.00         |          |
| 31082564  | 37324           |                        | 7.00         |          |
| 31082565  | 37324           |                        | 7.00         |          |
| 31082566  | 37324           |                        | 10.50        |          |
| 31082567  | 37324           |                        | 10.50        |          |
| 31082568  | 37324           |                        | 10.50        |          |
| 31082569  | 37324           |                        | 10.50        |          |
| 31082570  | 37324           |                        | 10.50        |          |
| 31082571  | 37324           |                        | 10.50        |          |
| 31082572  | 37324           |                        | 10.50        |          |
| 31082573  | 37324           |                        | 10.50        |          |
| 31082574  | 37324           |                        | 10.50        |          |
| 31082575  | 37324           |                        | 10.50        |          |
| 31082576  | 37324           |                        | 10.50        |          |
| 31082577  | 37324           |                        | 10.50        |          |
| 31082578  | 37324           |                        | 10.50        |          |
| 31082579  | 37324           |                        | 10.50        |          |
| 31082580  | 37324           |                        | 10.50        |          |
| 31082581  | 37324           |                        | 10.50        |          |
| 31082582  | 37324           |                        | 10.50        |          |
| 31082583  | 37324           |                        | 10.50        |          |
| 31082584  | 37324           |                        | 10.50        |          |
| 31082585  | 37324           |                        | 10.50        |          |
| 31082586  | 37324           |                        | 10.50        |          |
| 31082587  | 37324           |                        | 10.50        |          |
| 31082588  | 37324           |                        | 10.00        |          |
| 31082589  | 37324           |                        | 10.00        |          |
| 55676     | 02/24/2017      | SANTIAGO, JEFFERSON R  | 8036         | 143.00   |
| 2252      | 38146           |                        |              | 143.00   |
| 55677     | 02/24/2017      | KAN EQUIPMENT INC      | 2621         | 1,393.69 |
| 6 227120  | 37383           |                        |              | 765.70   |
| 6 227130  | 37383           |                        |              | 51.70    |
| 6 227141  | 37383           |                        |              | -26.11   |
| 6 227170  | 37383           |                        |              | 602.40   |

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| 55678        | 02/24/2017      | KANSAS PERSONNEL SERVICES INC 2849 | 11,345.95    |
| 3041622      | 37688           |                                    | 510.72       |
| 3041623      | 37689           |                                    | 606.48       |
| 3041631      | 37491           |                                    | 387.67       |
| 3041702      | 37688           |                                    | 510.72       |
| 3041703      | 37689           |                                    | 486.78       |
| 3041704      | 37874           |                                    | 886.78       |
| 3041711      | 37491           |                                    | 419.10       |
| 3041785      | 37688           |                                    | 638.40       |
| 3041787      | 37874           |                                    | 670.32       |
| 3041793      | 37491           |                                    | 471.49       |
| 3041950      | 37688           |                                    | 638.40       |
| 3041952      | 37653           |                                    | 574.23       |
| 3041954      | 37675           |                                    | 601.66       |
| 3041955      | 37567           |                                    | 3,300.58     |
| 3041956      | 37952           |                                    | 303.85       |
| 3041957      | 37491           |                                    | 338.77       |
| 55679        | 02/24/2017      | KANSAS STATE TREASURER 2757        | 31,086.33    |
| JANUARY 2017 | DE              |                                    | 31,086.33    |
| 55680        | 02/24/2017      | KCR INTERNATIONAL TRUCKS INC 1347  | 10,091.68    |
| 130117085    | 37362           |                                    | 631.90       |
| 130203349    | 37362           |                                    | 9,459.78     |
| 55681        | 02/24/2017      | KEY WORKFORCE SOLUTIONS INC 9879   | 2,294.82     |
| 3041944      | 37539           |                                    | 730.80       |
| 3041945      | 37954           |                                    | 1,252.80     |
| 3041946      | 37624           |                                    | 311.22       |
| 55682        | 02/24/2017      | LAWYERS TITLE OF TOPEKA INC 3002   | 3,500.00     |
| 17221        | 38158           |                                    | 500.00       |
| 17245        | 38224           |                                    | 1,000.00     |
| 17314        | 38406           |                                    | 2,000.00     |
| 55683        | 02/24/2017      | LAYNE CHRISTENSEN COMPANY 3005     | 69,130.50    |
| 89089919     | 34706           |                                    | 69,130.50    |
| 55684        | 02/24/2017      | LEMAC CO INC 7109                  | 1,605.00     |
| 13035        | 34537           |                                    | 1,605.00     |
| 55685        | 02/24/2017      | LIGHTHOUSE CONTRACTING INC 3061    | 17,568.00    |
| 3120IRV F    | 37213           |                                    | 15,000.00    |
| 431223RD 1   | 37081           |                                    | 2,568.00     |
| 55686        | 02/24/2017      | LYNN PEAVEY COMPANY 3149           | 2,895.00     |
| 327713       | 37935           |                                    | 2,895.00     |
| 55687        | 02/24/2017      | MATHER FLARE RENTAL INC 5791       | 10,595.58    |
| 4200         | 37501           |                                    | 6,543.00     |
| 4226         | 37501           |                                    | 1,321.30     |
| 4227         | 37501           |                                    | 929.88       |
| 4228         | 37501           |                                    | 772.80       |
| 4229         | 37841           |                                    | 28.60        |
| 4231         | 37558           |                                    | 1,000.00     |
| 55688        | 02/24/2017      | MATHESON TRI-GAS INC 7179          | 1,013.22     |
| 14788059     | 37309           |                                    | 131.29       |
| 14798881     | 37484           |                                    | 220.41       |
| 51129002     | 37309           |                                    | 165.57       |
| 51129003     | 37309           |                                    | 57.04        |
| 51129004     | 37309           |                                    | 42.78        |
| 51129006     | 37484           |                                    | 52.55        |

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| 51129009   | 37536           |                                     | 260.79            |
| 51129010   | 37536           |                                     | 82.79             |
| 55689      | 02/24/2017      | MEDTRAK SERVICES LLC 3330           | <b>107,825.02</b> |
| 223053     | 37662           |                                     | 80,295.74         |
| 223288     | 37662           |                                     | 27,229.83         |
| 223289     | 37662           |                                     | 299.45            |
| 55690      | 02/24/2017      | MICHAEL & SONS INC 3377             | <b>6,393.55</b>   |
| 553805     | 38038           |                                     | 5,311.00          |
| 553834     | 38023           |                                     | 1,082.55          |
| 55691      | 02/24/2017      | MINNESOTA ELEVATOR INC 7834         | <b>110.87</b>     |
| 691710     | 38098           |                                     | 49.00             |
| 691712     | 38099           |                                     | 61.87             |
| 55692      | 02/24/2017      | OMEGA DOOR AND HARDWARE 3747        | <b>918.00</b>     |
| 1482       | 38160           |                                     | 918.00            |
| 55693      | 02/24/2017      | ONEILL EXCAVATING INC 10202         | <b>3,190.00</b>   |
| 000078     | 38052           |                                     | 3,190.00          |
| 55694      | 02/24/2017      | PACE ANALYTICAL SERVICES 3794       | <b>18.00</b>      |
| 170729     | 37537           |                                     | 18.00             |
| 55695      | 02/24/2017      | PROFESSIONAL ENGINEERING 4018       | <b>17,272.94</b>  |
| 514262     | 36041           |                                     | 17,127.94         |
| 514517     | 35091           |                                     | 145.00            |
| 55696      | 02/24/2017      | PROTECTION 1 ALARM MONITORING 6532  | <b>1,413.82</b>   |
| 114517113  | PROTECTION 1    |                                     | 1,292.26          |
| 114517114  | PROTECTION 1    |                                     | 121.56            |
| 55697      | 02/24/2017      | PRUETT, MELODEE K 9855              | <b>8,000.00</b>   |
| 38030      | 38030           |                                     | 8,000.00          |
| 55698      | 02/24/2017      | RAY O HERRON COMPANY 4118           | <b>2,287.78</b>   |
| 1706495 IN | 37824           |                                     | 2,287.78          |
| 55699      | 02/24/2017      | RED THE UNIFORM TAILOR INC 4131     | <b>128.90</b>     |
| 0R24476A   | 36799           |                                     | 128.90            |
| 55700      | 02/24/2017      | REIN, LINNEA S 4166                 | <b>162.50</b>     |
| 274615     | 37645           |                                     | 30.00             |
| 274616     | 37645           |                                     | 6.50              |
| 274617     | 37645           |                                     | 126.00            |
| 55701      | 02/24/2017      | SANCHEZ PROFESSIONAL CLEANING 10169 | <b>598.75</b>     |
| 49 A       | 37683           |                                     | 508.75            |
| 49 B       | 37683           |                                     | 90.00             |
| 55702      | 02/24/2017      | SCHMIDT, BECK & BOYD 8999           | <b>8,050.00</b>   |
| 2257       | 36194           |                                     | 8,050.00          |
| 55703      | 02/24/2017      | SHAWNEE MISSION FORD INC 4524       | <b>31,679.00</b>  |
| 13629      | 37086           |                                     | 31,679.00         |
| 55704      | 02/24/2017      | SHI INTERNATIONAL CORPORATION 4540  | <b>5,804.00</b>   |
| B06059274  | 37975           |                                     | 5,804.00          |
| 55705      | 02/24/2017      | SOUND PRODUCTS INC 4663             | <b>47.96</b>      |
| 3195192 IN | 37633           |                                     | 47.96             |



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| 55706         | 02/24/2017      | SPLENDOR JANITORIAL SOLUTIONS 10630 | 588.00       |
| W/E 01/31/17  | 37820           |                                     | 294.00       |
| W/E 02/16/17  | 37820           |                                     | 294.00       |
| 55707         | 02/24/2017      | STAPLES CONTRACT N COMMERCIAL 4725  | 1,072.97     |
| 3328763720    | 37938           |                                     | 401.88       |
| 3328933615    | 37834           |                                     | 110.22       |
| 3328933616    | 37834           |                                     | 110.22       |
| 3328933617    | 37834           |                                     | 110.22       |
| 3328933618    | 37834           |                                     | 77.70        |
| 3329361649    | 37794           |                                     | 74.50        |
| 3329434588    | 37878           |                                     | 74.95        |
| 3329434589    | 37878           |                                     | 52.24        |
| 3329434590    | 38001           |                                     | 31.31        |
| 3329523001    | 38001           |                                     | 29.73        |
| 55708         | 02/24/2017      | SYMBOLARTS 4849                     | 1,580.00     |
| 0274759 IN    | 37067           |                                     | 1,580.00     |
| 55709         | 02/24/2017      | THE GOODYEAR TIRE & RUBBER CO 9375  | 1,437.17     |
| 123 1054330   | 37461           |                                     | 1,280.50     |
| 123 1054349   | 37425           |                                     | 156.67       |
| 55710         | 02/24/2017      | THE TERMINIX INTERNATIONAL 10096    | 345.43       |
| 21253780      | 37489           |                                     | 203.98       |
| 21256815      | 37307           |                                     | 47.15        |
| 21256825      | 37307           |                                     | 47.15        |
| 21257120      | 37307           |                                     | 47.15        |
| 55711         | 02/24/2017      | THERMO FISHER SCIENTIFIC LLC 4949   | 3,278.08     |
| 9247066       | 37561           |                                     | 3,278.08     |
| 55712         | 02/24/2017      | TOPEKA PERFORMING ARTS CENTER 5040  | 67,500.00    |
| 43396 2017 1  | CONTRACT        |                                     | 67,500.00    |
| 55713         | 02/24/2017      | U S LIME COMPANY - ST CLAIR 5117    | 15,632.96    |
| 161259        | 37573           |                                     | 7,854.56     |
| 161272        | 37573           |                                     | 3,843.82     |
| 161291        | 37573           |                                     | 3,934.58     |
| 55714         | 02/24/2017      | UMB BANK NA 5127                    | 69,734.94    |
| PCARD02172017 |                 |                                     | 72,142.70    |
| PCARD02212017 |                 |                                     | -2,407.76    |
| 55715         | 02/24/2017      | VANDERBILT'S NO 6 5199              | 109.99       |
| 308605        | 37321           |                                     | 109.99       |
| 55716         | 02/24/2017      | VETERINARY MEDICAL & SURGICAL 5222  | 20.66        |
| 100486        | 37737           |                                     | 20.66        |
| 55717         | 02/24/2017      | VICTOR L PHILLIPS COMPANY INC 5225  | 4,716.76     |
| IT27305       | 37410           |                                     | 70.40        |
| WT36153       | 37410           |                                     | 1,320.00     |
| WT36192       | 37410           |                                     | 3,326.36     |
| 55718         | 02/24/2017      | WALKER TOWEL & UNIFORM 5266         | 76.25        |
| 2249026       | 37320           |                                     | 12.45        |
| 2249035       | 37469           |                                     | 32.25        |
| 2249649       | 37320           |                                     | 7.65         |
| 2249650       | 37320           |                                     | 23.90        |

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|-------------|-----------------|-------------------------------------|--------------|
| 55719       | 02/24/2017      | WATER MOVERS INC 9950               | 603.00       |
| 9001638916  | 37808           |                                     |              |
| 55720       | 02/24/2017      | 3 M CO 4                            | 180.00       |
| SS46885     | 37814           |                                     |              |
| 55721       | 02/24/2017      | ACE ELECTRIC JONES COMPANY INC 35   | 11,522.34    |
| 3874        | 37771           |                                     | 3,609.16     |
| 3885        | 37771           |                                     | 690.68       |
| 3886        | 37576           |                                     | 7,222.50     |
| 55722       | 02/24/2017      | ANCOR INFORMATION MANAGEMENT 7058   | 10,166.57    |
| INV00295394 | 37593           |                                     |              |
| 55723       | 02/24/2017      | BERRY COMPANIES INC 5408            | 118.96       |
| 06165294    | 37851           |                                     | 84.38        |
| 06165317    | 37851           |                                     | 34.58        |
| 55724       | 02/24/2017      | CAPITAL BELT & SUPPLY INC 776       | 283.43       |
| 97505       | 37488           |                                     | 134.75       |
| 97626       | 37356           |                                     | 123.32       |
| 97632       | 37488           |                                     | 25.36        |
| 55725       | 02/24/2017      | CAPITAL CITY OIL CO INC 778         | 18,513.48    |
| 1065309     | 37433           |                                     |              |
| 55726       | 02/24/2017      | FERGUSON ENTERPRISES INC 1639       | 233.04       |
| 6252054     | 37554           |                                     | 88.98        |
| 6252054 1   | 37554           |                                     | 144.06       |
| 55727       | 02/24/2017      | FLU-CON INC 1729                    | 41.89        |
| P 22711 0   | 37365           |                                     |              |
| 55728       | 02/24/2017      | GRAYBAR 1977                        | 539.44       |
| 989894669   | 37739           |                                     |              |
| 55729       | 02/24/2017      | HD SUPPLY FACILITIES 5175           | 90.95        |
| 171454      | 37596           |                                     |              |
| 55730       | 02/24/2017      | HD SUPPLY WATERWORKS LTD 2146       | 2,696.00     |
| G719291     | 37981           |                                     |              |
| 55731       | 02/24/2017      | LINDYSPRING WATER LLC 3071          | 158.70       |
| 1067762     | 38223           |                                     | 30.75        |
| 1068518     | 38223           |                                     | 18.45        |
| 1074896     | 38223           |                                     | 18.45        |
| 1079790     | 37870           |                                     | 18.45        |
| 1079793     | 37871           |                                     | 24.60        |
| 1083561     | 38223           |                                     | 8.00         |
| 1083630     | 38223           |                                     | 30.00        |
| 1084818     | 38223           |                                     | 10.00        |
| 55732       | 02/24/2017      | LOGIC INC 3090                      | 6,817.10     |
| INV105315   | 37889           |                                     |              |
| 55733       | 02/24/2017      | MCELROY'S INC 3289                  | 7,858.88     |
| AGR07447    | 35821           |                                     | 2,280.00     |
| AGR07448    | 35824           |                                     | 1,579.25     |
| AGR07449    | 35823           |                                     | 3,999.63     |
| 55734       | 02/24/2017      | NORTHEAST KANSAS HYDRAULICS IN 3705 | 553.54       |
| 30940       | 37395           |                                     |              |

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|--------------|-----------------|------------------------------------|--------------|
| 55735        | 02/24/2017      | OLDCASTLE PRECAST INC 3739         | 1,271.49     |
| 120036712    | 37845           |                                    | 645.90       |
| 120036718    | 37845           |                                    | 625.59       |
| 55736        | 02/24/2017      | SALISBURY SUPPLY COMPANY INC 4352  | 450.83       |
| 106457       | 37498           |                                    | 287.02       |
| 106468       | 37483           |                                    | 10.99        |
| 106486       | 37318           |                                    | 34.80        |
| 106600       | 37853           |                                    | 13.47        |
| 106608       | 37483           |                                    | 104.55       |
| 55737        | 02/24/2017      | SMITH FERTILIZER & GRAIN 9367      | 4,935.94     |
| 4 005072     | 37654           |                                    | 4,935.94     |
| 55738        | 02/24/2017      | TAZCO INC 4885                     | 3,448.90     |
| 3325         | 37613           |                                    | 3,448.90     |
| 55739        | 02/24/2017      | TFM COMM INC 4914                  | 2,148.35     |
| 185463       | 38225           |                                    | 2,148.35     |
| 55740        | 02/24/2017      | TOPEKA BLUE PRINT INC 5015         | 100.00       |
| 170108       | 38129           |                                    | 100.00       |
| 55741        | 03/01/2017      | 1031 SW TAYLOR LLC 1               | 339.00       |
| KIN101-0317  |                 | S+C March 2017Payment              | 339.00       |
| 55742        | 03/01/2017      | AREA, WILLIAM C 9445               | 752.00       |
| COL104-0317  |                 | S+C March 2017Payment              | 495.00       |
| WEI111-0317  |                 | S+C March 2017Payment              | 257.00       |
| 55743        | 03/01/2017      | BALANCED PROPERTY MANAGEMENT 10373 | 587.00       |
| WEL101-0317  |                 | S+C March 2017Payment              | 587.00       |
| 55744        | 03/01/2017      | BAYLOR, CHARLES C 8942             | 544.00       |
| ALE112-0317  |                 | S+C March 2017Payment              | 544.00       |
| 55745        | 03/01/2017      | BEST BUY SALES INC 8560            | 741.00       |
| MEN112-0317  |                 | S+C March 2017Payment              | 741.00       |
| 55746        | 03/01/2017      | BOOS, JOHN 10148                   | 640.00       |
| DIT101-0317  |                 | S+C March 2017Payment              | 640.00       |
| 55747        | 03/01/2017      | BPM LLC 579                        | 778.00       |
| BAR105-0317  |                 | S+C March 2017Payment              | 446.00       |
| BRO103-0317  |                 | S+C March 2017Payment              | 332.00       |
| 55748        | 03/01/2017      | BREAKTHROUGH HOUSE INC 599         | 189.00       |
| COFF104-0317 |                 | S+C March 2017Payment              | 189.00       |
| 55749        | 03/01/2017      | BROOKWOOD TERRACE HOUSING LP 644   | 4,568.00     |
| ALL105-0317  |                 | S+C March 2017Payment              | 455.00       |
| BAK101-0317  |                 | S+C March 2017Payment              | 299.00       |
| BRI107-0317  |                 | S+C March 2017Payment              | 455.00       |
| BRO111-0317  |                 | S+C March 2017Payment              | 316.00       |
| CHA104-0317  |                 | S+C March 2017Payment              | 450.00       |
| DOR101-0317  |                 | S+C March 2017Payment              | 330.00       |
| GES101-0317  |                 | S+C March 2017Payment              | 200.00       |
| JAC103-0317  |                 | S+C March 2017Payment              | 343.00       |
| PUE102-0317  |                 | S+C March 2017Payment              | 323.00       |
| REE101-0317  |                 | S+C March 2017Payment              | 317.00       |
| SIM105-0217A |                 | S+C February 2017Payment           | 283.00       |

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| SIM105-0317  |                 | S+C March 2017Payment            | 283.00          |
| SIM105-DEP   |                 | S+C March 2017Deposit            | 200.00          |
| STO101-0317  |                 | S+C March 2017Payment            | 314.00          |
| 55750        | 03/01/2017      | CANDLESTICK MANAGEMENT LLC 10720 | <b>2,470.00</b> |
| ACK103-0317  |                 | S+C March 2017Payment            | 525.00          |
| AMO101-0317  |                 | S+C March 2017Payment            | 287.00          |
| BIC102-0317  |                 | S+C March 2017Payment            | 348.00          |
| CHA101-0317  |                 | S+C March 2017Payment            | 310.00          |
| HAR105-0317  |                 | S+C March 2017Payment            | 475.00          |
| TUC101-0317  |                 | S+C March 2017Payment            | 525.00          |
| 55751        | 03/01/2017      | CASTLE HOME MANAGEMENT LLC 9474  | <b>721.00</b>   |
| CUN103-0317  |                 | S+C March 2017Payment            | 721.00          |
| 55752        | 03/01/2017      | CJS REAL ESTATE 10107            | <b>2,109.00</b> |
| DEM102-0317  |                 | S+C March 2017Payment            | 282.00          |
| ELL101-0317  |                 | S+C March 2017Payment            | 387.00          |
| RHO102-0317  |                 | S+C March 2017Payment            | 595.00          |
| WAR101-0317  |                 | S+C March 2017Payment            | 845.00          |
| 55753        | 03/01/2017      | CORNERSTONE APARTMENTS LP 7173   | <b>511.00</b>   |
| LAD1024-0317 |                 | S+C March 2017Payment            | 199.00          |
| THO102-0317  |                 | S+C March 2017Payment            | 312.00          |
| 55754        | 03/01/2017      | CORNERSTONE OF TOPEKA INC 1117   | <b>2,791.00</b> |
| DOU104-0317  |                 | S+C March 2017Payment            | 371.00          |
| EDM101-0317  |                 | S+C March 2017Payment            | 504.00          |
| GAR108-0317  |                 | S+C March 2017Payment            | 425.00          |
| HAR104-0317  |                 | S+C March 2017Payment            | 166.00          |
| HOM101-0317  |                 | S+C March 2017Payment            | 460.00          |
| PET101-0317  |                 | S+C March 2017Payment            | 395.00          |
| PRI1029-0317 |                 | S+C March 2017Payment            | 470.00          |
| 55755        | 03/01/2017      | COX, WILLIAM R 1151              | <b>750.00</b>   |
| KIM1032-0317 |                 | S+C March 2017Payment            | 750.00          |
| 55756        | 03/01/2017      | COZY HOME RENTAL MGMT LLC 1155   | <b>699.00</b>   |
| BAR103-0317  |                 | S+C March 2017Payment            | 276.00          |
| EVA104-0317  |                 | S+C March 2017Payment            | 112.00          |
| SAN101-0317  |                 | S+C March 2017Payment            | 311.00          |
| 55757        | 03/01/2017      | DELAPP, PATRICK 1315             | <b>395.00</b>   |
| ESP101-0317  |                 | S+C March 2017Payment            | 395.00          |
| 55758        | 03/01/2017      | DELTA REAL ESTATE LLC 10137      | <b>1,023.00</b> |
| DAN101-0317  |                 | S+C March 2017Payment            | 479.00          |
| GOO101-0317  |                 | S+C March 2017Payment            | 544.00          |
| 55759        | 03/01/2017      | DERYL D WILSON 6401              | <b>299.00</b>   |
| HUG101-0317  |                 | S+C March 2017Payment            | 299.00          |
| 55760        | 03/01/2017      | DONALD, JOSEPH 12                | <b>511.00</b>   |
| LOY101-0317  |                 | S+C March 2017Payment            | 511.00          |
| 55761        | 03/01/2017      | DUNCAN, CLAUDE 1442              | <b>1,377.00</b> |
| BOX1089-0317 |                 | S+C March 2017Payment            | 334.00          |
| BUS101-0317  |                 | S+C March 2017Payment            | 645.00          |
| SPA1055-0317 |                 | S+C March 2017Payment            | 398.00          |
| 55762        | 03/01/2017      | EBERT ROOFING INC 9028           | <b>216.00</b>   |
| WOO101-0317  |                 | S+C March 2017Payment            | 216.00          |

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|---|-----------------|---|---|
| 55763<br>ALV108-0317  | 03/01/2017      | EVANS, WARREN L<br>S+C March 2017Payment<br>1584  | 575.00<br><b>575.00</b>   |
| 55764<br>HOU105-0317<br>LAW101-0317   | 03/01/2017      | GARNER REMODELING<br>S+C March 2017Payment<br>S+C March 2017Payment<br>1843   | 310.00<br>102.00<br><b>412.00</b>   |
| 55765<br>IRB101-0317<br>JON107-0317   | 03/01/2017      | GLENN OAKS CITY CENTRE GP LLC<br>S+C March 2017Payment<br>S+C March 2017Payment<br>9348   | 249.00<br>425.00<br><b>674.00</b>   |
| 55766<br>RHO101-0317  | 03/01/2017      | GOODALL, ROBERT G<br>S+C March 2017Payment<br>9401  | 578.00<br><b>578.00</b>   |
| 55767<br>MAR101-0317  | 03/01/2017      | HAPPY HOMES INC<br>S+C March 2017Payment<br>7373  | 477.00<br><b>477.00</b>   |
| 55768<br>GAN101-0317  | 03/01/2017      | HAROLD D GERLACH TRUST<br>S+C March 2017Payment<br>9573   | 233.00<br><b>233.00</b>   |
| 55769<br>ALL108-0317<br>DOB101-0317<br>FER102-0317<br>HED101-0317<br>KOZ1041-0317<br>NOR101-0317<br>RAI101-0317 | 03/01/2017      | HARRISON STREET INVESTMENTS<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>10485 | 230.00<br>375.00<br>375.00<br>400.00<br>256.00<br>400.00<br>332.00<br><b>2,368.00</b> |
| 55770<br>DAV102-0317  | 03/01/2017      | HAUSCHILD, HARRY L<br>S+C March 2017Payment<br>10300  | 355.00<br><b>355.00</b>   |
| 55771<br>BOW101-0317<br>MCF101-0317   | 03/01/2017      | MASSEY, JEANETTE I<br>S+C March 2017Payment<br>S+C March 2017Payment<br>8460  | 400.00<br>284.00<br><b>684.00</b>   |
| 55772<br>SEX108-0317  | 03/01/2017      | RAGSDALE, JEFF<br>S+C March 2017Payment<br>7375   | 71.00<br><b>71.00</b>   |
| 55773<br>MCC104-0317  | 03/01/2017      | JONES, LINDA L<br>S+C March 2017Payment<br>10653  | 725.00<br><b>725.00</b>   |
| 55774<br>CHA103-0317<br>HOL101-0317   | 03/01/2017      | KANSAS ST GREGORY APARTMENTS<br>S+C March 2017Payment<br>S+C March 2017Payment<br>10652   | 437.00<br>235.00<br><b>672.00</b>   |
| 55775<br>BLA105-0317  | 03/01/2017      | KB INVESTMENT GROUP<br>S+C March 2017Payment<br>9880  | 550.00<br><b>550.00</b>   |
| 55776<br>BEN101-0317  | 03/01/2017      | BRUBAKER, KENNETH L<br>S+C March 2017Payment<br>7383  | 475.00<br><b>475.00</b>   |
| 55777<br>MCL101-0317  | 03/01/2017      | KENNEY, BRUCE RANDALL<br>S+C March 2017Payment<br>10353   | 425.00<br><b>425.00</b>   |
| 55778<br>SAU101-0317  | 03/01/2017      | MARTIN, IMA RUTH<br>S+C March 2017Payment<br>6385   | 303.00<br><b>303.00</b>   |
| 55779<br>MUN112-0317<br>SHA101-0317   | 03/01/2017      | MYERS, MARY CHRIS<br>S+C March 2017Payment<br>S+C March 2017Payment<br>7286   | 715.00<br>695.00<br><b>1,410.00</b>   |

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|--|-----------------|--|---|
| 55780<br>BAR102-0317   | 03/01/2017      | MELARA SANDOVAL, NELSON RENAN<br>S+C March 2017Payment<br>10372  | 244.00<br><b>244.00</b>   |
| 55781<br>BRA101-0317<br>KAY103-0317  | 03/01/2017      | MONARCH ASSETS LLC<br>S+C March 2017Payment<br>S+C March 2017Payment<br>10185  | 318.00<br>400.00<br><b>718.00</b>   |
| 55782<br>THE101-0317   | 03/01/2017      | SAGGART, PAMELA<br>S+C March 2017Payment<br>7218   | 308.00<br><b>308.00</b>   |
| 55783<br>WHE105-0317<br>WIL109-0317  | 03/01/2017      | PARADISE PLAZA I LLC<br>S+C March 2017Payment<br>S+C March 2017Payment<br>3813   | 450.00<br>562.00<br><b>1,012.00</b>   |
| 55784<br>DIV101-0317   | 03/01/2017      | PARADISE PLAZA II LLC<br>S+C March 2017Payment<br>3814   | 599.00<br><b>599.00</b>   |
| 55785<br>WIL101-0317   | 03/01/2017      | PARK SOUTH PARTNERS LLC<br>S+C March 2017Payment<br>7387   | 295.00<br><b>295.00</b>   |
| 55786<br>BEV101-0317<br>HAY102-0317<br>HIL1027-0317<br>MCG1031-0317<br>MUZ101-0317<br>ONE103-0317<br>SUH101-0317 | 03/01/2017      | PC OAKBROOK LLC<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>9833 | 655.00<br>677.00<br>560.00<br>799.00<br>339.00<br>475.00<br>620.00<br><b>4,125.00</b> |
| 55787<br>SHA1042-0317  | 03/01/2017      | PETERSEN, LONNIE<br>S+C March 2017Payment<br>3909  | 334.00<br><b>334.00</b>   |
| 55788<br>POR101-0317<br>REA105-0317  | 03/01/2017      | PIONEER ADAMS II LP<br>S+C March 2017Payment<br>S+C March 2017Payment<br>7285  | 434.00<br>294.00<br><b>728.00</b>   |
| 55789<br>BAR104-0317<br>EST101-0317<br>GUE101-0317   | 03/01/2017      | PIONEER CURTIS HOMES<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>3941  | 334.00<br>695.00<br>449.00<br><b>1,478.00</b>   |
| 55790<br>AND102-0317<br>DOM101-0317<br>DOU105-0317<br>MCC103-0317<br>TOW102-0317                                 | 03/01/2017      | PIONEER MOVITIVE POWER PLACE LP<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>9278                                   | 247.00<br>305.00<br>173.00<br>480.00<br>480.00<br><b>1,685.00</b>                     |
| 55791<br>CRU101-0317<br>WIL1047-0317   | 03/01/2017      | POTTS, GERALD<br>S+C March 2017Payment<br>S+C March 2017Payment<br>6378  | 727.00<br>363.00<br><b>1,090.00</b>   |
| 55792<br>AKI101-0317<br>BLE101-0317<br>TIS101-0317   | 03/01/2017      | RENT TOPEKA HOMES<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>4175   | 560.00<br>635.00<br>600.00<br><b>1,795.00</b>   |
| 55793<br>HUT101-0317<br>JEF106-0317<br>LOR105-0317   | 03/01/2017      | RENTAL MANAGEMENT SOLUTIONS LL<br>S+C March 2017Payment<br>S+C March 2017Payment<br>S+C March 2017Payment<br>4176  | 350.00<br>498.00<br>334.00<br><b>4,228.00</b>   |

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| MAR102-0317  |                 | S+C March 2017Payment               | 645.00       |
| MAR115-0317  |                 | S+C March 2017Payment               | 450.00       |
| RAM102-0317  |                 | S+C March 2017Payment               | 227.00       |
| SIE101-0317  |                 | S+C March 2017Payment               | 399.00       |
| SMI104-0317  |                 | S+C March 2017Payment               | 515.00       |
| SPA102-0317  |                 | S+C March 2017Payment               | 350.00       |
| WIC105-0317  |                 | S+C March 2017Payment               | 460.00       |
| 55794        | 03/01/2017      | LAIRD SR, RICHARD D 6519            | 718.00       |
| REE103-0317  |                 | S+C March 2017Payment               | 718.00       |
| 55795        | 03/01/2017      | RLT ENTERPRISES LLC 9239            | 1,331.00     |
| ERI101-0317  |                 | S+C March 2017Payment               | 525.00       |
| FIL101-0317  |                 | S+C March 2017Payment               | 425.00       |
| ROB103-0317  |                 | S+C March 2017Payment               | 381.00       |
| 55796        | 03/01/2017      | CUEVAS, RODOLFO 7291                | 379.00       |
| FAR101-0317  |                 | S+C March 2017Payment               | 379.00       |
| 55797        | 03/01/2017      | RUNNING R PROPERTY MANAGEMENT 10417 | 1,119.00     |
| JAR101-0317  |                 | S+C March 2017Payment               | 544.00       |
| LYI101-0317  |                 | S+C March 2017Payment               | 575.00       |
| 55798        | 03/01/2017      | SHAWNEE MANAGEMENT LLC 7828         | 535.00       |
| HAM101-0317  |                 | S+C March 2017Payment               | 535.00       |
| 55799        | 03/01/2017      | SHELLENBERGER, JAY 10190            | 600.00       |
| FER101-DMGS  |                 | S+C March 2017Damages               | 600.00       |
| 55800        | 03/01/2017      | SOUTHBROOK HOUSING 10714            | 186.00       |
| PER109-0317  |                 | S+C March 2017Payment               | 186.00       |
| 55801        | 03/01/2017      | STEWART INCOME PROPERTIES LLC 10713 | 234.00       |
| SMA1044-0317 |                 | S+C March 2017Payment               | 234.00       |
| 55802        | 03/01/2017      | STONER, JAMES KYLE 10712            | 894.00       |
| LAC101-0317  |                 | S+C March 2017Payment               | 894.00       |
| 55803        | 03/01/2017      | TJB PROPERTIES LLC 10719            | 650.00       |
| SMI109-0317  |                 | S+C March 2017Payment               | 650.00       |
| 55804        | 03/01/2017      | TRINITY PROPERTIES LLC 5098         | 13,762.00    |
| AND106-0317  |                 | S+C March 2017Payment               | 528.00       |
| BOO101-0317  |                 | S+C March 2017Payment               | 327.00       |
| BRA102-0317  |                 | S+C March 2017Payment               | 248.00       |
| CAR101-0317  |                 | S+C March 2017Payment               | 317.00       |
| CHA102-0317  |                 | S+C March 2017Payment               | 535.00       |
| CON101-0317  |                 | S+C March 2017Payment               | 325.00       |
| CRA100-0317  |                 | S+C March 2017Payment               | 994.00       |
| EDM102-0317  |                 | S+C March 2017Payment               | 112.00       |
| FRE108-0317  |                 | S+C March 2017Payment               | 576.00       |
| GRE102-0317  |                 | S+C March 2017Payment               | 544.00       |
| HAR101-0317  |                 | S+C March 2017Payment               | 360.00       |
| HAR102-0317  |                 | S+C March 2017Payment               | 535.00       |
| HOP101-0317  |                 | S+C March 2017Payment               | 164.00       |
| HOR101-0317  |                 | S+C March 2017Payment               | 528.00       |
| HUR101-0317  |                 | S+C March 2017Payment               | 334.00       |
| JEF105-0317  |                 | S+C March 2017Payment               | 338.00       |
| JOH103-0317  |                 | S+C March 2017Payment               | 544.00       |
| JUD1019-0317 |                 | S+C March 2017Payment               | 469.00       |
| KUT108-0317  |                 | S+C March 2017Payment               | 325.00       |
| LUC104-0317  |                 | S+C March 2017Payment               | 713.00       |
| MAH101-0117  |                 | S+C January 2017Payment             | 58.00        |

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|----------------|-----------------|-----------------------------------|--------------|
| MAH101-0217    |                 | S+C February 2017Payment          | 360.00       |
| MAH101-0317    |                 | S+C March 2017Payment             | 360.00       |
| MAH101-DEP     |                 | S+C March 2017Deposit             | 500.00       |
| MAR103-0317    |                 | S+C March 2017Payment             | 334.00       |
| MIC112-0317    |                 | S+C March 2017Payment             | 544.00       |
| PRI101-0317    |                 | S+C March 2017Payment             | 192.00       |
| SEI101-0317    |                 | S+C March 2017Payment             | 256.00       |
| SIL101-0317    |                 | S+C March 2017Payment             | 375.00       |
| SWE102-0217    |                 | S+C February 2017Payment          | 328.00       |
| SWE102-0317    |                 | S+C March 2017Payment             | 328.00       |
| SWE102-DEP     |                 | S+C March 2017Deposit             | 400.00       |
| WEL1035-0317   |                 | S+C March 2017Payment             | 328.00       |
| WHI1111-0317   |                 | S+C March 2017Payment             | 264.00       |
| WIN105-0317    |                 | S+C March 2017Payment             | 319.00       |
| 55805          | 03/01/2017      | VALLEY BROTHERS LLC 9674          | 509.00       |
| MYE109-0317    |                 | S+C March 2017Payment             | 264.00       |
| PRY104-0317    |                 | S+C March 2017Payment             | 245.00       |
| 55806          | 03/01/2017      | VANHORN, CHARLES 10410            | 700.00       |
| AND107-0317    |                 | S+C March 2017Payment             | 700.00       |
| 55807          | 03/01/2017      | VANHOUSE, DANIEL W 5201           | 675.00       |
| RET101-0317    |                 | S+C March 2017Payment             | 675.00       |
| 55808          | 03/01/2017      | WCW ENTERPRISES INC 5339          | 483.00       |
| HEN103-0317    |                 | S+C March 2017Payment             | 483.00       |
| 55809          | 03/01/2017      | WENDT, ROXANNE M 9870             | 525.00       |
| KOL101-0317    |                 | S+C March 2017Payment             | 525.00       |
| 55810          | 03/01/2017      | WM INVESTMENTS LLC 10106          | 450.00       |
| ATK103-0317    |                 | S+C March 2017Payment             | 450.00       |
| 55811          | 03/01/2017      | WOLFE, JO ANN 5517                | 591.00       |
| ALL104-0317    |                 | S+C March 2017Payment             | 270.00       |
| PAY106-0317    |                 | S+C March 2017Payment             | 321.00       |
| 55812          | 03/01/2017      | WOOD, JAMES U 10311               | 375.00       |
| WEB107-0317    |                 | S+C March 2017Payment             | 375.00       |
| 55813          | 03/03/2017      | WHITNEY B DAMRON PA 5418          | 5,750.00     |
| 38086 JAN 2017 | 38086           |                                   | 5,750.00     |
| 55814          | 03/03/2017      | 4R CONSTRUCTION COMPANY LLC 10254 | 4,685.00     |
| 000 057        | 38396           |                                   | 4,189.00     |
| 001 057        | 38396           |                                   | 496.00       |
| 55815          | 03/03/2017      | 5SC - HOLLIDAY SQUARE LLC 8851    | 9,437.80     |
| FEBRUARY 2017  | CID HOLLIDAY    |                                   | 9,437.80     |
| 55816          | 03/03/2017      | A-TEC RECYCLING 8981              | 683.61       |
| 170127 44801   | 38509           |                                   | 683.61       |
| 55817          | 03/03/2017      | AAA CLUB ALLIANCE INC 10251       | 500.50       |
| 286895         | 37505           |                                   | 38.50        |
| 287677         | 37505           |                                   | 38.50        |
| 287678         | 37431           |                                   | 38.50        |
| 287680         | 37505           |                                   | 38.50        |
| 287746         | 37505           |                                   | 38.50        |
| 288055         | 37431           |                                   | 38.50        |
| 288058         | 37505           |                                   | 38.50        |



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|---------------|-----------------|------------------------------------|--------------|
| 288060        | 37505           |                                    | 38.50        |
| 288355        | 37431           |                                    | 38.50        |
| 288362        | 37505           |                                    | 38.50        |
| 288363        | 37505           |                                    | 38.50        |
| 288399        | 37505           |                                    | 38.50        |
| 288447        | 37431           |                                    | 38.50        |
| 55818         | 03/03/2017      | ALL INCLUSIVE CONSTRUCTION & 7135  | 3,169.00     |
| 37030 2       | 37030           |                                    | 3,169.00     |
| 55819         | 03/03/2017      | AMERIPRIDE 197                     | 551.23       |
| 2300763672    | 37322           |                                    | 28.32        |
| 2300764248    | 37534           |                                    | 158.56       |
| 2300764250    | 37322           |                                    | 34.61        |
| 2300764261    | 37322           |                                    | 15.86        |
| 2300764273    | 37626           |                                    | 10.56        |
| 2300764276    | 37626           |                                    | 35.87        |
| 2300764278    | 37626           |                                    | 135.08       |
| 2300764280    | 37626           |                                    | 62.06        |
| 2300764417    | 37626           |                                    | 70.31        |
| 55820         | 03/03/2017      | APPLICATION SOFTWARE INC 8140      | 720.00       |
| FEBRUARY 17 F | PAYROLL         |                                    | 720.00       |
| 55821         | 03/03/2017      | ARCHITECT ONE PA 249               | 285.00       |
| 170203        | 38077           |                                    | 285.00       |
| 55822         | 03/03/2017      | BARTLETT & WEST ENGINEERS 391      | 22,541.50    |
| 730059121     | 36415           |                                    | 7,495.00     |
| 730059506     | 29826           |                                    | 8,800.00     |
| 730060179     | 29826           |                                    | 1,000.00     |
| 730060181     | 36415           |                                    | 2,248.50     |
| 73059509      | 36415           |                                    | 2,998.00     |
| 55823         | 03/03/2017      | BERRY COMPANIES INC 463            | 704.37       |
| 03022671      | 37351           |                                    | 510.53       |
| 03022672      | 37351           |                                    | 193.84       |
| 55824         | 03/03/2017      | BINSWANGER ENTERPRISES LLC 7825    | 325.29       |
| I593013994    | 37421           |                                    | 325.29       |
| 55825         | 03/03/2017      | BLUE CROSS BLUE SHIELD INC 528     | 190,004.09   |
| W/E 02/28/17  | 37524           |                                    | 190,004.09   |
| 55826         | 03/03/2017      | BOETTCHER SUPPLY INC 543           | 42.95        |
| 1011322 1     | 37352           |                                    | 42.95        |
| 55827         | 03/03/2017      | C & C PRODUCE 7788                 | 573.25       |
| 001089874     | 37490           |                                    | 573.25       |
| 55828         | 03/03/2017      | CDW GOVERNMENT INC 857             | 2,018.94     |
| GTQ6440       | 38071           |                                    | 1,009.47     |
| GVG8295       | 38071           |                                    | 1,009.47     |
| 55829         | 03/03/2017      | CENTRAL MECHANICAL CONST CO IN 863 | 545.66       |
| 0000057698    | 37956           |                                    | 545.66       |
| 55830         | 03/03/2017      | CHEMTRADE CHEMCIALS 1864           | 3,292.08     |
| 92028951      | 37571           |                                    | 3,292.08     |
| 55831         | 03/03/2017      | CONCRETE SUPPLY OF TOPEKA 1066     | 1,370.00     |
| 140882        | 37478           |                                    | 1,370.00     |

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|----------------|-----------------|------------------------------------|--------------|
| SS340006416    | 37948           |                                    | 583.22       |
| 55845          | 03/03/2017      | FRIENDS OF THE TOPEKA ZOO 1794     | 262.02       |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 39.05        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 57.41        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 8.35         |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 15.85        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 9.85         |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 13.19        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 1.00         |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 11.35        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 22.19        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 64.76        |
| FOTZ170303141  |                 | Friends of the Topeka Zoo Pass     | 19.02        |
| 55846          | 03/03/2017      | GALLS INC 1829                     | 272.54       |
| 006959167      | 37685           |                                    |              |
| 55847          | 03/03/2017      | GREAT SOUTHERN BANK 9969           | 33,857.67    |
| FEBRUARY 2017  | CID CROSSWINDS  |                                    |              |
| 55848          | 03/03/2017      | INNOVA CONSULTING LLC 10432        | 720.00       |
| 1844           | 35889           |                                    |              |
| 55849          | 03/03/2017      | INTERSTATE ELEVATOR INC 2438       | 255.88       |
| 15923          | 38096           |                                    |              |
| 55850          | 03/03/2017      | J-DOT INC 531                      | 1,700.00     |
| 257222         | 38127           |                                    |              |
| 55851          | 03/03/2017      | JOINT ECONOMIC DEVELOPMENT 6898    | 967,289.21   |
| PAYMENT 2/27/1 | JEDO            |                                    |              |
| 55852          | 03/03/2017      | JST CONSTRUCTION CO LLC 2599       | 650.00       |
| 170031         | 37819           |                                    |              |
| 55853          | 03/03/2017      | KAN EQUIPMENT INC 2621             | 110.89       |
| 6 227104       | 37383           |                                    | 67.73        |
| 6 227202       | 37383           |                                    | 43.16        |
| 55854          | 03/03/2017      | KANSAS PERSONNEL SERVICES INC 2849 | 3,796.32     |
| 3041786        | 37689           |                                    | 498.75       |
| 3041951        | 38085           |                                    | 580.00       |
| 3041953        | 37757           |                                    | 532.00       |
| 3042030        | 37653           |                                    | 594.00       |
| 3042031        | 37757           |                                    | 540.00       |
| 3042032        | 37675           |                                    | 363.83       |
| 3042035        | 37952           |                                    | 315.51       |
| 3042036        | 37491           |                                    | 372.23       |
| 55855          | 03/03/2017      | KCR INTERNATIONAL TRUCKS INC 1347  | 1,374.17     |
| 130117151      | 37362           |                                    | 48.54        |
| 130117178      | 37362           |                                    | 574.80       |
| 130117179      | 37362           |                                    | -78.00       |
| 130117196      | 37362           |                                    | 281.84       |
| 130117215      | 37362           |                                    | 39.72        |
| 130117227      | 37362           |                                    | 25.77        |
| 130117258      | 37362           |                                    | 188.82       |
| 130117293      | 37362           |                                    | 292.68       |
| 55856          | 03/03/2017      | KEY WORKFORCE SOLUTIONS INC 9879   | 2,148.90     |
| 3042024        | 37539           |                                    | 756.90       |

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| 3042025       | 37954           |                                     | 1,392.00     |
| 55857         | 03/03/2017      | KUNKEL PROPERTIES INC 9406          | 168.51       |
| 83128 117886  | 37308           |                                     |              |
| 55858         | 03/03/2017      | LAWYERS TITLE OF TOPEKA INC 3002    | 750.00       |
| 17344         | 37760           |                                     | 250.00       |
| 17346         | 37760           |                                     | 250.00       |
| 17362         | 37760           |                                     | 250.00       |
| 55859         | 03/03/2017      | MARTY GRIST 8792                    | 11,400.00    |
| 36690 PENALTY | 36690           |                                     | -600.00      |
| 36786         | 36786           |                                     | 12,000.00    |
| 55860         | 03/03/2017      | MATHER FLARE RENTAL INC 5791        | 12,819.10    |
| 4239          | 37501           |                                     | 544.80       |
| 4240          | 37501           |                                     | 1,122.40     |
| 4241          | 37501           |                                     | 756.08       |
| 4242          | 37841           |                                     | 4.08         |
| 4243          | 37841           |                                     | 450.00       |
| 4247          | 37841           |                                     | 259.00       |
| 4248          | 37841           |                                     | 200.00       |
| 4249          | 37501           |                                     | 1,512.00     |
| 4250          | 37501           |                                     | 1,414.30     |
| 4251          | 37501           |                                     | 2,534.40     |
| 4252          | 37501           |                                     | 1,797.40     |
| 4253          | 37501           |                                     | 2,224.64     |
| 55861         | 03/03/2017      | MERIDIAN ROOFING SOLUTIONS 9641     | 117,299.25   |
| 36911 3       | 36911           |                                     |              |
| 55862         | 03/03/2017      | MHC SOFTWARE INC 7206               | 898.20       |
| 0123263       | 38506           |                                     |              |
| 55863         | 03/03/2017      | MID-STATES HEALTH PRODUCTS INC 9014 | 17,451.74    |
| 14327         | 36968           |                                     |              |
| 55864         | 03/03/2017      | MINNESOTA ELEVATOR INC 7834         | 2,503.44     |
| 692762        | 37305           |                                     |              |
| 55865         | 03/03/2017      | NEENAN COMPANY 3649                 | 2,480.70     |
| S2408406 001  | 37809           |                                     | 267.89       |
| S2408585 001  | 37809           |                                     | 26.85        |
| S2409019 001  | 37809           |                                     | 313.22       |
| S2409523 001  | 37809           |                                     | 69.86        |
| S2409786 001  | 37809           |                                     | 247.68       |
| S2411318 001  | 37809           |                                     | 124.21       |
| S2412264 001  | 37809           |                                     | 250.29       |
| S2412681 001  | 37809           |                                     | 124.21       |
| S2412811 001  | 37809           |                                     | 122.48       |
| S2412852 001  | 37809           |                                     | 385.17       |
| S2413664 001  | 37809           |                                     | 24.59        |
| S2413665 001  | 37809           |                                     | 122.48       |
| S2415275 001  | 37809           |                                     | 401.77       |
| 55866         | 03/03/2017      | O REILLY AUTO PARTS 3714            | 1,832.00     |
| 0152 301785   | 37396           |                                     | 26.45        |
| 0152 301976   | 37396           |                                     | 3.41         |
| 0152 301983   | 37396           |                                     | 9.25         |
| 0152 302067   | 37396           |                                     | 36.50        |
| 0152 302245   | 37396           |                                     | 15.98        |
| 0152 302937   | 37396           |                                     | 79.79        |
| 0152 302962   | 37396           |                                     | 49.00        |

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|---------------|-----------------|--------------------------------|--------------|----------|----------|----------|
| 0152 302976   | 37396           |                                | -49.00       |          |          |          |
| 0152 303073   | 37396           |                                | 67.80        |          |          |          |
| 0152 303183   | 37451           |                                | 29.90        |          |          |          |
| 0152 303185   | 37451           |                                | 117.21       |          |          |          |
| 0152 303327   | 37396           |                                | 178.69       |          |          |          |
| 0152 303344   | 37396           |                                | 318.05       |          |          |          |
| 0152 303653   | 37314           |                                | 5.48         |          |          |          |
| 0152 303691   | 37396           |                                | -98.00       |          |          |          |
| 0152 304196   | 37396           |                                | 6.13         |          |          |          |
| 0152 304215   | 37396           |                                | 2.63         |          |          |          |
| 0152 304219   | 37396           |                                | 13.56        |          |          |          |
| 0152 304234   | 37396           |                                | 7.04         |          |          |          |
| 0152 304235   | 37396           |                                | -17.07       |          |          |          |
| 0152 304363   | 37396           |                                | 26.69        |          |          |          |
| 0152 304641   | 37396           |                                | 62.14        |          |          |          |
| 0152 304645   | 37396           |                                | 256.51       |          |          |          |
| 0152 304879   | 37396           |                                | 31.53        |          |          |          |
| 0152 305056   | 37396           |                                | 104.05       |          |          |          |
| 0152 306158   | 37396           |                                | 10.28        |          |          |          |
| 0152 306543   | 37396           |                                | 3.80         |          |          |          |
| 0152 306609   | 37396           |                                | 10.86        |          |          |          |
| 0152 306744   | 37396           |                                | 13.32        |          |          |          |
| 0152 306906   | 37396           |                                | 17.83        |          |          |          |
| 0152 306919   | 37396           |                                | 6.43         |          |          |          |
| 0152 307795   | 37396           |                                | 223.10       |          |          |          |
| 0152 307951   | 37396           |                                | 103.37       |          |          |          |
| 0152 3304233  | 37396           |                                | 2.44         |          |          |          |
| 0191 250075   | 37396           |                                | 38.32        |          |          |          |
| 0191 250097   | 37396           |                                | 74.76        |          |          |          |
| 0191 252490   | 37396           |                                | 15.90        |          |          |          |
| 0191 253487   | 37396           |                                | 20.91        |          |          |          |
| 2439 498580   | 37396           |                                | 6.96         |          |          |          |
|               |                 |                                |              |          |          |          |
| 55867         | 03/03/2017      | ONEILL EXCAVATING INC          | 10202        | 6,360.13 | 6,360.13 | 6,360.13 |
| 000079        | 38051           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55868         | 03/03/2017      | OPTIV SECURITY INC             | 1700         | 2,287.80 | 2,287.80 | 2,287.80 |
| INV 100047633 | 38017           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55869         | 03/03/2017      | POMPS TIRE SERVICE INC         | 10675        | 133.63   | 133.63   | 133.63   |
| 1160001674    | 37432           |                                |              | 321.42   | 321.42   | 321.42   |
| 1160001724    | 37432           |                                |              | 16.13    | 16.13    | 16.13    |
| 1160001806    | 37432           |                                |              | 675.72   | 675.72   | 675.72   |
| 1160002040    | 37432           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55870         | 03/03/2017      | PROFESSIONAL FIRE ALARM SYSTEM | 4019         | 922.00   | 922.00   | 922.00   |
| 13822 0203    | 37325           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55871         | 03/03/2017      | R & R VENTURES OF TOPEKA INC   | 4065         | 2,400.00 | 2,400.00 | 2,400.00 |
| 2017 04       | 37846           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55872         | 03/03/2017      | RAY O HERRON COMPANY           | 4118         | 935.91   | 935.91   | 935.91   |
| 1708108 IN    | 37824           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55873         | 03/03/2017      | RECREATION ENGINEERING AND     | 8873         | 7,320.00 | 7,320.00 | 7,320.00 |
| 33143 6       | 33143           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55874         | 03/03/2017      | RED THE UNIFORM TAILOR INC     | 4131         | 64.45    | 64.45    | 64.45    |
| 0R24455A      | 36262           |                                |              |          |          |          |
|               |                 |                                |              |          |          |          |
| 55875         | 03/03/2017      | REGIONAL ECONOMIC MODELS INC   | 9707         | 8,000.00 | 8,000.00 | 8,000.00 |
| 0217 684 1    | 38511           |                                |              |          |          |          |

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| 55876       | 03/03/2017      | SANCHEZ PROFESSIONAL CLEANING 10169 | <b>1,163.05</b>  |
| 38029 01    | 38029           |                                     | 564.30           |
| 50 A        | 37683           |                                     | 508.75           |
| 50 B        | 37683           |                                     | 90.00            |
| 55877       | 03/03/2017      | SELLERS EQUIPMENT INC 4470          | <b>1,428.00</b>  |
| IC224796    | 37399           |                                     | 1,428.00         |
| 55878       | 03/03/2017      | SHI INTERNATIONAL CORPORATION 4540  | <b>35,180.00</b> |
| B05942178   | 37243           |                                     | 35,180.00        |
| 55879       | 03/03/2017      | SOUTHERN UNIFORM & EQUIPMENT 4672   | <b>220.85</b>    |
| 45367       | 36798           |                                     | 220.85           |
| 55880       | 03/03/2017      | STAPLES CONTRACT N COMMERCIAL 4725  | <b>2,418.81</b>  |
| 3329616743  | 37850           |                                     | 54.36            |
| 3329738547  | 38047           |                                     | 161.16           |
| 3329738548  | 38047           |                                     | 4.74             |
| 3329738549  | 38047           |                                     | 6.40             |
| 3329738551  | 38047           |                                     | 7.15             |
| 3329854337  | 38062           |                                     | 76.78            |
| 3329854338  | 38063           |                                     | 73.40            |
| 3329967884  | 38047           |                                     | 1,043.92         |
| 3329967885  | 38065           |                                     | 105.77           |
| 3329967886  | 38066           |                                     | 53.08            |
| 3329967887  | 38067           |                                     | 39.82            |
| 3329967888  | 38068           |                                     | 88.31            |
| 3329967889  | 38082           |                                     | 49.04            |
| 3329967890  | 38069           |                                     | 22.25            |
| 3330113135  | 38018           |                                     | 217.72           |
| 3330113136  | 38047           |                                     | -7.15            |
| 3330113137  | 38065           |                                     | 40.84            |
| 3330113138  | 38120           |                                     | 368.12           |
| 3330113141  | 38069           |                                     | 13.10            |
| 55881       | 03/03/2017      | SUPER OIL CO INC 3893               | <b>921.07</b>    |
| 1001623     | 37397           |                                     | 921.07           |
| 55882       | 03/03/2017      | SUPERIOR SIGNALS INC 6761           | <b>686.00</b>    |
| 431999      | 37416           |                                     | 686.00           |
| 55883       | 03/03/2017      | THE GOODYEAR TIRE & RUBBER CO 9375  | <b>2,109.19</b>  |
| 123 1054366 | 37425           |                                     | 241.76           |
| 123 1054382 | 37425           |                                     | 1,164.96         |
| 123 1054383 | 37425           |                                     | 702.47           |
| 55884       | 03/03/2017      | THE OFFICE PAL 8920                 | <b>276.42</b>    |
| 0136813 IN  | 38387           |                                     | 276.42           |
| 55885       | 03/03/2017      | THE TERMINIX INTERNATIONAL 10096    | <b>203.98</b>    |
| 21256533    | 37489           |                                     | 203.98           |
| 55886       | 03/03/2017      | TOPEKA TRANSMISSION SERVICE 5057    | <b>2,110.89</b>  |
| 70320       | 37406           |                                     | 2,110.89         |
| 55887       | 03/03/2017      | TRUCK PARTS & EQUIPMENT INC 5102    | <b>2,674.72</b>  |
| 437986      | 37408           |                                     | 552.26           |
| 438104      | 37408           |                                     | 918.56           |
| 438105      | 37408           |                                     | 107.12           |
| 438135      | 37453           |                                     | 223.20           |
| 438284      | 37408           |                                     | 240.84           |
| 438303      | 37408           |                                     | 340.28           |

# COUNCIL REPORT OF VENDOR PAYMENTS

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| Check No.      | Check Date/PO # | Vendor Name and Number         | Check Amount      |
|----------------|-----------------|--------------------------------|-------------------|
| 438469         | 37408           |                                | 9.20              |
| 438783         | 37408           |                                | 283.26            |
| 55888          | 03/03/2017      | U S ARMY CORPS OF ENGINEERS    | 5112              |
| ACCT 510 ROV 7 | 30994           | SHUNGA205/ROV7241ACCT510/CSCR4 | 250,000.00        |
|                |                 |                                | <b>250,000.00</b> |
| 55889          | 03/03/2017      | U S LIME COMPANY - ST CLAIR    | 5117              |
| 161332         | 37573           |                                | 4,009.11          |
| 161358         | 37573           |                                | 3,882.72          |
| 161376         | 37573           |                                | 4,030.18          |
| 161425         | 37573           |                                | 4,002.63          |
| 55890          | 03/03/2017      | UMB BANK NA                    | 5127              |
| PCARD02242017  |                 |                                | 39,667.24         |
|                |                 |                                | <b>39,667.24</b>  |
| 55891          | 03/03/2017      | UNIVERSAL SYSTEMS INC          | 5161              |
| 13891          | 37517           |                                | 346.00            |
| 349117         | 37517           |                                | 4,084.40          |
|                |                 |                                | <b>4,430.40</b>   |
| 55892          | 03/03/2017      | VETERINARY MEDICAL & SURGICAL  | 5222              |
| 100899         | 37737           |                                | 731.38            |
|                |                 |                                | <b>731.38</b>     |
| 55893          | 03/03/2017      | VICTOR L PHILLIPS COMPANY INC  | 5225              |
| IT27363        | 37410           |                                | 37.50             |
| IT27387        | 37410           |                                | 190.93            |
| IT27395        | 37410           |                                | 135.00            |
| WT36229        | 37410           |                                | 1,340.61          |
|                |                 |                                | <b>1,704.04</b>   |
| 55894          | 03/03/2017      | WALKER TOWEL & UNIFORM         | 5266              |
| 2252144        | 37320           |                                | 12.45             |
| 2252765        | 37320           |                                | 7.65              |
| 2252766        | 37320           |                                | 23.90             |
| 2252771        | 37617           |                                | 8.00              |
| 2253394        | 37617           |                                | 16.90             |
| 2253395        | 37617           |                                | 2.40              |
| 2253396        | 37617           |                                | 27.70             |
| 2253397        | 37617           |                                | 4.80              |
| 2253398        | 37617           |                                | 15.00             |
| 2253399        | 37617           |                                | 11.60             |
|                |                 |                                | <b>130.40</b>     |
| 55895          | 03/03/2017      | MADISON STREET APARTMENTS LLC  | 10691             |
| 1117           | 38229           |                                | 208.00            |
| 12116          | 38229           |                                | 208.00            |
| 2117           | 38229           |                                | 208.00            |
|                |                 |                                | <b>624.00</b>     |
| 55896          | 03/03/2017      | AFSCME MISSOURI STATE COUNCIL  | 83                |
| UNA1170303141. |                 | Union Dues - AFSCME            | 277.20            |
| UNA1170303141. |                 | Union Dues - AFSCME            | 311.85            |
| UNA1170303141. |                 | Union Dues - AFSCME            | 519.75            |
| UNA1170303141. |                 | Union Dues - AFSCME            | 693.00            |
|                |                 |                                | <b>1,801.80</b>   |
| 55897          | 03/03/2017      | CITY OF TOPEKA FRIENDSHIP FUND | 948               |
| FR101703031414 |                 | Friendship Fund                | 59.00             |
| FR101703031414 |                 | Friendship Fund                | 33.00             |
| FR101703031414 |                 | Friendship Fund                | 37.00             |
| FR101703031414 |                 | Friendship Fund                | 17.00             |
| FR101703031414 |                 | Friendship Fund                | 6.00              |
| FR101703031414 |                 | Friendship Fund                | 17.00             |
| FR101703031414 |                 | Friendship Fund                | 2.00              |
| FR101703031414 |                 | Friendship Fund                | 14.00             |
| FR101703031414 |                 | Friendship Fund                | 31.00             |
| FR101703031414 |                 | Friendship Fund                | 97.42             |
| FR101703031414 |                 | Friendship Fund                | 52.50             |
|                |                 |                                | <b>376.92</b>     |

# COUNCIL REPORT OF VENDOR PAYMENTS

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|----------------------|-----------------|------------------------------------|--------------|
| FR101703031414       |                 | Friendship Fund                    | 11.00        |
| 55898                | 03/03/2017      | FIREMENS OFF DUTY RELIEF FUND 1676 | 3,627.97     |
| FO101703031414       |                 | Firefighter's Off Duty Relief      | 3,627.97     |
| 55899                | 03/03/2017      | INTERNATIONAL ASSOCIATION OF 2424  | 7,681.50     |
| ADMIN FEE 03/03/2017 | PAYROLL         |                                    | -13.50       |
| UNI11703031414       |                 | Union Dues - IAFF                  | 7,695.00     |
| 55900                | 03/03/2017      | KANSAS ASSOCIATION OF PUBLIC 2630  | 1,709.22     |
| UNK11703031414       |                 | Union Dues - KAPE                  | 132.16       |
| UNK11703031414       |                 | Union Dues - KAPE                  | 309.16       |
| UNK11703031414       |                 | Union Dues - KAPE                  | 68.03        |
| UNK11703031414       |                 | Union Dues - KAPE                  | 44.84        |
| UNK11703031414       |                 | Union Dues - KAPE                  | 44.84        |
| UNK11703031414       |                 | Union Dues - KAPE                  | 219.46       |
| UNK11703031414       |                 | Union Dues - KAPE                  | 206.29       |
| UNK11703031414       |                 | Union Dues - KAPE                  | 684.44       |
| 55901                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 228.92       |
| 00000007417030       |                 | Child Support - Amt                | 228.92       |
| 55902                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 163.43       |
| 00000008617030       |                 | Child Support - Amt                | 163.43       |
| 55903                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 442.15       |
| 00000011917030       |                 | Child Support - Amt                | 442.15       |
| 55904                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 160.46       |
| 00000014517030       |                 | Child Support - Amt                | 160.46       |
| 55905                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 183.69       |
| 00000020417030       |                 | Child Support - Amt                | 183.69       |
| 55906                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 1,272.00     |
| 00000022217030       |                 | Child Support - Amt                | 1,272.00     |
| 55907                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 53.08        |
| 00000024217030       |                 | Child Support - Amt                | 53.08        |
| 55908                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 112.15       |
| 00000031617030       |                 | Child Support - Amt                | 112.15       |
| 55909                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 259.85       |
| 00000032417030       |                 | Child Support - Amt                | 259.85       |
| 55910                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 277.38       |
| 00000034017030       |                 | Child Support - Amt                | 277.38       |
| 55911                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 498.46       |
| 00000034317030       |                 | Child Support - Amt                | 498.46       |
| 55912                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 184.15       |
| 00000034517030       |                 | Child Support - Amt                | 184.15       |
| 55913                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 183.29       |
| 00000034817030       |                 | Child Support - Amt                | 183.29       |
| 55914                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 25.15        |
| 00000038017030       |                 | Child Support - Amt                | 25.15        |
| 55915                | 03/03/2017      | KANSAS PAYMENT CENTER 2732         | 368.88       |



**COUNCIL REPORT OF VENDOR PAYMENTS**

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| Check No.      | Check Date/PO # | Vendor Name and Number     | Check Amount  |
|----------------|-----------------|----------------------------|---------------|
| 00000038517030 |                 | Child Support - Amt        | 368.88        |
| 55916          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>144.46</b> |
| 00000041717030 |                 | Child Support - Amt        | 144.46        |
| 55917          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>185.13</b> |
| 00000044717030 |                 | Child Support - Amt        | 185.13        |
| 55918          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>267.69</b> |
| 00000064117030 |                 | Child Support - Amt        | 267.69        |
| 55919          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>323.08</b> |
| 00000064117030 |                 | Child Support - Amt        | 323.08        |
| 55920          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>415.51</b> |
| 00000066717030 |                 | Child Support - Amt        | 415.51        |
| 55921          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>346.15</b> |
| 00000068217030 |                 | Child Support - Amt        | 346.15        |
| 55922          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>192.00</b> |
| 00000070817030 |                 | Child Support - Amt        | 192.00        |
| 55923          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>121.88</b> |
| 00000073217030 |                 | Child Support - Amt        | 121.88        |
| 55924          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>209.08</b> |
| 00000075417030 |                 | Child Support - Amt        | 209.08        |
| 55925          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>230.77</b> |
| 00000077917030 |                 | Child Support - Amt        | 230.77        |
| 55926          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>185.08</b> |
| 00000078517030 |                 | Child Support - Amt        | 185.08        |
| 55927          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>256.15</b> |
| 00000082717030 |                 | Child Support - Amt        | 256.15        |
| 55928          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>184.62</b> |
| 00000086317030 |                 | Child Support - Amt        | 184.62        |
| 55929          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>443.08</b> |
| 00000086617030 |                 | Child Support - Amt        | 443.08        |
| 55930          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>464.91</b> |
| 00000091117030 |                 | Child Support - Amt        | 464.91        |
| 55931          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>147.23</b> |
| 00000092417030 |                 | Child Support - Amt        | 147.23        |
| 55932          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>88.64</b>  |
| 00000093617030 |                 | Child Support - Amt        | 88.64         |
| 55933          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>304.15</b> |
| 00000095917030 |                 | Child Support - Amt        | 304.15        |
| 55934          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>487.38</b> |
| 00000098217030 |                 | Child Support - Amt        | 487.38        |
| 55935          | 03/03/2017      | KANSAS PAYMENT CENTER 2732 | <b>144.51</b> |
| 00000101517030 |                 | Child Support - Amt        | 144.51        |

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|-------------------------|------------------------|--|------------------|---------------------|
| 55936<br>00000102217030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>124.15   | <b>124.15</b>       |
| 55937<br>00000104317030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>182.77   | <b>182.77</b>       |
| 55938<br>00000109317030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>153.69   | <b>153.69</b>       |
| 55939<br>00000109717030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>71.08    | <b>71.08</b>        |
| 55940<br>00000112917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>392.43   | <b>392.43</b>       |
| 55941<br>00000118117030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>335.64   | <b>335.64</b>       |
| 55942<br>00000118917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>113.11   | <b>113.11</b>       |
| 55943<br>00000118917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>219.69   | <b>219.69</b>       |
| 55944<br>00000120017030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>56.31    | <b>56.31</b>        |
| 55945<br>00000147417030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>183.23   | <b>183.23</b>       |
| 55946<br>00000197317030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>369.23   | <b>369.23</b>       |
| 55947<br>00000197917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>384.46   | <b>384.46</b>       |
| 55948<br>00000215417030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>115.38   | <b>115.38</b>       |
| 55949<br>00000219117030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>160.62   | <b>160.62</b>       |
| 55950<br>00000225917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>412.62   | <b>412.62</b>       |
| 55951<br>00000233517030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>180.46   | <b>180.46</b>       |
| 55952<br>00000237917030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>66.92    | <b>66.92</b>        |
| 55953<br>00000241017030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>108.33   | <b>108.33</b>       |
| 55954<br>00000247617030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>1,127.54 | <b>1,127.54</b>     |
| 55955<br>00000247817030 | 03/03/2017             | KANSAS PAYMENT CENTER<br>Child Support - Amt | 2732<br>461.53   | <b>461.53</b>       |

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|-----------------|-----------------|-----------------------------------|--------------|
| 55956           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 68.77        |
| 00000249317030  |                 | Child Support - Amt               | 68.77        |
| 55957           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 127.85       |
| 00000251517030  |                 | Child Support - Amt               | 127.85       |
| 55958           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 251.08       |
| 00000252917030  |                 | Child Support - Amt               | 251.08       |
| 55959           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 50.00        |
| 00000257817030  |                 | Child Support - Amt               | 50.00        |
| 55960           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 82.62        |
| 00000264217030  |                 | Child Support - Amt               | 82.62        |
| 55961           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 66.00        |
| 00000264217030  |                 | Child Support - Amt               | 66.00        |
| 55962           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 80.77        |
| 00000268917030  |                 | Child Support - Amt               | 80.77        |
| 55963           | 03/03/2017      | KANSAS PAYMENT CENTER 2732        | 143.08       |
| 00000268917030  |                 | Child Support - Amt               | 143.08       |
| 55964           | 03/03/2017      | TEAMSTERS LOCAL UNION 696 4892    | 1,008.00     |
| UNT1170303141   |                 | Union Dues - Teamsters            | 1,008.00     |
| 55965           | 03/03/2017      | UNITED WAY OF GREATER TOPEKA 5157 | 77.00        |
| UW10170303141   |                 | United Way                        | 27.00        |
| UW10170303141   |                 | United Way                        | 1.00         |
| UW10170303141   |                 | United Way                        | 1.00         |
| UW10170303141   |                 | United Way                        | 6.00         |
| UW10170303141   |                 | United Way                        | 15.00        |
| UW10170303141   |                 | United Way                        | 8.00         |
| UW10170303141   |                 | United Way                        | 11.00        |
| UW10170303141   |                 | United Way                        | 8.00         |
| 55966           | 03/03/2017      | UNITED WORKERS OF 10010           | 670.50       |
| ADMIN FEE 03/0: | PAYROLL         |                                   | -4.50        |
| UNW2170303141   |                 | Union Dues - UWETT                | 675.00       |
| 55967           | 03/03/2017      | BERRY COMPANIES INC 5408          | 1,862.68     |
| 06165573        | 37851           |                                   | 75.27        |
| 06165743        | 37851           |                                   | 79.44        |
| 06165758        | 37496           |                                   | 1,095.00     |
| 06165785        | 37412           |                                   | 612.97       |
| 55968           | 03/03/2017      | BETTIS ASPHALT & CONSTRUCTION 470 | 295,946.50   |
| 1702 006        | 35545           |                                   | 295,946.50   |
| 55969           | 03/03/2017      | BORDER STATES INDUSTRIES INC 9824 | 89.45        |
| S5542171 001    | 37559           |                                   | 46.96        |
| S5544769 001    | 37559           |                                   | 42.49        |
| 55970           | 03/03/2017      | CAPITAL BELT & SUPPLY INC 776     | 192.42       |
| 97737           | 37488           |                                   | 152.65       |
| 97742           | 37618           |                                   | 39.77        |
| 55971           | 03/03/2017      | CAPITAL CITY OIL CO INC 778       | 18,961.52    |
| 1065574         | 37433           |                                   | 18,318.38    |
| FN 419          | 37433           |                                   | 643.14       |

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| 55972          | 03/03/2017      | CHAMPION BRANDS LLC 883           | 1,263.28     |
| 514740         | 37439           |                                   | 1,283.28     |
| 83436          | 37439           |                                   | -20.00       |
| 55973          | 03/03/2017      | CONSOLIDATED ELECTRICAL 4174      | 1,168.45     |
| 8792 576245    | 37555           |                                   | 59.06        |
| 8792 576269    | 37555           |                                   | 89.98        |
| 8792 576336    | 37555           |                                   | 935.55       |
| 8792 576864    | 37555           |                                   | 83.86        |
| 55974          | 03/03/2017      | FERGUSON ENTERPRISES INC 1639     | 110.68       |
| 6255592        | 37804           |                                   | 110.68       |
| 55975          | 03/03/2017      | FLU-CON INC 1729                  | 493.53       |
| I 22905 0      | 37365           |                                   | 110.45       |
| P 22866 0      | 37365           |                                   | 132.34       |
| P 22877 0      | 37365           |                                   | 32.03        |
| P 22914 0      | 37365           |                                   | 62.63        |
| P 22968 0      | 37365           |                                   | 9.97         |
| P22979 0       | 37365           |                                   | 146.11       |
| 55976          | 03/03/2017      | HACH COMPANY 2038                 | 997.02       |
| 10249803       | 36887           |                                   | 5,694.00     |
| 10253562       | 36887           |                                   | 1,017.50     |
| 10297550       | 37563           |                                   | 486.24       |
| 2136816        | 36887           |                                   | -506.72      |
| 2136820        | 36887           |                                   | -5,694.00    |
| 55977          | 03/03/2017      | HD SUPPLY WATERWORKS LTD 2146     | 18,792.64    |
| G716043        | 37946           |                                   | 4,825.14     |
| G765523        | 37946           |                                   | 13,967.50    |
| 55978          | 03/03/2017      | KRIZ DAVIS COMPANY 2916           | 429.05       |
| S101500740 001 | 37538           |                                   | 23.25        |
| S101501583 001 | 37538           |                                   | 8.53         |
| S101502412 001 | 37538           |                                   | 285.42       |
| S101502678 001 | 37538           |                                   | 111.85       |
| 55979          | 03/03/2017      | LINDYSPRING WATER LLC 3071        | 299.10       |
| 1073605        | 38223           |                                   | 30.75        |
| 1073610        | 37871           |                                   | 79.95        |
| 1079792        | 38223           |                                   | 24.60        |
| 1080955        | 38223           |                                   | 43.05        |
| 1089967        | 38223           |                                   | 30.00        |
| 1091144        | 38223           |                                   | 10.00        |
| 1091506        | 37751           |                                   | 30.75        |
| 229738         | 37326           |                                   | 50.00        |
| 55980          | 03/03/2017      | LOGIC INC 3090                    | 19,749.98    |
| INV105178      | 37947           |                                   | 916.50       |
| INV105205      | 37947           |                                   | 2,903.90     |
| INV105294      | 37947           |                                   | 10,410.40    |
| INV105321      | 37947           |                                   | 916.50       |
| INV105384      | 37947           |                                   | 2,007.86     |
| INV105459      | 37947           |                                   | 2,594.82     |
| 55981          | 03/03/2017      | NEPTUNE TECHNOLOGY GROUP INC 3658 | 25,600.00    |
| N477063        | 38035           |                                   | 25,600.00    |
| 55982          | 03/03/2017      | PIPING CONTRACTORS OF KANSAS 3947 | 7,540.00     |
| 37388          | 34049           |                                   | 7,540.00     |

# COUNCIL REPORT OF VENDOR PAYMENTS

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| Check No.                     | Check Date/PO # | Vendor Name and Number             | Check Amount  |
|-------------------------------|-----------------|------------------------------------|---------------|
| 55983                         | 03/03/2017      | SALISBURY SUPPLY COMPANY INC 4352  | 1,020.13      |
| 106897                        | 37483           |                                    | 31.54         |
| 106904                        | 37853           |                                    | 40.95         |
| 107034                        | 37483           |                                    | 32.78         |
| 107039                        | 37498           |                                    | 100.00        |
| 107047                        | 37853           |                                    | 49.45         |
| 107169                        | 37483           |                                    | 202.00        |
| 107176                        | 37853           |                                    | 29.50         |
| 107180                        | 37853           |                                    | 5.76          |
| 107314                        | 37398           |                                    | 43.92         |
| 107318                        | 37853           |                                    | 47.55         |
| 107324                        | 37853           |                                    | 48.00         |
| 107326                        | 37483           |                                    | 60.80         |
| 107327                        | 37853           |                                    | 20.50         |
| 107430                        | 37498           |                                    | 175.00        |
| 107460                        | 37483           |                                    | 132.38        |
| 55984                         | 03/03/2017      | TAZCO INC 4885                     | 23,685.98     |
| 3326                          | 38037           |                                    | 2,849.00      |
| 3327                          | 37216           |                                    | 8,637.83      |
| 3329                          | 38021           |                                    | 2,319.20      |
| 3330                          | 38147           |                                    | 9,879.95      |
| 55985                         | 03/03/2017      | TOPEKA ELECTRIC MOTOR REPAIR 5025  | 8,358.15      |
| 44099                         | 37861           |                                    | 8,358.15      |
| Total for Electronic Payments |                 |                                    | 10,350,892.06 |
| <b>Need to Define MNL</b>     |                 |                                    |               |
| 100                           | 02/10/2017      | KANSAS STATE TREASURER/DEBT 9781   | 4,931,421.23  |
| GO BONDS 2/15/                | BOND            |                                    | 2,515,061.89  |
| UTILITY BONDS                 | BOND            |                                    | 2,416,359.34  |
| 349                           | 02/10/2017      | U S BANK NATIONAL ASSOCIATION 7164 | 41,149.95     |
| COLLEGE HILL 2                | BOND            |                                    | 41,149.95     |
| 350                           | 02/10/2017      | VERIFONE INC 5217                  | 200.00        |
| VERIFONE 1/201                | ACH DEBT        |                                    | 200.00        |
| 351                           | 02/17/2017      | GREAT WEST LIFE & ANNUITY 9755     | 74,559.15     |
| 653570235                     | PAYROLL         |                                    | 74,559.15     |
| 352                           | 02/17/2017      | KANSAS STATE TREASURER/DEBT 9781   | 22,616.37     |
| HPT BONDS 2/15                | BOND            |                                    | 22,616.37     |
| 353                           | 02/17/2017      | DEPT OF TREASURY 9805              | 510,564.13    |
| PAYROLL 2/3/17                | PAYROLL         |                                    | 510,564.13    |
| 354                           | 02/17/2017      | KANSAS DEPT OF REVENUE 9806        | 89,457.41     |
| PAYROLL 2/3/17                | PAYROLL         |                                    | 89,457.41     |
| 355                           | 02/17/2017      | KPERS 9818                         | 547,600.23    |
| PAYROLL-KPER:                 | PAYROLL         |                                    | 166,124.27    |
| PAYROLL-KPF 2                 | PAYROLL         |                                    | 379,642.31    |
| PAYROLL-WAR                   | PAYROLL         |                                    | 962.50        |
| PAYROLL-WAR 2                 | PAYROLL         |                                    | 871.15        |
| 356                           | 02/24/2017      | ASI DAILY EMPLOYEE PAYMENTS 9872   | 58,052.41     |
| W/E 1/20/17                   | ACH DEBT        |                                    | 8,249.59      |
| W/E 1/27/17                   | ACH DEBT        |                                    | 16,979.88     |
| W/E 2/10/17                   | ACH DEBT        |                                    | 12,063.03     |
| W/E 2/17/17                   | ACH DEBT        |                                    | 11,430.17     |
| W/E 2/3/17                    | ACH DEBT        |                                    | 9,329.74      |

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|---|--|--|---|
| 357<br>1701250086 1/20  | 02/24/2017<br>ACH DEBT   | AUTOMATED MERCHANT SYSTEMS INC 9931  | 3,286.40<br><b>3,286.40</b>   |
| 358<br>655175535  | 02/24/2017<br>PAYROLL  | GREAT WEST LIFE & ANNUITY 9755   | 50,172.90<br><b>50,172.90</b>   |
| 359<br>CC FEE JAN 201   | 02/24/2017<br>ACH DEBT   | TRANSFIRST HOLDINGS INC 9923   | 38,292.24<br><b>38,292.24</b>   |
| 360<br>W/E 1/20/17<br>W/E 1/27/17<br>W/E 2/10/17<br>W/E 2/17/17<br>W/E 2/3/17 | 02/24/2017<br>ACH DEBT<br>ACH DEBT<br>ACH DEBT<br>ACH DEBT<br>ACH DEBT | CORVEL HEALTHCARE CORPORATION 8818   | 16,183.13<br>29,800.95<br>27,020.57<br>24,829.59<br>109,411.22<br><b>207,245.46</b> |
| 361<br>PAYROLL 2/17/17  | 02/24/2017<br>PAYROLL  | DEPT OF TREASURY 9805  | 458,403.18<br><b>458,403.18</b>   |
| 362<br>PAYROLL 2/17/17  | 02/24/2017<br>PAYROLL  | KANSAS DEPT OF REVENUE 9806  | 81,031.31<br><b>81,031.31</b>   |
| 363<br>PAYROLL-KPER:<br>PEARSON SD 19   | 02/24/2017<br>PAYROLL<br>PAYROLL                                       | KPERS 9818   | 163,824.25<br>654.36<br><b>164,478.61</b>   |
| 364<br>PAYROLL-KPF 2  | 03/03/2017<br>PAYROLL  | KPERS 9818   | 347,463.59<br><b>347,463.59</b>   |
| <b>Total for Need to Define MNL</b>   |  |  | <b>7,625,994.57</b>   |
| <b>Need to Define PPD</b>   |  |  |   |
| 6330<br>42753.3540  | 02/10/2017   | ADAMS, KELLY R<br>ADV-EMMITSBURG MD 2/11-18/17 10516                           | 164.50<br><b>164.50</b>   |
| 6332<br>42753.3560  | 02/10/2017   | MARTIN, MICHAEL G<br>ADV-EMMITSBURG MD 2/11-18/17 10705                        | 164.50<br><b>164.50</b>   |
| 6333<br>42767.6964  | 02/10/2017   | STARR, MARY R<br>KANSAS CITY MO 2/2/17 KLCR CLE 4732                           | 73.89<br><b>73.89</b>   |
| 6334<br>42773.4145  | 02/17/2017   | BEVENS, DAVID L<br>EE-FRAMES ADA AWARD CERTIFICAT 473                          | 73.64<br><b>73.64</b>   |
| 6335<br>42780.3595  | 02/17/2017   | CONNELL, RONNIE M<br>GARDEN CITY KS 2/7-10/17 1072                             | 122.40<br><b>122.40</b>   |
| 6336<br>42753.3573  | 02/17/2017   | FLORY, KEVIN L<br>ADV-EMMITSBURG MD 2/11-18/17 1725                            | 164.50<br><b>164.50</b>   |
| 6337<br>42773.4227<br>42773.4283  | 02/17/2017   | HAM, PATTI JO<br>EE-FOOD/PW STAFF RETREAT<br>EE-SUPPLIES/PW STAFF RETREAT 2065 | 59.81<br>4.32<br><b>64.13</b>   |
| 6338<br>EE 42741 5067   | 02/17/2017<br>36160  | MCKAY, WYATT 10218   | 825.00<br><b>825.00</b>   |
| 6339<br>42765.4438  | 02/17/2017   | REYNOLDS, AMBER<br>SALT LAKE CITY UT 12/5-12/8/16 9930                         | 156.35<br><b>156.35</b>   |
| 6340  | 02/24/2017   | SHELL, ALEX 7099   | <b>10.00</b>  |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

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|-------------------------------------|------------------------------|---|-------------------------------|
| 42776.4724                          |                              | EE-CDL TANKER LICENSE   | 10.00                         |
| 6341<br>42776.6423                  | 02/24/2017                   | BEIGHTEL, ANDREW G<br>ADV-LAS VEGAS NV 2/26-3/2/17                            | 6204<br>243.20                |
| 6342<br>EE 42786 5818               | 02/24/2017<br>35822          | BROOKS, TREY  | 10453<br>1,000.00             |
| 6343<br>42776.6394                  | 02/24/2017                   | FEYH, LANCE E<br>ADV-LAS VEGAS NV 2/26-3/2/17                                 | 6273<br>243.20                |
| 6344<br>42776.6438                  | 02/24/2017                   | FORD, MATTHEW R<br>ADV-LAS VEGAS NV 2/26-3/2/17                               | 1741<br>243.20                |
| 6345<br>42744.5926<br>42776.5341    | 02/24/2017                   | GATEWOOD, CHUCK<br>ADV-EMMITSBURG MD 1/21-2/3/17<br>EMITTSBURG MD 1/21-2/4/17 | 9482<br>-335.50<br>469.75     |
| 6346<br>42776.4934                  | 02/24/2017                   | GRAMS, AARON ERVIN<br>EE-TOLLS/CONFERENCE IN KC                               | 10004<br>6.00                 |
| 6347<br>42779.6462                  | 02/24/2017                   | GREEN, JAMES E<br>SALINA KS 2/6-10/17   | 1987<br>96.90                 |
| 6348<br>42779.6448                  | 02/24/2017                   | PERRY, JOE<br>SALINA KS 2/6-10/17   | 6202<br>96.90                 |
| 6349<br>42779.6454                  | 02/24/2017                   | KELLER, EDWARD G<br>SALINA KS 2/6-10/17                                       | 2812<br>96.90                 |
| 6350<br>42776.5627                  | 02/24/2017                   | KRAUSE, ROBYN<br>EE-PRE-EMPLOYMENT DRUG SCREEN                                | 10730<br>45.00                |
| 6351<br>42776.6448                  | 02/24/2017                   | ROWLEY, JARED M<br>ADV-LAS VEGAS NV 2/26-3/2/17                               | 9451<br>243.20                |
| 6352<br>42779.6433                  | 02/24/2017                   | KLUMPP, RUSSELL T<br>SALINA KS 2/6-10/17                                      | 6250<br>96.90                 |
| 6354<br>42776.9461                  | 03/03/2017                   | HARSHA, CHRISTIAN<br>EE-FOP BOOT REIMBURSEMENT                                | 10228<br>136.42               |
| 6355<br>42787.5883                  | 03/03/2017                   | PERRY, JOE<br>EE-ANIMAL CONTROL UNIFORM PANT                                  | 6202<br>99.98                 |
| 6356<br>42755.5232<br>42789.3911    | 03/03/2017                   | WOOLLEY, REBECCA<br>ADV-WHEELING WV 2/6-12/17<br>RCN-WHEELING WV 2/6-12/17    | 9578<br>-37.80<br>90.30       |
| <b>Total for Need to Define PPD</b> |                              |   | <b>4,653.46</b>               |
| <b>Check Payments</b>               |                              |   |                               |
| 724397<br>A1332200012               | 02/10/2017<br>38072          | PROBASCO & ASSOCIATES PA  | 10144<br>84.97                |
| 724398<br>34899 PERM EA             | 02/10/2017<br>34899          | PADILLA, RACHEL   | 10305<br>1,000.00             |
| 724399<br>17 2575<br>17 2577        | 02/10/2017<br>33603<br>36812 | 1ST DUE EMERGENCY RESPONSE  | 5911<br>1,458.00<br>13,589.60 |
|                                     |                              |   | <b>15,047.60</b>              |

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|--|---|--------------------------------------|--|
| 724400<br>2060   | 02/10/2017<br>37146   | AMERI-CRETE INC<br>9644              | 1,855.60<br><b>1,855.60</b>  |
| 724401<br>JANUARY 2017   | 02/10/2017<br>MONTHLY PHONE   | AT&T<br>281                          | 19,872.97<br><b>19,872.97</b>  |
| 724402<br>148547694  | 02/10/2017<br>01/25WELLNESS UVERS   | AT&T<br>281                          | 75.00<br><b>75.00</b>  |
| 724403<br>0738033665   | 02/10/2017<br>0125 CIRCUITS   | AT&T<br>282                          | 274.56<br><b>274.56</b>  |
| 724404<br>0780773571   | 02/10/2017<br>0125 CIRCUITS   | AT&T<br>282                          | 806.09<br><b>806.09</b>  |
| 724405<br>1634234075   | 02/10/2017<br>37434   | AUTO ZONE INC<br>310                 | 143.46<br><b>143.46</b>  |
| 724406<br>12676  | 02/10/2017<br>37972   | AZTECA SYSTEMS<br>321                | 94,295.00<br><b>94,295.00</b>  |
| 724407<br>526 54589<br>526 54590<br>526 54593<br>526 54594<br>526 54697      | 02/10/2017<br>37367<br>37367<br>37367<br>37367<br>37367                   | BRIDGESTONE AMERICAS INC<br>1855     | 25.00<br>187.71<br>222.39<br>267.71<br>723.53<br><b>1,426.34</b>                                     |
| 724408<br>51403<br>51411<br>51417<br>51442<br>51458                          | 02/10/2017<br>37355<br>37355<br>37355<br>37355<br>37355                   | BROWNS SUPER SERVICE INC<br>670      | 175.00<br>230.00<br>250.00<br>125.00<br>250.00<br><b>1,030.00</b>                                    |
| 724409<br>59744152<br>60020345   | 02/10/2017<br>37818<br>37818  | CENGAGE LEARNING<br>861              | 7,909.87<br>-264.77<br><b>7,645.10</b>   |
| 724410<br>260610<br>260847<br>260860<br>261066<br>261256<br>261365<br>261566 | 02/10/2017<br>37589<br>37589<br>37589<br>37589<br>37589<br>37589<br>37589 | CENTRAL SALT LLC<br>8550             | 6,050.53<br>2,131.75<br>3,809.24<br>5,919.82<br>5,928.57<br>1,842.55<br>3,755.20<br><b>29,437.66</b> |
| 724411<br>514379<br>514779   | 02/10/2017<br>37361<br>37786  | CONRAD FIRE EQUIPMENT INC<br>1073    | 58.08<br>95.90<br><b>153.98</b>  |
| 724412<br>1284212  | 02/10/2017<br>37937   | CUMMINS - ALLISON CORP<br>1201       | 179.00<br><b>179.00</b>  |
| 724413<br>146050   | 02/10/2017<br>38027   | DEBACKERS INC<br>1292                | 472.73<br><b>472.73</b>  |
| 724414<br>25662  | 02/10/2017<br>37099   | DRELLISHAK & DRELLISHAK INC<br>10688 | 7,677.00<br><b>7,677.00</b>  |
| 724415   | 02/10/2017  | ED BOZARTH CHEVROLET INC<br>578      | <b>67.00</b>   |



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| 691573          | 37353           |                                    | 67.00            |
| 724416          | 02/10/2017      | ELLIOTT AUTO SUPPLY COMPANY 5676   | <b>636.08</b>    |
| 8 664434        | 37455           |                                    | 150.10           |
| 8 664634        | 37414           |                                    | 59.42            |
| 8 664655        | 37414           |                                    | 26.44            |
| 8 664671        | 37455           |                                    | 48.72            |
| 8 Z04791        | 37455           |                                    | 351.40           |
| 724417          | 02/10/2017      | ENVIRONMENTAL ENERGY INC 1545      | <b>86.50</b>     |
| 53120           | 37310           |                                    | 86.50            |
| 724418          | 02/10/2017      | ESSILOR LABORATORIES OF 1429       | <b>80.72</b>     |
| 687998          | 37541           |                                    | 80.72            |
| 724419          | 02/10/2017      | FINLAY AUTOMOTIVE SUPPLY INC 10237 | <b>309.64</b>    |
| 047249          | 37430           |                                    | 232.98           |
| 047322          | 37430           |                                    | 21.03            |
| 047462          | 37430           |                                    | 45.72            |
| 047566          | 37430           |                                    | 9.91             |
| 724420          | 02/10/2017      | FISHER PARKING & SECURITY 5802     | <b>63.19</b>     |
| 16166           | 37909           |                                    | 63.19            |
| 724421          | 02/10/2017      | GASOCHEM INTERNATIONAL LLC 9927    | <b>5,906.88</b>  |
| 2016 18         | 37811           |                                    | 5,906.88         |
| 724422          | 02/10/2017      | GRANT WRITING USA 1966             | <b>405.00</b>    |
| 1925571 986397C | 37934           |                                    | 405.00           |
| 724423          | 02/10/2017      | HALL COMMERCIAL PRINTING 2053      | <b>67.00</b>     |
| 162376          | 38015           |                                    | 67.00            |
| 724424          | 02/10/2017      | SPENCER & COMPANY 2321             | <b>858.63</b>    |
| S 16324         | 37371           |                                    | 25.68            |
| S 16325         | 37371           |                                    | 68.02            |
| S 16340         | 37447           |                                    | 219.80           |
| S 16362         | 37371           |                                    | 545.13           |
| 724425          | 02/10/2017      | INFO-TECH RESEARCH GROUP INC 7180  | <b>13,435.00</b> |
| 189022          | 37291           |                                    | 13,435.00        |
| 724426          | 02/10/2017      | JAMES L DUNLAP 2533                | <b>8.10</b>      |
| 062498          | 37379           |                                    | 8.10             |
| 724427          | 02/10/2017      | KANSAS AUTOMOTIVE INC 2639         | <b>659.76</b>    |
| 2947249         | 37385           |                                    | 41.58            |
| 2947356         | 37385           |                                    | 13.35            |
| 2947473         | 37385           |                                    | 8.98             |
| 2947512         | 37316           |                                    | 54.00            |
| 2947590         | 37448           |                                    | 19.69            |
| 2947708         | 37385           |                                    | 17.26            |
| 2947813         | 37385           |                                    | 94.76            |
| 2947848         | 37385           |                                    | 33.92            |
| 2947922         | 37385           |                                    | 9.64             |
| 2948196         | 37385           |                                    | 51.12            |
| 2948213         | 37385           |                                    | 9.84             |
| 2948301         | 37312           |                                    | 103.79           |
| 2948318         | 37312           |                                    | 23.33            |
| 2948412         | 37385           |                                    | 7.61             |
| 2948479         | 37385           |                                    | 11.57            |
| 2948516         | 37448           |                                    | 37.36            |

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| 2948579           | 37385           |                                | 22.22            |
| 2948583           | 37385           |                                | 62.58            |
| 2948704           | 37316           |                                | 9.45             |
| 2949245           | 37385           |                                | 27.71            |
| 724428            | 02/10/2017      | KANSAS DEPT OF REVENUE         | 2691             |
| 003 0230 1 000 (2 | DE              |                                | 76,530.47        |
|                   |                 |                                | <b>76,530.47</b> |
| 724429            | 02/10/2017      | LAIRD NOLLER FORD INC          | 2939             |
| 1187736           | 37390           |                                | 35.65            |
| 1187789           | 37450           |                                | 35.15            |
| 1187790           | 37390           |                                | 71.06            |
| 1187791           | 37390           |                                | 168.17           |
| 1187953           | 37390           |                                | 11.32            |
| 1187967           | 37390           |                                | 45.09            |
| 1188043           | 37390           |                                | 55.34            |
| 1188046           | 37390           |                                | 284.45           |
| 724430            | 02/10/2017      | LOWER HEATING & A/C INC        | 3119             |
| 104727            | 33671           |                                | 339.00           |
|                   |                 |                                | <b>339.00</b>    |
| 724431            | 02/10/2017      | MOTION INDUSTRIES INC          | 3545             |
| KS08 196155       | 37551           |                                | 1,343.23         |
| KS08 196306       | 37551           |                                | 855.34           |
|                   |                 |                                | <b>2,198.57</b>  |
| 724432            | 02/10/2017      | NAILL ENTERPRISES LTD          | 4931             |
| 7801 38           | 37616           |                                | 96.15            |
|                   |                 |                                | <b>96.15</b>     |
| 724433            | 02/10/2017      | INTERNATIONAL IDENTIFICATION I | 3615             |
| 439619            | 37026           |                                | 2,195.00         |
|                   |                 |                                | <b>2,195.00</b>  |
| 724434            | 02/10/2017      | NATIONAL VISION INC            | 3634             |
| 039140117         | 37533           |                                | 150.00           |
|                   |                 |                                | <b>150.00</b>    |
| 724435            | 02/10/2017      | OYLER, ANNA L                  | 9790             |
| 012017TPD         | 38061           |                                | 50.00            |
|                   |                 |                                | <b>50.00</b>     |
| 724436            | 02/10/2017      | PRISON REHABILITATIVE          | 6556             |
| E0919085          | 37905           |                                | 30.90            |
|                   |                 |                                | <b>30.90</b>     |
| 724437            | 02/10/2017      | PRODUCTS PLUS INC              | 9311             |
| 5625011817        | 37460           |                                | 288.00           |
|                   |                 |                                | <b>288.00</b>    |
| 724438            | 02/10/2017      | PROFESSIONAL LAW ENFORCEMENT   | 10692            |
| Q 1935            | 37256           |                                | 5,250.00         |
|                   |                 |                                | <b>5,250.00</b>  |
| 724439            | 02/10/2017      | R K AERIALS LLC                | 7575             |
| 0000009880        | 37420           |                                | 719.41           |
|                   |                 |                                | <b>719.41</b>    |
| 724440            | 02/10/2017      | REEVES WIEDEMAN COMPANY INC    | 4154             |
| 4949442           | 37594           |                                | 257.49           |
| 4950214           | 37594           |                                | 44.78            |
|                   |                 |                                | <b>302.27</b>    |
| 724441            | 02/10/2017      | RISKANALYTICS HOLDINGS LLC     | 10323            |
| 8910              | 38087           |                                | 25,137.00        |
|                   |                 |                                | <b>25,137.00</b> |
| 724442            | 02/10/2017      | SBC GLOBAL SERVICES INC        | 286              |
| SB981737          | 37597           |                                | 6,607.65         |
| SW127737          | 37597           |                                | 1,130.23         |
|                   |                 |                                | <b>7,737.88</b>  |
| 724443            | 02/10/2017      | SCHULTE SUPPLY INC             | 9563             |
| S1121314 003      | 37473           |                                | 25,361.40        |
|                   |                 |                                | <b>25,361.40</b> |

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| 724444                       | 02/10/2017      | SHAWNEE COUNTY 4505                | 3,148.94     |
| 902                          | 37828           |                                    | 1,277.11     |
| 903                          | 37828           |                                    | 442.75       |
| 904                          | 37828           |                                    | 37.50        |
| 905                          | 37828           |                                    | 454.04       |
| 906                          | 37828           |                                    | 214.49       |
| 907                          | 37828           |                                    | 380.60       |
| 908                          | 37828           |                                    | 342.45       |
| 724445                       | 02/10/2017      | SHAWNEE COUNTY 4519                | 225.00       |
| 38014 1                      | 38014           |                                    | 225.00       |
| 724446                       | 02/10/2017      | SIMILAR MODE UNIFORMS INC 4563     | 1,561.89     |
| 57546                        | 36940           |                                    | 1,561.89     |
| 724447                       | 02/10/2017      | SPRINT 4704                        | 804.80       |
| 986018815 110                | DE              |                                    | 804.80       |
| 724448                       | 02/10/2017      | STATE OF KANSAS DEPT OF LABOR 2687 | 4,226.82     |
| ACCT 177403 4 ( UNEMPLOYMENT |                 |                                    | 4,226.82     |
| 724449                       | 02/10/2017      | TBS ELECTRONICS INC 4886           | 525.00       |
| 00088398                     | 38034           |                                    | 525.00       |
| 724450                       | 02/10/2017      | TOPEKA FELLOWSHIP INC 2734         | 18.00        |
| 38057 GERBER I               | 38057           |                                    | 18.00        |
| 724451                       | 02/10/2017      | UNION PACIFIC RAILROAD 5135        | 100.00       |
| 284906993                    | 37864           |                                    | 100.00       |
| 724452                       | 02/10/2017      | UNITED PARCEL SERVICE INC 5140     | 150.95       |
| 000018W497037                | 37755           |                                    | 42.26        |
| 000018W497047                | 37755           |                                    | 2.42         |
| 0000693358047                | 33250           |                                    | 106.27       |
| 724453                       | 02/10/2017      | VAC-CON SERVICES INC 8824          | 4,614.48     |
| 10064                        | 37842           |                                    | 4,614.48     |
| 724454                       | 02/10/2017      | WILLIAMSON, JACK T 9792            | 400.00       |
| 38092 1                      | 38092           |                                    | 400.00       |
| 724455                       | 02/10/2017      | STORMONT VAIL HEALTHCARE 5753      | 18,762.16    |
| 60008724301                  | 38084           |                                    | 69.49        |
| 60009556803                  | 38084           |                                    | 3,714.84     |
| 60013131902                  | 38084           |                                    | 678.41       |
| 60013545701                  | 38084           |                                    | 494.57       |
| 60013934500                  | 38084           |                                    | 47.29        |
| 60016244700                  | 38084           |                                    | 311.61       |
| 60017763601                  | 38084           |                                    | 629.33       |
| 60018258100                  | 38084           |                                    | 142.87       |
| 60018305300                  | 38084           |                                    | 452.57       |
| 60021278700                  | 38084           |                                    | 283.79       |
| 60022382600                  | 38084           |                                    | 111.37       |
| 60023242500                  | 38084           |                                    | 720.81       |
| 60024084000                  | 38084           |                                    | 553.04       |
| 60024944000                  | 38084           |                                    | 120.49       |
| 60025034300                  | 38084           |                                    | 25.73        |
| 90000 02425                  | 38084           |                                    | 5,672.60     |
| A1431800632                  | 38084           |                                    | 695.31       |
| A1520900611                  | 38084           |                                    | 360.42       |
| A15262002002                 | 38084           |                                    | 2,843.90     |

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| A1527100367    | 38084           |                              | 700.44       |
| A5000002621    | 38084           |                              | 133.28       |
| 724456         | 02/10/2017      | BOB FLORENCE CONTRACTORS     | 9542         |
| PK00001033     |                 | REFUND METER HOODS           | 130.88       |
| 724457         | 02/10/2017      | MERRICK GOODMAN              | 10727        |
| HR3163         |                 | RETIREE HEALTH INSURANCE     | 28.88        |
| 724486         | 02/10/2017      | APPLIED INDUSTRIAL           | 245          |
| 7009641741     | 37582           |                              | 220.76       |
| 724487         | 02/10/2017      | FASTENAL COMPANY             | 1619         |
| KSTOP236713    | 37557           |                              | 27.21        |
| 724488         | 02/10/2017      | GRAINGER                     | 1964         |
| 9332905422     | 37797           |                              | 151.79       |
| 724489         | 02/10/2017      | KANSAS SAND & CONCRETE       | 2744         |
| 90123976       | 37479           |                              | 1,250.00     |
| 90123977       | 37479           |                              | 625.00       |
| 90123978       | 37479           |                              | 625.00       |
| 724490         | 02/10/2017      | KEY REFRIGERATION SUPPLY LLC | 2848         |
| 4191262 00     | 37577           |                              | 189.60       |
| 724491         | 02/10/2017      | MID-STATES MATERIALS LLC     | 3401         |
| 60805          | 37805           |                              | 250.40       |
| 724492         | 02/10/2017      | MIDWEST MOTOR SUPPLY CO INC  | 2854         |
| 5377777        | 37963           |                              | 686.16       |
| 5399161        | 37963           |                              | 424.46       |
| 724493         | 02/10/2017      | ROACH HARDWARE               | 4230         |
| 123832         | 37492           |                              | 31.16        |
| 123901         | 37492           |                              | 6.99         |
| 123908         | 37492           |                              | 13.58        |
| 123917         | 37492           |                              | 47.88        |
| 724494         | 02/10/2017      | SAMCO INC                    | 4355         |
| SVC05679       | 37961           |                              | 670.94       |
| 724495         | 02/10/2017      | SHAWNEE COUNTY               | 4504         |
| JANUARY 2017   | DE              |                              | 113,559.82   |
| 724496         | 02/10/2017      | SHAWNEE COUNTY               | 7574         |
| JANUARY 2017   | DE              |                              | 222,476.39   |
| 724497         | 02/10/2017      | SOLOMON CORPORATION          | 4654         |
| 287393         | 37655           |                              | 3,165.00     |
| 724498         | 02/10/2017      | CD TRADEPOST                 | 8333         |
| CR 2006 000613 | CODY G ALVAREZ  |                              | 19.00        |
| 724499         | 02/10/2017      | COX COMMUNICATIONS           | 7748         |
| CR 2015 000795 | DAVID T GAINES  |                              | 100.00       |
| 724500         | 02/10/2017      | DOMINOS PIZZA                | 8323         |
| CR 2011 001041 | ZM DEXTER       |                              | 23.96        |
| 724501         | 02/10/2017      | HOWLAND, BRIAN R             | 10281        |
| CR 2015 000160 | AARON M COWDIN  |                              | 50.00        |

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| 724502<br>CR 2015 001842                                     | 02/10/2017<br>ZL CROMWELL                      | KANSAS BUREAU OF INVESTIGATION<br>2646                             | 400.00<br><b>400.00</b>                  |
| 724503<br>CR 2005 001075                                     | 02/10/2017<br>AL RAMIREZ-WIL                   | PULTZ, NICOLE R<br>9307  | 25.00<br><b>25.00</b>                    |
| 724504<br>CR 2010 000045<br>CR 2010 000045<br>CR 2010 000045 | 02/10/2017<br>WA DURST<br>WA DURST<br>WA DURST | RENNIE, DEBORAH A<br>9972  | 50.00<br>25.00<br>50.00<br><b>125.00</b> |
| 724505<br>CR 2016 000343                                     | 02/10/2017<br>MW CHARLES                       | SILVEY, ALLISON M<br>10728   | 322.00<br><b>322.00</b>                  |
| 724506<br>CR 2008 001470                                     | 02/10/2017<br>AR RAZZANO                       | ACKER, TAMMIE<br>7076  | 60.00<br><b>60.00</b>                    |
| 724507<br>CR 2010 000593                                     | 02/10/2017<br>DIANA L RELLEA                   | THE EYE DOCTORS<br>8899  | 30.00<br><b>30.00</b>                    |
| 724508<br>00000230317021                                     | 02/17/2017                                     | BUTLER & ASSOCIATES PA<br>Garnishment - Pct of Net<br>730          | 160.12<br><b>160.12</b>                  |
| 724510<br>00000268917021                                     | 02/17/2017                                     | BUTLER & ASSOCIATES PA<br>Garnishment - Pct of Net<br>730          | 87.40<br><b>87.40</b>                    |
| 724511<br>00000231717021                                     | 02/17/2017                                     | BUTLER & ASSOCIATES PA<br>Garnishment - Pct of Net<br>730          | 180.79<br><b>180.79</b>                  |
| 724512<br>80071  | 02/17/2017<br>36402                            | FISHER PATTERSON SAYLER &<br>1690                                  | 5,735.00<br><b>5,735.00</b>              |
| 724513<br>00000230317021                                     | 02/17/2017                                     | H KENT HOLLINS ATTORNEY AT LAW<br>Garnishment - Pct of Net<br>6502 | 160.13<br><b>160.13</b>                  |
| 724514<br>00000246817021                                     | 02/17/2017                                     | H KENT HOLLINS ATTORNEY AT LAW<br>Garnishment - Pct of Net<br>6502 | 100.09<br><b>100.09</b>                  |
| 724515<br>00000246817021                                     | 02/17/2017                                     | H KENT HOLLINS ATTORNEY AT LAW<br>Garnishment - Pct of Net<br>6502 | 100.08<br><b>100.08</b>                  |
| 724516<br>00000255817021                                     | 02/17/2017                                     | H KENT HOLLINS ATTORNEY AT LAW<br>Garnishment - Pct of Net<br>6502 | 231.33<br><b>231.33</b>                  |
| 724517<br>00000112417021                                     | 02/17/2017                                     | H KENT HOLLINS ATTORNEY AT LAW<br>Garnishment - Pct of Net<br>6502 | 363.96<br><b>363.96</b>                  |
| 724518<br>00000066717021                                     | 02/17/2017                                     | ZIMMERMAN & ZIMMERMAN PA<br>Garnishment - Pct of Net<br>5186       | 28.00<br><b>28.00</b>                    |
| 724519<br>7A11020  | 02/17/2017<br>37553                            | ACCURATE ENVIRONMENTAL LLC<br>9725                                 | 545.00<br><b>545.00</b>                  |
| 724520<br>38111 2017 ACCI                                    | 02/17/2017<br>38111                            | AMERICAN ASSOCIATION OF<br>279                                     | 3,500.00<br><b>3,500.00</b>              |
| 724521<br>147404396  | 02/17/2017<br>02/01                            | AT&T<br>POLICE UVERSE<br>281                                       | 110.00<br><b>110.00</b>                  |
| 724522   | 02/17/2017                                     | AUTO ZONE INC<br>310   | <b>75.58</b>                             |

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| 1634237291   | 37434   |                                     | 75.58  |
| 724523<br>16 55899 2017  | 02/17/2017<br>38004   | BNSF RAILWAY COMPANY INC 537        | 3,500.00   |
| 724524<br>526 54792  | 02/17/2017<br>37367   | BRIDGESTONE AMERICAS INC 1855       | 222.39   |
| 724525<br>51553<br>51666   | 02/17/2017<br>37355<br>37355  | BROWNS SUPER SERVICE INC 670        | 600.00<br>200.00   |
| 724526<br>0164   | 02/17/2017<br>37603   | C & B INDUSTRIES INC 9568           | 159.97   |
| 724527<br>9779569763   | 02/17/2017<br>DE  | CELLCO PARTNERSHIP 9497             | 840.41   |
| 724528<br>261678<br>261909<br>262040<br>262172<br>262221<br>262474<br>262571 | 02/17/2017<br>37589<br>37589<br>37589<br>37589<br>37589<br>37589<br>37589 | CENTRAL SALT LLC 8550               | 1,905.35<br>1,906.81<br>1,930.18<br>1,885.63<br>5,494.05<br>3,948.73<br>2,126.63 |
| 724529<br>OFD 00030  | 02/17/2017<br>38119   | CITY OF OLATHE 10726                | 1,500.00   |
| 724530<br>514602<br>514729<br>514843   | 02/17/2017<br>37361<br>37361<br>37361                                     | CONRAD FIRE EQUIPMENT INC 1073      | 339.78<br>33.25<br>391.55  |
| 724531<br>JANUARY 2017   | 02/17/2017<br>38154   | COREFIRST BANK & TRUST 1111         | 2,452.42   |
| 724532<br>60700  | 02/17/2017<br>36822   | CUSTOM SHEETMETAL & ROOFING IN 1215 | 4,200.00   |
| 724533<br>37730 JAN 2017   | 02/17/2017<br>37730   | DAMRON, STEPHEN C 1241              | 671.90   |
| 724534<br>14497  | 02/17/2017<br>38028   | DIAMOND PRINTING INC 1348           | 25.00  |
| 724535<br>691968   | 02/17/2017<br>37353   | ED BOZARTH CHEVROLET INC 578        | 43.55  |
| 724536<br>8 664863<br>8 664913<br>8 664934<br>8 664963                       | 02/17/2017<br>37414<br>37455<br>37414<br>37414                            | ELLIOTT AUTO SUPPLY COMPANY 5676    | 118.63<br>177.36<br>14.46<br>48.22   |
| 724537<br>37204  | 02/17/2017<br>37204   | ENVIRONMENTAL PROCESS 10364         | 6,860.00   |
| 724538<br>816007   | 02/17/2017<br>37564   | ENVIRONMENTAL RESOURCE 1546         | 176.64   |

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| 724539                       | 02/17/2017      | EXPERIAN INFORMATION SOLUTIONS 5760 | 233.29       |
| CD1710005114                 | 37606           |                                     | 127.90       |
| CD1710005115                 | 37606           |                                     | 105.39       |
| 724540                       | 02/17/2017      | FEDEX 1632                          | 315.67       |
| 5 694 42533                  | 37548           |                                     | 315.67       |
| 724541                       | 02/17/2017      | FINLAY AUTOMOTIVE SUPPLY INC 10237  | 816.74       |
| 046537                       | 37465           |                                     | 20.64        |
| 047787                       | 37430           |                                     | 112.82       |
| 047854                       | 37430           |                                     | 5.48         |
| 047921                       | 37430           |                                     | 2.96         |
| 048004                       | 37430           |                                     | 69.26        |
| 048066                       | 37430           |                                     | 402.59       |
| 048336                       | 37430           |                                     | 102.56       |
| 048337                       | 37430           |                                     | 100.43       |
| 724542                       | 02/17/2017      | HALL COMMERCIAL PRINTING 2053       | 263.00       |
| 170074                       | 38113           |                                     | 263.00       |
| 724543                       | 02/17/2017      | HEALTHSTAT INC 9951                 | 43,441.69    |
| 44162                        | 37774           |                                     | 43,441.69    |
| 724544                       | 02/17/2017      | SPENCER & COMPANY 2321              | 954.55       |
| S 16436                      | 37371           |                                     | -57.56       |
| W 18152                      | 37371           |                                     | 1,012.11     |
| 724545                       | 02/17/2017      | JAYHAWK AUTO INC 2501               | 1,018.80     |
| 18061                        | 37378           |                                     | 1,018.80     |
| 724546                       | 02/17/2017      | KANSAS AUTOMOTIVE INC 2639          | 335.16       |
| 2946313                      | 37385           |                                     | 19.94        |
| 2948645                      | 37385           |                                     | 68.00        |
| 2948653                      | 37385           |                                     | 9.21         |
| 2949628                      | 37448           |                                     | 9.60         |
| 2949778                      | 37312           |                                     | 10.20        |
| 2949788                      | 37385           |                                     | 4.50         |
| 2949806                      | 37385           |                                     | 2.91         |
| 2949844                      | 37448           |                                     | 17.07        |
| 2949845                      | 37385           |                                     | 111.50       |
| 2949887                      | 37312           |                                     | 10.95        |
| 2949951                      | 37385           |                                     | 8.78         |
| 2950077                      | 37312           |                                     | 4.07         |
| 2950158                      | 37316           |                                     | 29.83        |
| 2950174                      | 37316           |                                     | 28.60        |
| 724547                       | 02/17/2017      | KANSAS DEPT OF REVENUE 2691         | 32,732.21    |
| 7033 5T6Y D3FRSALES TAX WATE |                 |                                     | 32,732.21    |
| 724548                       | 02/17/2017      | KANSAS RIVER WATER ASSURANCE 2742   | 55,925.00    |
| 2017 8                       | 38125           |                                     | 55,925.00    |
| 724549                       | 02/17/2017      | L & H MOBILE ELECTRONICS LLC 2930   | 280.00       |
| 102784                       | 37389           |                                     | 280.00       |
| 724550                       | 02/17/2017      | LAIRD NOLLER FORD INC 2939          | 113.97       |
| 1188123                      | 37390           |                                     | 113.97       |
| 724551                       | 02/17/2017      | LIVE MEDIA SYSTEMS 9917             | 155.00       |
| 38121                        | 38121           |                                     | 155.00       |
| 724552                       | 02/17/2017      | MOTHERS AGAINST DRUNK DRIVING 3544  | 370.00       |

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| 38031 JAN 2017  | 38031           |                                     | 370.00       |
| 724553          | 02/17/2017      | NAILL ENTERPRISES LTD 4931          | 96.15        |
| 7801 39         | 37616           |                                     |              |
| 724554          | 02/17/2017      | POLICE IMPREST FUNDS 3971           | 2,516.00     |
| 37676 4         | 37676           |                                     |              |
| 724555          | 02/17/2017      | PRISON REHABILITATIVE 6556          | 25.60        |
| E0902510        | 38177           |                                     |              |
| 724556          | 02/17/2017      | PROCESS EQUIPMENT & CONTROLS 10665  | 2,348.00     |
| 12563           | 37019           |                                     |              |
| 724557          | 02/17/2017      | H SQUARED INC 9071                  | 176.25       |
| 65670           | 36760           |                                     |              |
| 724558          | 02/17/2017      | REEVES WIEDEMAN COMPANY INC 4154    | 391.13       |
| 4952427         | 37594           |                                     | 31.25        |
| 4952791         | 37594           |                                     | 155.48       |
| 4953572         | 37594           |                                     |              |
| 724559          | 02/17/2017      | SCOTTY WILSON ENTERPRISES INC 4442  | 6,800.00     |
| 407491          | 37184           |                                     | 3,033.00     |
| 407492          | 37258           |                                     |              |
| 724560          | 02/17/2017      | SHAWNEE COUNTY 4521                 | 33.75        |
| 92668           | 37333           |                                     |              |
| 724561          | 02/17/2017      | SHAWNEE COUNTY RURAL WATER 5719     | 1,498.00     |
| 37855 JAN 2017  | 37855           |                                     |              |
| 724562          | 02/17/2017      | SUNGARD PUBLIC SECTOR USERS' 4821   | 195.00       |
| TOPE2017        | 38165           |                                     |              |
| 724563          | 02/17/2017      | SURENCY LIFE & HEALTH 10654         | 4,143.74     |
| 2/17/17 PAYROLI | PAYROLL         |                                     | 4,126.46     |
| 2/3/17 PAYROLL  | PAYROLL         |                                     |              |
| 724564          | 02/17/2017      | TOPEKA FOUNDRY & IRON WORKS IN 5029 | 14.12        |
| 1308            | 37403           |                                     |              |
| 724565          | 02/17/2017      | VERMEER GREAT PLAINS INC 5218       | 26.76        |
| P27103          | 37409           |                                     |              |
| 724566          | 02/17/2017      | WEATHER OR NOT INC 5340             | 2,673.00     |
| 7808            | 37529           |                                     |              |
| 724567          | 02/17/2017      | WELLS, DAVID L 5359                 | 870.00       |
| 061             | 38112           |                                     |              |
| 724568          | 02/17/2017      | WESTAR ENERGY INC 5376              | 12,086.04    |
| 0115356084-1.17 |                 | METERED TRAFFIC SIGNALS             | 155.76       |
| 0262780905-1.17 |                 | 1127 INNOVATION PKWY PUMP           | 399.43       |
| 0552066743-1.17 |                 | 4103 SW POSTOAK DRIVE               | 47.01        |
| 0681383808-1.17 |                 | 101 SW US HIGHWAY 75 SIGN           | 0.00         |
| 0749842804-1.17 |                 | 2200 WATERWORKS DR                  | 832.66       |
| 0793252472-1.17 |                 | 927 HARRISON OFFICE                 | 86.53        |
| 0843913860-1.17 |                 | 5261 NW BRICKYARD RD                | 104.25       |
| 0846578667-1.17 |                 | 801 NE KINCAID RD                   | 57.79        |
| 1047755001-1.17 |                 | 635 SW GAGE BLVD B ZOO BEARS        | 280.89       |
| 1079563957-1.17 |                 | 1215 SW OAKLEY AVE                  |              |



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| 1119938145-1.17  |                 | 402 SE BRANNER ST LT           | 75.24        |
| 1213827529-1.17  |                 | 635 SW Gage #19 - ARC BUILDING | 287.27       |
| 1315447745-1.17  |                 | 5928 SW 53RD ST PUMP           | 105.53       |
| 1348331074-1.17  |                 | 3305 SE WESTEDGE               | 102.83       |
| 1408512766-1.17  |                 | 1215 SW 38TH                   | 2,515.10     |
| 1421891304-1.17  |                 | 215 SE 7TH - COMMONS 2.69%     | 303.17       |
| 1421891304A-1.1  |                 | 215 SE 7TH - CONTRACTS 1.95%   | 219.77       |
| 1421891304B-1.1  |                 | 215 SE 7TH - IT/ERP 7.32%      | 824.99       |
| 1421891304C-1.1  |                 | 215 SE 7TH - FACILITIES .20%   | 22.54        |
| 1421891304D-1.1  |                 | 215 SE 7TH - TPAC 60%          | 6,762.21     |
| 1421891304E-1.1  |                 | 215 SE 7TH - COURT 5.6%        | 631.14       |
| 1421891304F-1.1  |                 | 215 SE 7TH - CREDIT UNION 1.2% | 135.24       |
| 1421891304G-1.1  |                 | 215 SE 7TH - CITY CLERK 1.6%   | 180.33       |
| 1421891304H-1.1  |                 | 215 SE 7TH - HR/WELLNESS 4.7%  | 529.71       |
| 1421891304I-1.17 |                 | 215 SE 7TH - PROSECUTION 1.86% | 209.63       |
| 1421891304J-1.1  |                 | 215 SE 7TH - PROBATION 2.4%    | 270.49       |
| 1421891304K-1.1  |                 | 215 SE 7TH - COUNCIL OFFICE 1. | 123.97       |
| 1421891304L-1.1  |                 | 215 SE 7TH - CITY4 .86%        | 96.93        |
| 1421891304M-1.1  |                 | 215 SE 7TH - LEGAL 1.3%        | 146.51       |
| 1421891304N-1.1  |                 | 215 SE 7TH - LEGAL SPEC LIABIL | 146.51       |
| 1421891304NO-1   |                 | 215 SE 7TH - MAYOR .82%        | 92.42        |
| 1421891304OP-1   |                 | 215 SE 7TH - CITY MGR 1.3%     | 146.51       |
| 1421891304Q-1.1  |                 | 215 SE 7TH - FINANCE 3.80%     | 428.27       |
| 1519476504-1.17  |                 | 813 SW CLAY STREET             | 525.96       |
| 1597278899-1.17  |                 | 419 SE 13TH ST                 | 132.56       |
| 1601805968-1.17  |                 | 3500 SW WANAMAKER ST LT        | 96.68        |
| 1644917029-1.17  |                 | 3245 NW WATER WORKS DR         | 106,395.46   |
| 1671696488-1.17  |                 | 7215 SW TOPEKA BLVD            | 31.34        |
| 1677223701-1.17  |                 | 635 SW GAGE BLVD A - VET CLINI | 363.86       |
| 1709729387-1.17  |                 | 201 NW TOPEKA-STREET           | 120.82       |
| 1720154406-1.17  |                 | 6834 SW 17TH STREET PUMP       | 232.30       |
| 1737172307-1.17  |                 | 6531 SW 29TH ST S LT           | 148.77       |
| 1747452090-1.17  |                 | 2400 NW WATERWORKS             | 7,221.72     |
| 1762092009-1.17  |                 | 1908 SE 29TH ST B              | 47.98        |
| 1793486451-1.17  |                 | 120 NW CRANE -SW               | 23.85        |
| 1830815552-1.17  |                 | 420 NW WAITE ST                | 24.50        |
| 1883517398-1.17  |                 | 619 SE RICE RD                 | 420.46       |
| 1894285067-1.17  |                 | 1115 NE POPLAR ST B            | 83.09        |
| 1911987884-1.17  |                 | 4827 NW 17TH ST PUMP (SUNFLOWE | 29.56        |
| 1947734359-1.17  |                 | 201 NW TOPEKA-STREET PAL       | 524.59       |
| 1977020420-1.17  |                 | 2521 SE 2ND ST                 | 103.57       |
| 2069150421-1.17  |                 | 7325 SW 40TH                   | 56.35        |
| 2189423730-1.17  |                 | 2700 SW FAIRLAWN RD            | 585.61       |
| 2266273903-1.17  |                 | 825 S KANSAS AVE G CENTRE CITY | 2,245.61     |
| 2272608403-1.17  |                 | 800 SE MONROE ST (PAL)         | 192.27       |
| 2273632565-1.17  |                 | 1800 NE GRANTVILLE RD          | 254.40       |
| 2336545121-1.17  |                 | 635 SW GAGE BLVD C - CARNIVORE | 750.10       |
| 2336829480-1.17  |                 | NINTH STREET/215 SE 9TH        | 4,190.73     |
| 2362208215-1.17  |                 | 1915 WESTERN                   | 1,032.94     |
| 2437202074-1.17  |                 | 200 NE QUINCY ST               | 54.02        |
| 249842055-1.17   |                 | 215 SE 7TH - COMMONS 2.69%     | 5.45         |
| 249842055A-1.17  |                 | 215 SE 7TH - CONTRACTS 1.95%   | 3.95         |
| 249842055B-1.17  |                 | 215 SE 7TH - IT/ERP 7.32%      | 14.84        |
| 249842055C-1.17  |                 | 215 SE 7TH - FACILITIES .20%   | 0.41         |
| 249842055D-1.17  |                 | 215 SE 7TH - TPAC 60%          | 121.64       |
| 249842055E-1.17  |                 | 215 SE 7TH - COURT 5.6%        | 11.35        |
| 249842055F-1.17  |                 | 215 SE 7TH - CREDIT UNION 1.2% | 2.43         |
| 249842055G-1.17  |                 | 215 SE 7TH - CITY CLERK 1.6%   | 3.24         |
| 249842055H-1.17  |                 | 215 SE 7TH - HR/WELLNESS 4.7%  | 9.53         |
| 249842055I-1.17  |                 | 215 SE 7TH - PROSECUTION 1.86% | 3.77         |
| 249842055J-1.17  |                 | 215 SE 7TH - PROBATION 2.4%    | 4.87         |
| 249842055K-1.17  |                 | 215 SE 7TH - COUNCIL OFFICE 1. | 2.23         |
| 249842055L-1.17  |                 | 215 SE 7TH - CITY4 .86%        | 1.74         |
| 249842055M-1.17  |                 | 215 SE 7TH - LEGAL 1.3%        | 2.64         |

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| 249842055N-1.17  |                 | 215 SE 7TH - LEGAL SPEC LIABIL | 2.64         |
| 249842055O-1.17  |                 | 215 SE 7TH - MAYOR .82%        | 1.66         |
| 249842055P-1.17  |                 | 215 SE 7TH - CITY MGR 1.3%     | 2.64         |
| 249842055Q-1.17  |                 | 215 SE 7TH - FINANCE 3.80%     | 7.71         |
| 2518492210-1.17  |                 | CORONADO/917 QUINCY            | 3,049.47     |
| 2527930189-1.17  |                 | 620 MADISON - COMMONS .14%     | 8.33         |
| 2527930189A-1.1  |                 | 620 MADISON - HOLLIDAY ROOM 5. | 327.35       |
| 2527930189B-1.1  |                 | 620 MADISON - WELLNESS CLINIC  | 194.63       |
| 2527930189C-1.1  |                 | 620 MADISON - TPD INTERNAL AFF | 86.90        |
| 2527930189D-1.1  |                 | 620 MADISON - WATER 3.6%       | 214.27       |
| 2527930189E-1.1  |                 | 620 MADISON - HND 14.6%        | 868.98       |
| 2527930189F-1.1  |                 | 620 MADISON - IT 5.3%          | 315.45       |
| 2527930189G-1.1  |                 | 620 MADISON - TSG 5.6%         | 333.31       |
| 2527930189H-1.1  |                 | 620 MADISON - PARKING 3.12%    | 185.70       |
| 2527930189I-1.17 |                 | 620 MADISON - ENG 18.8%        | 1,118.96     |
| 2527930189J-1.1  |                 | 620 MADISON - CODE 4.9%        | 291.64       |
| 2527930189K-1.1  |                 | 620 MADISON - DSD PERMIT 6.45% | 383.90       |
| 2527930189L-1.1  |                 | 620 MADISON - DSD INSPECTION 6 | 383.90       |
| 2527930189M-1.1  |                 | 620 MADISON - TPD EMER COMM 2. | 173.80       |
| 2527930189N-1.1  |                 | 620 MADISON - FIRE INS 2.52%   | 149.99       |
| 2527930189O-1.1  |                 | 620 MADISON - PW ADMIN 4.07%   | 242.24       |
| 2527930189P-1.1  |                 | 620 MADISON - PLANNING 11.3%   | 672.56       |
| 2556481079-1.17  |                 | 8TH & MADISON (PAL)            | 210.61       |
| 2772553529-1.17  |                 | 4130 SE EAST EDGE RD PUMP      | 274.18       |
| 2868104065-1.17  |                 | 201 NW TOPEKA-STREET           | 997.18       |
| 2909742456-1.17  |                 | 200 N KANSAS AVE               | 23.85        |
| 2952910200-1.17  |                 | 3305 SW 46TH                   | 103.36       |
| 2978671422-1.17  |                 | 635 SW GAGE BLVD 2 - CONCESSIO | 367.64       |
| 3068995963-1.17  |                 | 2739 SE LAKE TERR              | 87.52        |
| 309522996-1.17   |                 | 201 NW TOPEKA-STREET PAL       | 187.27       |
| 3145100253-1.17  |                 | 1901 WESTERN                   | 2,175.86     |
| 3182415820-1.17  |                 | 3919 SE 29TH STREET            | 185.14       |
| 3216962429-1.17  |                 | 5950 SW 41ST                   | 22.50        |
| 3235310123-1.17  |                 | 550 NW 46TH                    | 72.71        |
| 3358892424-1.17  |                 | 635 SW GAGE BLVD #14 - QUARAN  | 159.12       |
| 3359889707-1.17  |                 | 318 NW CRANE ST                | 32.04        |
| 3377855825-1.17  |                 | 3332 SW WANAMAKER ST LT        | 93.45        |
| 3379200926-1.17  |                 | 3140 SW WANAMAKER ST LT CENTER | 95.51        |
| 342334703-1.17   |                 | 6315 SW 29TH ST ST LT          | 167.77       |
| 3429732386-1.17  |                 | QUINCY ST PUMP FPM             | 29.14        |
| 3468280796-1.17  |                 | 201 NE CURTIS ST               | 128.05       |
| 3481742208-1.17  |                 | 1419 NE SEWARD AVE             | 280.11       |
| 3675168021-1.17  |                 | 3105 NW GREEN HILLS RD HALF DA | 68.23        |
| 3675521733-1.17  |                 | 1200 JEFFERSON                 | 785.20       |
| 3703989372-1.17  |                 | 810 NW US HIGHWAY 24 PUMP      | 104.55       |
| 3704094176-1.17  |                 | 2744 SE 33RD TERR.             | 86.24        |
| 3769422865-1.17  |                 | 639 SW GAGE BLVD- ZOO RAIN FO  | 3,170.76     |
| 3791139844-1.17  |                 | 3441 SHORELINE DR.             | 91.62        |
| 3890967088-1.17  |                 | 635 SW GAGE BLVD #1 - OFFICE   | 2,007.63     |
| 3962419033-1.17  |                 | 545 NE LAKE                    | 6,930.78     |
| 4010895542-1.17  |                 | 400 NE SPRUCE LN PUMP          | 236.10       |
| 4058088318-1.17  |                 | 5000 1/2 SW REDBUD LN.         | 105.63       |
| 4141273470-1.17  |                 | 934 NE QUINCY                  | 36.34        |
| 416151990-1.17   |                 | BURNETTS MOUND (tower)         | 53.70        |
| 4181861543-1.17  |                 | 500 NE STRAIT AVE.             | 6,309.94     |
| 4208864031-1.17  |                 | WINTER & I70                   | 79.87        |
| 4264149424-1.17  |                 | 4748 NW GREEN HILLS RD         | 154.63       |
| 4269643687-1.17  |                 | 2901 SE CROCO                  | 64.38        |
| 4284165684-1.17  |                 | 815 SW GAGE BLVD-ZOO COMMISSAR | 407.85       |
| 4398184091-1.17  |                 | 1901 WESTERN AVE A             | 399.44       |
| 4451931225-1.17  |                 | 2906 SW KANZA DR LT            | 180.30       |
| 4495154762-1.17  |                 | 315 SE 21ST                    | 57.46        |
| 4495259422-1.17  |                 | 6402 SW 21ST ST ST LT          | 105.63       |
| 4500418622-1.17  |                 | 201 NW TOPEKA-STREET 55.2.%    | 1,431.53     |

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| 4500418622A-1.1 |                 | 201 NW TOPEKA-FLEET 28.2%      | 731.33       |
| 4500418622B-1.1 |                 | 201 NW TOPEKA-FORESTRY 13.7%   | 355.29       |
| 4500418622C-1.1 |                 | 201 NW TOPEKA-FACILITIES 2.9%  | 75.21        |
| 4542484126-1.17 |                 | JACKSON/512 SW JACKSON         | 2,849.50     |
| 4565831865-1.17 |                 | 6305 SW 9TH B B                | 1,665.99     |
| 4634088434-1.17 |                 | 1019 SW 22ND                   | 7,337.10     |
| 4672756422-1.17 |                 | 3205 NW HICKORY RIDGE LN       | 97.11        |
| 4688166907-1.17 |                 | 3300 SE DOWNING DR             | 130.64       |
| 4727296348-1.17 |                 | 324 SE JEFFERSON - FIRE        | 23.85        |
| 4732150028-1.17 |                 | 3033 SW WANAMAKER ST LT        | 78.58        |
| 4756774986-1.17 |                 | 3930 SW WANAMAKER              | 60.93        |
| 4789320685-1.17 |                 | 415 SE 43RD PUMP               | 139.77       |
| 4901109460-1.17 |                 | TOWNSITE/120 SE 6TH            | 7,460.83     |
| 5026432749-1.17 |                 | 2816 SW 29TH ST.- WW           | 4,753.46     |
| 5033670348-1.17 |                 | 700 JEFFERSON- COMMONS .14%    | 0.29         |
| 5033670348A-1.1 |                 | 700 JEFFERSON- HOLLIDAY ROOM 5 | 11.34        |
| 5033670348B-1.1 |                 | 700 JEFFERSON - WELLNESS CLINI | 6.74         |
| 5033670348C-1.1 |                 | 700 JEFFERSON - TPD INTERNAL A | 3.01         |
| 5033670348D-1.1 |                 | 700 JEFFERSON- WATER 3.6%      | 7.42         |
| 5033670348E-1.1 |                 | 700 JEFFERSON- HND 14.6%       | 30.10        |
| 5033670348F-1.1 |                 | 700 JEFFERSON- IT 5.3%         | 10.93        |
| 5033670348G-1.1 |                 | 700 JEFFERSON- TSG 5.6%        | 11.54        |
| 5033670348H-1.1 |                 | 700 JEFFERSON- PARKING 3.12%   | 6.43         |
| 5033670348I-1.1 |                 | 700 JEFFERSON- ENG 18.8%       | 38.76        |
| 5033670348J-1.1 |                 | 700 JEFFERSON- CODE 4.9%       | 10.10        |
| 5033670348K-1.1 |                 | 700 JEFFERSON- DSD PERMIT 6.45 | 13.30        |
| 5033670348L-1.1 |                 | 700 JEFFERSON- DSD INSPECTION  | 13.30        |
| 5033670348M-1.1 |                 | 700 JEFFERSON- TPD EMER COMM 2 | 6.02         |
| 5033670348N-1.1 |                 | 700 JEFFERSON- FIRE INS 2.52%  | 5.20         |
| 5033670348O-1.1 |                 | 700 JEFFERSON- PW ADMIN 4.07%  | 8.39         |
| 5033670348P-1.1 |                 | 700 JEFFERSON- PLANNING 11.3%  | 23.27        |
| 5044012316-1.17 |                 | 6400 UNIVERSITY                | 875.67       |
| 5080166655-1.17 |                 | CRANE & N HARRISON (PAL)(Impou | 629.73       |
| 5162823140-1.17 |                 | ITS CAMERAS                    | 77.25        |
| 5209177869-1.17 |                 | 322 NW CRANE ST (Impound)      | 165.31       |
| 5237660226-1.17 |                 | 1439 NE ATCHISON AVE           | 170.14       |
| 5256371057-1.17 |                 | N TYLER & KS RV                | 23.96        |
| 5278673283-1.17 |                 | 3306 SE CROCO RD               | 414.84       |
| 528113064-1.17  |                 | 2222 NW 35TH ST                | 363.76       |
| 52866323-1.17   |                 | 6009 SW 29TH ST ST LT          | 113.38       |
| 5288815051-1.17 |                 | 5961 SW 10TH                   | 549.74       |
| 5365632154-1.17 |                 | 322 NW CRANE ST (PAL)          | 261.26       |
| 5380218945-1.17 |                 | 831 NE US HWY 24               | 75.24        |
| 5652128807-1.17 |                 | 1641 SW ANCASTER               | 166.95       |
| 5755425065-1.17 |                 | 635 SW GAGE BLVD - A-QUARANTEE | 880.48       |
| 575745505-1.17  |                 | 4545 NW 43RD ST PUMP           | 111.23       |
| 6029216846-1.17 |                 | 635 SW GAGE BLVD #24 - APES    | 638.20       |
| 6043959044-1.17 |                 | CRANE & N HARRISON (PAL) (Impo | 18.34        |
| 6145729420-1.17 |                 | 318 NW CRANE ST                | 236.56       |
| 6149102541-1.17 |                 | 600 SW 42ND ST TANK            | 23.85        |
| 6358801391-1.17 |                 | 2700 NE MERIDEN RD             | 1,374.54     |
| 6385101124-1.17 |                 | 4540 NW SIOUX                  | 318.94       |
| 6418900406-1.17 |                 | 230 SE ALKIRE                  | 46.80        |
| 6473225120-1.17 |                 | 4300 SE 23RD TERR              | 684.81       |
| 6515388660-1.17 |                 | 5802 SW 6TH AVE                | 115.86       |
| 6548990643-1.17 |                 | PARKNSHOP/611 QUINCY           | 1,681.33     |
| 6600935533-1.17 |                 | BURNETT'S MOUND                | 83.20        |
| 6684018868-1.17 |                 | 5002 NW KENDALL DR             | 37.65        |
| 6806672566-1.17 |                 | 1610 BUTTON RD.                | 131.59       |
| 6878412783-1.17 |                 | 3245 NW WATER WORKS DR         | 83.20        |
| 6987642013-1.17 |                 | 2860 SE GOLDEN                 | 34.41        |
| 7006406272-1.17 |                 | 2000 NW TYLER                  | 90.31        |
| 7052702107-1.17 |                 | 2101 SW URISH RD               | 456.65       |
| 7054526981-1.17 |                 | DECORATIVE STREET LIGHTS       | 1,770.30     |

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| 7093577888-1.17  |                 | 2000 NW 17TH ST                | 993.68       |
| 7108482567-1.17  |                 | 223 SW TUFFY KELLOGG DR LT     | 151.63       |
| 7129070441-1.17  |                 | 324 SE JEFFERSON               | 1,496.99     |
| 7165756657-1.17  |                 | 400 US HWY 24                  | 66.84        |
| 7222261768-1.17  |                 | 138 N KS AVE                   | 99.38        |
| 7291675894-1.17  |                 | 300 SE 40TH                    | 98.83        |
| 731539692-1.17   |                 | BURNETTES MOUND (PAL) ( tower) | 66.70        |
| 7391817447-1.17  |                 | 123 SE 29TH ST LT              | 45.29        |
| 7479004144-1.17  |                 | 112 SW 8TH CROSBY PLACE        | 2,968.67     |
| 7548807911-1.17  |                 | 4035 SW 6TH AVE - ZOO LIGHTING | 685.87       |
| 7561894529-1.17  |                 | 8TH & MONROE (PAL)             | 100.49       |
| 7634627729-1.17  |                 | 3030 SE CROCO RD.              | 86.46        |
| 7672355786-1.17  |                 | 3450 SW BELLE AVE POND         | 216.65       |
| 7678466617-1.17  |                 | 200 NE CRANE                   | 121.00       |
| 7781238941-1.17  |                 | STREET LIGHTS                  | 143,819.01   |
| 7858393411-1.17  |                 | 3712 SW STONEBRIDGE CT.        | 67.60        |
| 7891221852-1.17  |                 | 300 SE JEFERSON - FIRE 54%     | 513.92       |
| 7891221852A-1.1  |                 | 300 SE JEFERSON - FLEET 46%    | 437.79       |
| 8045856673-1.17  |                 | 932 NE Quincy - FIRE           | 221.73       |
| 8101041023-1.17  |                 | 3158 1/2 SE 6TH AVE            | 26.87        |
| 8276026298-1.17  |                 | 322 NW CRANE ST (PAL) (Impound | 32.04        |
| 8290044485-1.17  |                 | 3414 SE 35TH ST.               | 91.53        |
| 8336454201-1.17  |                 | 1600 NW BUTTON RD.             | 47,896.25    |
| 8345937008-1.17  |                 | 635 SW GAGE BLVD ZOO HYENA     | 677.72       |
| 8513066501-1.17  |                 | 2300 SE 45TH ST                | 101.20       |
| 857144328-1.17   |                 | 2000 NW 17TH ST                | 32.04        |
| 8573461924-1.17  |                 | 1103 QUINCY/TANK               | 27.84        |
| 8595931907-1.17  |                 | 201 NW TOPEKA-STREET           | 31.17        |
| 8718757529-1.17  |                 | 1703 INDIAN HILLS              | 151.34       |
| 8797295426-1.17  |                 | 3107 SE SILVERLEAF CT          | 112.15       |
| 8828977802-1.17  |                 | 6305 SW 9TH ST                 | 1,601.60     |
| 889044562-1.17   |                 | 1419 NE SEWARD AVE             | 14.63        |
| 8917561729-1.17  |                 | 120 NW CRANE - EMER WATER PUMP | 391.30       |
| 8927971666-1.17  |                 | 1200 DIVISION ST.              | 4,614.40     |
| 8990425420-1.17  |                 | PEDESTRIAN ST LIGHTS           | 3,461.60     |
| 9163909456-1.17  |                 | 5610 SW FOXCROFT CIR.          | 87.42        |
| 9172705484-1.17  |                 | 6255 CALIFORNIA (Gun Range)    | 982.10       |
| 9244495706-1.17  |                 | 2001 NW WINTER ST              | 118.99       |
| 9281634463-1.17  |                 | 635 SW GAGE BLVD - EXHIBIT     | 87.74        |
| 9381575612-1.17  |                 | 1115 NE POPLAR ST              | 32,992.83    |
| 9388419420-1.17  |                 | 1908 SE 29TH ST A              | 54.88        |
| 9396200104-1.17  |                 | 1325 SW 16TH STREET            | 68.45        |
| 9406297791-1.17  |                 | 720 SW 21st STREET             | 1,150.18     |
| 9415932749-1.17  |                 | 1615 NW 8TH ST                 | 35.78        |
| 9464440167-1.17  |                 | 1801 SW 44TH                   | 169.07       |
| 9511026279-1.17  |                 | SCHOOL SPEED FLASHER           | 371.00       |
| 9553074355-1.17  |                 | 434 SE NORWOOD                 | 2,222.40     |
| 9561558646-1.17  |                 | 2447 SE 29TH STREET #9 99.98%  | 513.86       |
| 9610319286-1.17  |                 | 1900 SW 17TH ST LT             | 134.17       |
| 9619954781-1.17  |                 | 6548 SW 21ST ST ST LT          | 96.68        |
| 9662481100-1.17  |                 | 5605 SW FOXCROFT CIR S         | 107.90       |
| 9673824013-1.17  |                 | 320 S KANSAS AVE CHIEF OFF 3.0 | 454.80       |
| 9673824013B-1.1  |                 | 320 S KANSAS AVE EXEC SRV 1.0  | 151.59       |
| 9673824013C-1.1  |                 | 320 S KANSAS AVE TRAIN 1.0%    | 151.59       |
| 9673824013D-1.1  |                 | 320 S KANSAS AVE ADULT CRIME 7 | 1,061.16     |
| 9673824013E-1.1  |                 | 320 S KANSAS AVE CRIME SCENE 1 | 151.59       |
| 9673824013F-1.1  |                 | 320 S KANSAS AVE FIELD OPS 26. | 3,988.45     |
| 9673824013G-1.1  |                 | 320 S KANSAS AVE COMM POLICE 2 | 303.19       |
| 9673824013H-1.1  |                 | 320 S KANSAS AVE SCHOOL RES 2. | 303.19       |
| 9673824013I-1.17 |                 | 320 S KANSAS AVE MOTORCYCLE UN | 151.59       |
| 9673824013J-1.1  |                 | 320 S KANSAS AVE ANIMAL CONTRO | 454.78       |
| 9673824013K-1.1  |                 | 320 S KANSAS AVE REC/PROP 6.0% | 909.57       |
| 9673824013L-1.1  |                 | 320 S KANSAS AVE PD IT .32%    | 48.51        |
| 9673824013M-1.1  |                 | 320 S KANSAS AVE NARC 3.0%     | 454.78       |

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| Check No.       | Check Date/PO # | Vendor Name and Number             | Check Amount |
|-----------------|-----------------|------------------------------------|--------------|
| 9673824013N-1.1 |                 | 320 S KANSAS AVE BIKE UNIT 1.0     | 151.59       |
| 9673824013O-1.1 |                 | 320 S KANSAS AVE CANINE UNIT 2     | 303.19       |
| 9673824013P-1.1 |                 | 320 S KANSAS AVE - FLEET 8.44%     | 1,279.47     |
| 9673824013Q-1.1 |                 | 320 S KANSAS AVE - CORONER 4.0     | 606.38       |
| 9673824013R-1.1 |                 | 320 S KANSAS AVE - SHERIFF 27.     | 4,234.03     |
| 969270611-1.17  |                 | 3700 FAIRLAWN PUMP                 | 6,037.28     |
| 9772420004-1.17 |                 | 6900 SW CRESTWOOD                  | 141.62       |
| 9785702480-1.17 |                 | 2306 SE SAGIS CT                   | 176.01       |
| 9804384888-1.17 |                 | 1901 SW 17TH ST ST LT              | 134.07       |
| 9905880069-1.17 |                 | 1200 NE DIVISION (PAL)             | 32.63        |
| 994842527-1.17  |                 | 2010 SW 37TH ST                    | 430.10       |
| 724569          | 02/17/2017      | CORVEL CORPORATION INC 8931        | 4,780.00     |
| 533273          | 37677           |                                    | 2,600.00     |
| INDEMNITY 1/1-3 | 37677           |                                    | 2,180.00     |
| 724570          | 02/17/2017      | COTTON ONEIL CLINIC 1131           | 37.73        |
| E153893080      | 38156           |                                    |              |
| 724581          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 144.00       |
| 00000065817021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724582          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 94.62        |
| 00000006717021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724583          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 63.70        |
| 00000119217021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724584          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 484.61       |
| 00000067717021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724585          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 36.92        |
| 00000238517021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724586          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 87.69        |
| 00000004417021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724587          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 138.46       |
| 00000100917021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724588          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 183.69       |
| 00000015217021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724589          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 55.38        |
| 00000254717021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724590          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 130.00       |
| 00000237917021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724591          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 207.69       |
| 00000029717021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724592          | 02/17/2017      | CHAPTER 13 TRUSTEE 2494            | 120.00       |
| 00000229617021  |                 | Bankruptcy - Amt 26 PP             |              |
| 724593          | 02/17/2017      | FAMILY SUPPORT PAYMENT CENTER 6780 | 307.85       |
| 00000241017021  |                 | Child Support - Amt                |              |
| 724594          | 02/17/2017      | FAMILY SUPPORT PAYMENT CENTER 6780 | 188.31       |
| 00000258817021  |                 | Child Support - Amt                |              |
| 724595          | 02/17/2017      | FRATERNAL ORDER OF POLICEMEN 1773  | 9,414.27     |

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|----------------|-----------------|--------------------------------|--------------|
| UNF1170217162  |                 | Union Dues - FOP               | 77.76        |
| UNF1170217162  |                 | Union Dues - FOP               | 9,336.51     |
| 724596         | 02/17/2017      | ILLINOIS STUDENT ASSISTANCE    | 9196         |
| 00000035417021 |                 | Student Loan Federal - Pct     | 315.19       |
| 724597         | 02/17/2017      | KANSAS DEPARTMENT OF REVENUE   | 6574         |
| 00000111617021 |                 | Tax Levy State - Pct           | 410.56       |
| 724598         | 02/17/2017      | PIONEER CREDIT RECOVERY INC    | 3940         |
| 00000215517021 |                 | Student Loan Federal - Pct     | 233.10       |
| 724599         | 02/17/2017      | OFFICE OF THE ATTORNEY GENERAL | 10437        |
| 00000265317021 |                 | Child Support - Amt            | 92.31        |
| 724600         | 02/17/2017      | UNITED STATES GOVERNMENT       | 9489         |
| 00000215517021 |                 | Student Loan Federal - Pct     | 155.39       |
| 724601         | 02/17/2017      | UNITED STATES TREASURY         | 5156         |
| 00000109317021 |                 | Tax Levy Federal - Pct         | 1,375.29     |
| 724602         | 02/17/2017      | WILLIAM GRIFFIN CHAPTER        | 5446         |
| 00000055617021 |                 | Bankruptcy - Amt 26 PP         | 2,145.24     |
| 724603         | 02/17/2017      | WILLIAM GRIFFIN CHAPTER        | 5446         |
| 00000041317021 |                 | Bankruptcy - Amt 26 PP         | 1,246.16     |
| 724604         | 02/17/2017      | WILLIAM GRIFFIN CHAPTER        | 5446         |
| 00000080117021 |                 | Bankruptcy - Amt 26 PP         | 692.31       |
| 724605         | 02/17/2017      | CENTRAL STATES MACHINING & WEL | 869          |
| 86868          | 37359           |                                | 75.00        |
| 724606         | 02/17/2017      | ECCL 4:12 LLC                  | 10056        |
| 30939          | 38139           |                                | 500.00       |
| 724607         | 02/17/2017      | FASTENAL COMPANY               | 1619         |
| KSTOP236971    | 37557           |                                | 986.58       |
| KSTOP236985    | 37364           |                                | 2.26         |
| KSTOP236993    | 37364           |                                | 2.67         |
| KSTOP237018    | 37364           |                                | 1.17         |
| KSTOP237043    | 37557           |                                | 13.96        |
| KSTOP237056    | 37364           |                                | 4.86         |
| KSTOP237078    | 37557           |                                | 139.61       |
| 724608         | 02/17/2017      | GRAINGER                       | 1964         |
| 9339959778     | 37902           |                                | 820.14       |
| 9340989038     | 37782           |                                | 112.35       |
| 9342433761     | 37912           |                                | 1,319.20     |
| 9342433779     | 37929           |                                | 264.38       |
| 9342888337     | 37315           |                                | 199.58       |
| 724609         | 02/17/2017      | KANSAS FIRE & SAFETY EQUIPMENT | 2704         |
| 59115          | 38110           |                                | 457.00       |
| 724610         | 02/17/2017      | KANSAS SAND & CONCRETE         | 2744         |
| 90119610       | 33538           |                                | 413.75       |
| 90122640       | 37838           |                                | 220.55       |
| 90123323       | 37838           |                                | 768.75       |
| 90123324       | 37838           |                                | 722.05       |
| 90123494       | 37838           |                                | 691.63       |
| 90123631       | 37838           |                                | 174.70       |

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| 90123632       | 37838           |                                      | 1,031.51     |
| 90124524       | 37838           |                                      | 531.00       |
| 90124708       | 37838           |                                      | 261.51       |
| 90124709       | 37479           |                                      | 625.00       |
| 90124710       | 37479           |                                      | 1,250.00     |
| 90124868       | 37479           |                                      | 250.00       |
| 90124869       | 37838           |                                      | 252.50       |
| 90125106       | 37838           |                                      | 190.00       |
| 90125268       | 37838           |                                      | 533.80       |
| 724611         | 02/17/2017      | MCCRAY LUMBER COMPANY 3280           | 2.69         |
| TO00775889 001 | 37807           |                                      |              |
| 724612         | 02/17/2017      | MIDWEST MOTOR SUPPLY CO INC 2854     | 2,334.51     |
| 5382004        | 37963           |                                      | 634.87       |
| 5391995        | 37449           |                                      | 243.60       |
| 5419347        | 37963           |                                      | 600.30       |
| 5419537        | 37963           |                                      | 855.74       |
| 724613         | 02/17/2017      | ROACH HARDWARE 4230                  | 62.24        |
| 124111         | 37492           |                                      | 7.98         |
| 124129         | 37492           |                                      | 4.04         |
| 124142         | 37492           |                                      | 4.39         |
| 124153         | 37492           |                                      | 31.84        |
| 238095         | 37492           |                                      | 13.99        |
| 724614         | 02/17/2017      | SAFETY SUPPLIES 4336                 | 47.29        |
| SSI 170156     | 37544           |                                      |              |
| 724615         | 02/17/2017      | ALANIS-NEGRETE, J REYES 9715         | 25.00        |
| CR 2007 001176 | DEANN K MASSEY  |                                      |              |
| 724616         | 02/17/2017      | BARNES, DENNIS 9995                  | 30.00        |
| CR 2015 000534 | BEVERLY MARTIN  |                                      |              |
| 724617         | 02/17/2017      | KANSAS BUREAU OF INVESTIGATION 2646  | 770.00       |
| CR 2015 000964 | L HERNANDEZ     |                                      | 25.00        |
| CR 2015 001513 | KP MARCONETTE   |                                      | 50.00        |
| CR 2016 000414 | RP NORSWORTHY   |                                      | 400.00       |
| CR 2016 000873 | J LRK BAYLESS   |                                      | 295.00       |
| 724618         | 02/17/2017      | KENNEDY, TANNER JOSEPH 10733         | 75.00        |
| CR 2015 001166 | SM SANNER       |                                      |              |
| 724619         | 02/17/2017      | LOS PORTALES 10734                   | 12.00        |
| CR 2006 002008 | LANCE M SADLER  |                                      |              |
| 724620         | 02/17/2017      | SEARS 6824                           | 95.00        |
| CR 2016 001468 | A ALVAREZ       |                                      |              |
| 724621         | 02/24/2017      | HIGHLAND PARK UNITED METHODIST 10732 | 500.00       |
| 38186 TEMP EA  | 38186           |                                      | 40.00        |
| LANDSCAPE EA   | 38186           |                                      | 410.00       |
| PERM R-O-W EA  | 38186           |                                      | 50.00        |
| 724622         | 02/24/2017      | TEAM KANSAS INC 10722                | 11,500.00    |
| 38133 TEMP EA  | 38133           |                                      |              |
| 724623         | 02/24/2017      | EDER, THOMAS 1485                    | 1,419.06     |
| HR83251        |                 | RETIREE CREDIT BALANCE               | 0.88         |
| HR83353        |                 | RETIREE CREDIT BALANCE               | 1,418.18     |

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|-----------------|-----------------|-------------------------------------|--------------|
| 724624          | 02/24/2017      | HARRIS, TERRY L 2109                | 93.96        |
| HR00000086-DE   | INSURANCE       |                                     |              |
| 724625          | 02/24/2017      | JACK E COLLIE 6291                  | 4.90         |
| HR1006218063    |                 | RETIREE CREDIT BALANCE              |              |
| 724626          | 02/24/2017      | ROGERS JR, CHARLES D 4268           | 4.00         |
| HR83353         |                 | RETIREE CREDIT BALANCE              |              |
| 724627          | 02/24/2017      | VARGAS, MICHAEL J 6207              | 120.00       |
| HR1006357893    |                 | RETIREE CREDIT BALANCE              |              |
| 724628          | 02/24/2017      | ACROSS THE STREET PRODUCTIONS 10506 | 48,496.50    |
| 12 4717         | 37994           |                                     | 12,496.50    |
| 12 4718         | 37994           |                                     | 36,000.00    |
| 724629          | 02/24/2017      | ALFA LAVAL INC 9878                 | 35,728.68    |
| 277006337       | 37706           |                                     |              |
| 724630          | 02/24/2017      | ALL SIGNS LLC 122                   | 100.00       |
| 217002          | 38122           |                                     | 80.00        |
| 217028          | 38122           |                                     | 20.00        |
| 724631          | 02/24/2017      | VCA CENVET INC 5886                 | 291.73       |
| 201701 0        | 37487           |                                     |              |
| 724632          | 02/24/2017      | AT&T 281                            | 620.80       |
| 7965174300      | 38367           |                                     |              |
| 724633          | 02/24/2017      | AT&T 281                            | 1,423.70     |
| 1695246096      | 37595           |                                     | 713.98       |
| 1695617043      | 37595           |                                     | 709.72       |
| 724634          | 02/24/2017      | AT&T 281                            | 1,444.00     |
| GA67355         | 37595           |                                     | 722.00       |
| GA88529         | 37595           |                                     | 722.00       |
| 724635          | 02/24/2017      | AT&T 281                            | 840.00       |
| SB986086        | 37595           |                                     |              |
| 724636          | 02/24/2017      | AT&T CAPITAL SERVICES 284           | 7,131.57     |
| 3004417         | 28170           |                                     |              |
| 724637          | 02/24/2017      | BIG TWIN INC 5031                   | 94.45        |
| 689020          | 37404           |                                     |              |
| 724638          | 02/24/2017      | BROWNS SUPER SERVICE INC 670        | 200.00       |
| 51669           | 37355           |                                     |              |
| 724639          | 02/24/2017      | CELLEBRITE USA INC 860              | 3,080.00     |
| INVUS178890     | 38089           |                                     |              |
| 724640          | 02/24/2017      | CENTRAL SALT LLC 8550               | 21,901.72    |
| 262782          | 37589           |                                     | 1,937.49     |
| 263037          | 37589           |                                     | 3,859.64     |
| 263258          | 37589           |                                     | 10,063.54    |
| 263373          | 37589           |                                     | 6,041.05     |
| 724641          | 02/24/2017      | COPLOGIC INC 7829                   | 12,519.44    |
| C100279 201701: | 38213           |                                     |              |
| 724642          | 02/24/2017      | ENVISION INDUSTRIES INC 1549        | 24.90        |



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|----------------|-----------------|--------------------------------|-------|--------------|-----------------|
| 0003476041     | 37599           |                                |       | 24.90        |                 |
| 724643         | 02/24/2017      | FINLAY AUTOMOTIVE SUPPLY INC   | 10237 |              | <b>1,040.79</b> |
| 048513         | 37465           |                                |       | 675.16       |                 |
| 048575         | 37430           |                                |       | 109.60       |                 |
| 048618         | 37430           |                                |       | 22.42        |                 |
| 048701         | 37430           |                                |       | 233.61       |                 |
| 724644         | 02/24/2017      | GREATER TOPEKA CHAMBER OF      | 1981  |              | <b>281.08</b>   |
| 15138          | 38222           |                                |       | 281.08       |                 |
| 724645         | 02/24/2017      | HALL COMMERCIAL PRINTING       | 2053  |              | <b>25.00</b>    |
| 170159         | 38159           |                                |       | 25.00        |                 |
| 724646         | 02/24/2017      | HAYNES EQUIPMENT INC           | 2139  |              | <b>3,288.87</b> |
| 17130H         | 37999           |                                |       | 3,288.87     |                 |
| 724647         | 02/24/2017      | SPENCER & COMPANY              | 2321  |              | <b>338.05</b>   |
| S 16569        | 37371           |                                |       | 17.74        |                 |
| W 18380        | 37371           |                                |       | 320.31       |                 |
| 724648         | 02/24/2017      | INFORMATION NETWORK OF KANSAS  | 2395  |              | <b>37.00</b>    |
| 1549062        | 37911           |                                |       | 37.00        |                 |
| 724649         | 02/24/2017      | INTERNATIONAL MUNICIPAL SIGNAL | 2434  |              | <b>45.00</b>    |
| 38370 PELTON K | 38370           |                                |       | 45.00        |                 |
| 724650         | 02/24/2017      | JAMES L DUNLAP                 | 2533  |              | <b>11.80</b>    |
| 667733         | 37379           |                                |       | 11.80        |                 |
| 724651         | 02/24/2017      | KANSAS DEPT OF HEALTH & ENVIR  | 2676  |              | <b>15.00</b>    |
| PIERSON REINS  | 38166           |                                |       | 15.00        |                 |
| 724652         | 02/24/2017      | KANSAS DEPT OF HEALTH & ENVIRO | 2682  |              | <b>150.00</b>   |
| ID KSD98501547 | 38010           |                                |       | 150.00       |                 |
| 724653         | 02/24/2017      | KANSAS ONE CALL SYSTEM INC     | 2728  |              | <b>1,531.00</b> |
| 7010475        | 37598           |                                |       | 1,531.00     |                 |
| 724654         | 02/24/2017      | KANSAS POWERTRAIN &            | 6935  |              | <b>247.00</b>   |
| 37012          | 37458           |                                |       | 247.00       |                 |
| 724655         | 02/24/2017      | KARRS KARTS                    | 2784  |              | <b>99.60</b>    |
| 9776           | 37387           |                                |       | 99.60        |                 |
| 724656         | 02/24/2017      | METAL LOGOS OF KANSAS CITY INC | 9797  |              | <b>4,999.52</b> |
| TOPEKA POLICE  | 37123           |                                |       | 4,999.52     |                 |
| 724657         | 02/24/2017      | MIOVISION TECHNOLOGIES         | 10319 |              | <b>795.94</b>   |
| 27202          | 35066           |                                |       | 795.94       |                 |
| 724658         | 02/24/2017      | NAILL ENTERPRISES LTD          | 4931  |              | <b>96.15</b>    |
| 7801 40        | 37616           |                                |       | 96.15        |                 |
| 724659         | 02/24/2017      | OZARK INTEGRATED PEST SERVICE  | 3791  |              | <b>265.00</b>   |
| 1454013017     | 37549           |                                |       | 35.00        |                 |
| 1455013017     | 37549           |                                |       | 230.00       |                 |
| 724660         | 02/24/2017      | PRISON REHABILITATIVE          | 6556  |              | <b>18.48</b>    |
| E0922094       | 38177           |                                |       | 18.48        |                 |
| 724661         | 02/24/2017      | PRODUCTS PLUS INC              | 9311  |              | <b>266.00</b>   |

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|---|---|--|---|
| 5642020117  | 37460   |  | 266.00  |
| 724662<br>4957876   | 02/24/2017<br>37594   | REEVES WIEDEMAN COMPANY INC<br>4154                | 96.07   |
| 724663<br>52407   | 02/24/2017<br>37463   | ROLLING PRAIRIE<br>9658                            | 106.90  |
| 724664<br>1010 045091   | 02/24/2017<br>37898   | SAFARILAND LLC<br>6567                             | 468.73  |
| 724665<br>3549820   | 02/24/2017<br>37098   | SAFEWARE INC<br>6902                               | 2,030.31  |
| 724666<br>2010 5825   | 02/24/2017<br>38024   | SEABROOKS INC<br>10180                             | 279.00  |
| 724667<br>37497 1/1/17-12/31  | 02/24/2017<br>37497   | SHAWNEE COUNTY<br>4502                             | 200,000.00  |
| 724668<br>2017 1  | 02/24/2017<br>37061   | SHAWNEE COUNTY<br>4520                             | 861.00  |
| 724669<br>01446FIRE<br>01447FIRE<br>92670<br>92671<br>92672<br>92678<br>92679<br>92680<br>92681 | 02/24/2017<br>37333<br>37333<br>37333<br>37333<br>37333<br>37333<br>37333<br>37333<br>37333 | SHAWNEE COUNTY<br>4521                             | 16.50<br>16.50<br>33.75<br>33.75<br>33.75<br>33.75<br>33.75<br>33.75<br>33.75 |
| 724670<br>56329<br>56777<br>57391   | 02/24/2017<br>34288<br>35255<br>34288   | SIMILAR MODE UNIFORMS INC<br>4563                  | 67.75<br>2,010.16<br>93.75  |
| 724671<br>443HFF17  | 02/24/2017<br>37334   | STATE OF KANSAS DMV<br>8585                        | 45.00   |
| 724672<br>1492  | 02/24/2017<br>37403   | TOPEKA FOUNDRY & IRON WORKS IN<br>5029             | 318.30  |
| 724673<br>52530   | 02/24/2017<br>37405   | RAD INC<br>5042                                    | 43.00   |
| 724674<br>JAN 2017 ACCT :   | 02/24/2017<br>37503   | TRANSUNION RISK AND<br>9436                        | 114.75  |
| 724675<br>90000000009   | 02/24/2017<br>37027   | VELOCITY DYNAMICS LLC<br>10644                     | 17,609.10   |
| 724676<br>062   | 02/24/2017<br>38112   | WELLS, DAVID L<br>5359                             | 1,814.00  |
| 724677<br>8075  | 02/24/2017<br>37504   | BRIER PAYNE MEADE INSURANCE IN<br>620              | 75.00   |
| 724678<br>HR1470  | 02/24/2017  | GREG M ANDERSON<br>RETIREE CREDIT BALANCE<br>10737 | 27.78   |

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| 724679         | 02/24/2017      | DONALD BLACKMAN 10739            | 111.56       |
| HR2437613755   |                 | RETIREE CREDIT BALANCE           | 55.78        |
| HR2440392577   |                 | RETIREE CREDIT BALANCE           | 55.78        |
| 724680         | 02/24/2017      | DONALD LEE 10741                 | 26.90        |
| HR83353        |                 | RETIREE CREDIT BALANCE           | 26.90        |
| 724681         | 02/24/2017      | ARTHUR (BILL) MCCARTER 10742     | 321.00       |
| HR24512062     |                 | RETIREE CREDIT BALANCE           | 64.42        |
| HR24537302     |                 | RETIREE CREDIT BALANCE           | 256.58       |
| 724682         | 02/24/2017      | RONALD MCCLELLAND 10740          | 75.00        |
| HR8330         |                 | RETIREE CREDIT BALANCE           | 75.00        |
| 724689         | 02/24/2017      | DANIEL R HOUSER INC 7046         | 762.50       |
| 20170105       | 33406           |                                  | 762.50       |
| 724690         | 02/24/2017      | FASTENAL COMPANY 1619            | 25.64        |
| KSTOP237208    | 37364           |                                  | 11.44        |
| KSTOP237266    | 37364           |                                  | 4.09         |
| KSTOP237285    | 37364           |                                  | 4.16         |
| KSTOP237401    | 37364           |                                  | 3.95         |
| KSTOP237402    | 37364           |                                  | 2.00         |
| 724691         | 02/24/2017      | GRAINGER 1964                    | 97.20        |
| 9349668260     | 38041           |                                  | 97.20        |
| 724692         | 02/24/2017      | KANSAS SAND & CONCRETE 2744      | 2,303.31     |
| 90125422       | 37838           |                                  | 442.25       |
| 90125621       | 37479           |                                  | 625.00       |
| 90125947       | 37838           |                                  | 722.05       |
| 90126160       | 37838           |                                  | 261.51       |
| 90126343       | 37479           |                                  | 252.50       |
| 724693         | 02/24/2017      | MID-STATES MATERIALS LLC 3401    | 363.49       |
| 61022          | 37805           |                                  | 363.49       |
| 724694         | 02/24/2017      | MIDWEST MOTOR SUPPLY CO INC 2854 | 1,120.52     |
| 5433349        | 37963           |                                  | 543.13       |
| 5433541        | 37963           |                                  | 577.39       |
| 724695         | 02/24/2017      | ROACH HARDWARE 4230              | 38.37        |
| 124240         | 37492           |                                  | 15.98        |
| 124277         | 37492           |                                  | 22.39        |
| 724696         | 02/24/2017      | SAFETY CONSULTING INC 4335       | 2,472.50     |
| 170158         | 37840           |                                  | 1,730.00     |
| 170159         | 37998           |                                  | 220.00       |
| 170160         | 37470           |                                  | 165.00       |
| 170161         | 37531           |                                  | 357.50       |
| 724697         | 02/24/2017      | SAFETY SUPPLIES 4336             | 400.00       |
| SSI 170170     | 37544           |                                  | 400.00       |
| 724698         | 02/24/2017      | SAMCO INC 4355                   | 6,916.00     |
| SVC05927       | 38134           |                                  | 6,150.00     |
| SVC06065       | 37961           |                                  | 766.00       |
| 724699         | 02/24/2017      | KWIK SHOP 7330                   | 87.33        |
| CR 2010 000239 | AL FISHER       |                                  | 37.33        |
| CR 2010 001851 | JD ROBUCK       |                                  | 50.00        |

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|----------------|-----------------|-------------------------------|--------------|
| 724700         | 02/27/2017      | KANSAS DEPT OF REVENUE        | 2691         |
| 010103402988 N |                 | SALES TAX ZOO                 | 5.98         |
| 724701         | 02/27/2017      | KANSAS DEPT OF REVENUE        | 2691         |
| 7058 DK3Y RG76 |                 | SALES TAX ZOO                 | 3,526.96     |
| 724702         | 03/01/2017      | BRENTWOOD APARTMENTS LLC      | 8837         |
| ROB106-0317    |                 | S+C March 2017Payment         | 320.00       |
| 724703         | 03/01/2017      | FAIRLAWN PARTNERS LLC         | 7176         |
| FRI1060-0317   |                 | S+C March 2017Payment         | 324.00       |
| HYM101-0217    |                 | S+C February 2017Payment      | 146.00       |
| HYM101-0317    |                 | S+C March 2017Payment         | 186.00       |
| OST101-0317    |                 | S+C March 2017Payment         | 625.00       |
| SIS101-0317    |                 | S+C March 2017Payment         | 288.00       |
| WIL1050-0317   |                 | S+C March 2017Payment         | 315.00       |
| 724704         | 03/01/2017      | JEFFERSON MADISON BUILDING LP | 4374         |
| BRO118-0317    |                 | S+C March 2017Payment         | 198.00       |
| SAF101-0317    |                 | S+C March 2017Payment         | 77.00        |
| SER105-0317    |                 | S+C March 2017Payment         | 315.00       |
| 724705         | 03/01/2017      | KANSAS CARRIAGE HOUSE LLC     | 10256        |
| BUR101-0317    |                 | S+C March 2017Payment         | 470.00       |
| 724706         | 03/01/2017      | KANSAS GAS SERVICE INC        | 2708         |
| ALV108-0317    |                 | 510518443                     | 42.00        |
| AND107-0317    |                 | 512318567                     | 145.00       |
| BRI107-0317    |                 | 510752268                     | 35.00        |
| BUS101-0317    |                 | 512101896                     | 138.00       |
| CHA104-0317    |                 | 512543795                     | 40.00        |
| ESP101-0317    |                 | 510148704                     | 74.00        |
| EST101-0317    |                 | 512040327                     | 35.00        |
| HAM101-0317    |                 | 511092428                     | 56.00        |
| KIM1032-0317   |                 | 510137930                     | 54.00        |
| MAR102-0317    |                 | 510912803                     | 166.00       |
| MAR115-0317    |                 | 510536371                     | 47.00        |
| NOR101-0317    |                 | 510465073                     | 33.00        |
| RET101-0317    |                 | 512062323                     | 116.00       |
| SIL101-0317    |                 | 512472531                     | 31.00        |
| SMI109-0317    |                 | 510026004                     | 77.00        |
| WAR101-0317    |                 | 510799987                     | 50.00        |
| WEB107-0317    |                 | 510416164                     | 53.00        |
| WEL101-0317    |                 | 512127483                     | 37.00        |
| WIL109-0317    |                 | 512496711                     | 65.00        |
| 724707         | 03/01/2017      | KP PROPERTIES                 | 10484        |
| NAV101-0317    |                 | S+C March 2017Payment         | 184.00       |
| 724708         | 03/01/2017      | OAKWOOD MANOR L P             | 3719         |
| COO106-0317    |                 | S+C March 2017Payment         | 174.00       |
| 724709         | 03/01/2017      | RAK INVESTMENTS II LLC        | 7908         |
| MON109-0317    |                 | S+C March 2017Payment         | 328.00       |
| 724710         | 03/01/2017      | REAGER, CRAIG                 | 9752         |
| SMI118-0317    |                 | S+C March 2017Payment         | 990.00       |
| 724711         | 03/01/2017      | TOPEKA RENTALS LLC            | 5046         |
| BEC101-0317    |                 | S+C March 2017Payment         | 540.00       |
| BOY102-0317    |                 | S+C March 2017Payment         | 105.00       |

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| BRO119-0217  |                 | S+C February 2017Payment | 228.00       |
| BRO119-0317  |                 | S+C March 2017Payment    | 228.00       |
| BRO119-DEP   |                 | S+C March 2017Deposit    | 540.00       |
| CAS113-0317  |                 | S+C March 2017Payment    | 114.00       |
| FOW101-0317  |                 | S+C March 2017Payment    | 345.00       |
| GRA101-0317  |                 | S+C March 2017Payment    | 529.00       |
| HOU101-0317  |                 | S+C March 2017Payment    | 625.00       |
| HUG102-0317  |                 | S+C March 2017Payment    | 525.00       |
| NEL103-0317  |                 | S+C March 2017Payment    | 425.00       |
| PER108-0317  |                 | S+C March 2017Payment    | 63.00        |
| PUR102-0317  |                 | S+C March 2017Payment    | 330.00       |
| RIT102-0117  |                 | S+C January 2017Payment  | 70.00        |
| RIT102-0217  |                 | S+C February 2017Payment | 360.00       |
| RIT102-0317  |                 | S+C March 2017Payment    | 360.00       |
| RIT102-DEP   |                 | S+C March 2017Deposit    | 576.00       |
| SIM106-0217  |                 | S+C February 2017Payment | 267.00       |
| SIM106-0317  |                 | S+C March 2017Payment    | 576.00       |
| THO107-0317  |                 | S+C March 2017Payment    | 410.00       |
| WAT101-0317  |                 | S+C March 2017Payment    | 540.00       |
| WOO1111-0317 |                 | S+C March 2017Payment    | 483.00       |
| WUN101-0317  |                 | S+C March 2017Payment    | 540.00       |
| 724712       | 03/01/2017      | WESTAR ENERGY 5377       | 4,719.00     |
| ALL105-0317  |                 | 988117844                | 73.00        |
| ALV108-0317  |                 | 7220042023               | 43.00        |
| AND107-0317  |                 | 8910987645               | 146.00       |
| ATK103-0317  |                 | 1236875989               | 62.00        |
| BAR105-0317  |                 | 7402186384               | 130.00       |
| BEN101-0317  |                 | 5133473547               | 60.00        |
| BEV101-0317  |                 | 9914946927               | 72.00        |
| BLA105-0317  |                 | 9025683602               | 64.00        |
| BRI107-0317  |                 | 1544479540               | 38.00        |
| BUS101-0317  |                 | 6129260622               | 138.00       |
| CHA104-0317  |                 | 158910000                | 50.00        |
| CUN103-0317  |                 | 720738689                | 273.00       |
| DIT101-0317  |                 | 2452946040               | 10.00        |
| DIV101-0317  |                 | 3563085328               | 163.00       |
| DOB101-0317  |                 | 949755186                | 125.00       |
| ERI101-0317  |                 | 3372475229               | 135.00       |
| ESP101-0317  |                 | 4864272608               | 75.00        |
| EST101-0317  |                 | 1586415582               | 40.00        |
| FER102-0317  |                 | 6197216421               | 139.00       |
| FIL101-0317  |                 | 1161059786               | 75.00        |
| FOW101-0317  |                 | 8115557909               | 35.00        |
| GAR108-0317  |                 | 9700322460               | 68.00        |
| GUE101-0317  |                 | 6740249205               | 95.00        |
| HAM101-0317  |                 | 6930600307               | 136.00       |
| HED101-0317  |                 | 4818554366               | 35.00        |
| HIL1027-0317 |                 | 7842696027               | 45.00        |
| HOM101-0317  |                 | 9484706308               | 37.00        |
| HUT101-0317  |                 | 1597735068               | 146.00       |
| JON107-0317  |                 | 8049247045               | 40.00        |
| KAY103-0317  |                 | 5352728025               | 125.00       |
| MAR102-0317  |                 | 8070085744               | 167.00       |
| MAR115-0317  |                 | 6569783086               | 47.00        |
| MCC103-0317  |                 | 1320802347               | 55.00        |
| MCG1031-0317 |                 | 1449386986               | 195.00       |
| MCL101-0317  |                 | 2857130862               | 95.00        |
| MEN112-0317  |                 | 2632736284               | 61.00        |
| NOR101-0317  |                 | 9715194165               | 33.00        |
| ONE103-0317  |                 | 8362355788               | 59.00        |
| OST101-0317  |                 | 6874027822               | 100.00       |
| PET101-0317  |                 | 8252675002               | 91.00        |
| POR101-0317  |                 | 8874362604               | 19.00        |

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| PRI1029-0317                |                 | 3200745547                     | 44.00        |
| RET101-0317                 |                 | 6987976363                     | 116.00       |
| RHO102-0317                 |                 | 8612556302                     | 132.00       |
| SHA101-0317                 |                 | 2960808586                     | 42.00        |
| SIE101-0317                 |                 | 8523564425                     | 45.00        |
| SIL101-0317                 |                 | 5990658300                     | 55.00        |
| SMI109-0317                 |                 | 1565708528                     | 78.00        |
| SPA102-0317                 |                 | 662480202                      | 70.00        |
| SUH101-0317                 |                 | 8817274729                     | 87.00        |
| TIS101-0317                 |                 | 5523244345                     | 89.00        |
| TOW102-0317                 |                 | 6429386725                     | 55.00        |
| WAR101-0317                 |                 | 5224306008                     | 83.00        |
| WEB107-0317                 |                 | 9958330481                     | 70.00        |
| WEL101-0317                 |                 | 5146994064                     | 38.00        |
| WIL109-0317                 |                 | 5979710681                     | 120.00       |
| 724713                      | 03/03/2017      | BUTLER & ASSOCIATES PA         | 730          |
| 00000230317030              |                 | Garnishment - Pct of Net       | 167.43       |
| 724714                      | 03/03/2017      | BUTLER & ASSOCIATES PA         | 730          |
| 00000268917030              |                 | Garnishment - Pct of Net       | 9.25         |
| 724716                      | 03/03/2017      | H KENT HOLLINS ATTORNEY AT LAW | 6502         |
| 00000230317030              |                 | Garnishment - Pct of Net       | 167.44       |
| 724717                      | 03/03/2017      | H KENT HOLLINS ATTORNEY AT LAW | 6502         |
| 00000246817030              |                 | Garnishment - Pct of Net       | 100.09       |
| 724718                      | 03/03/2017      | H KENT HOLLINS ATTORNEY AT LAW | 6502         |
| 00000246817030              |                 | Garnishment - Pct of Net       | 100.08       |
| 724719                      | 03/03/2017      | H KENT HOLLINS ATTORNEY AT LAW | 6502         |
| 00000255817030              |                 | Garnishment - Pct of Net       | 231.33       |
| 724720                      | 03/03/2017      | KAHRS LAW OFFICES PA           | 2618         |
| 00000070517030              |                 | Garnishment - Pct of Net       | 306.88       |
| 724721                      | 03/03/2017      | ZIMMERMAN & ZIMMERMAN PA       | 5186         |
| 00000066717030              |                 | Garnishment - Pct of Net       | 28.00        |
| 724722                      | 03/03/2017      | ROBERT A ELLIS                 | 10738        |
| DAMAGES FOR I               | 38405           |                                | 500.00       |
| PERM R-O-W EA               | 38405           |                                | 500.00       |
| PERM R-O-W EA               | 38405           |                                | 2,115.00     |
| PERM R-O-W EA               | 38405           |                                | 500.00       |
| 724723                      | 03/03/2017      | ADVANCE STORES COMPANY INC     | 64           |
| 1649704070032               | 37348           |                                | 5.66         |
| 724724                      | 03/03/2017      | ALL SIGNS LLC                  | 122          |
| 216078                      | 34610           |                                | 14.50        |
| 724725                      | 03/03/2017      | AMEC FOSTER WHEELER            | 7704         |
| S39992077                   | 27735           |                                | 1,960.00     |
| 724726                      | 03/03/2017      | AT&T                           | 281          |
| FEBRUARY 2017 MONTHLY PHONE |                 |                                | 19,913.84    |
| 724727                      | 03/03/2017      | AT&T                           | 281          |
| 9277905308                  | LONG DISTANCE   |                                | 623.40       |
| 724728                      | 03/03/2017      | AT&T                           | 281          |
|                             |                 |                                | 709.72       |

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| 1695995031     | 37595           |                                      | 709.72       |
| 724729         | 03/03/2017      | BME INC 621                          | 26.88        |
| 146365         | 37354           |                                      | 26.88        |
| 724730         | 03/03/2017      | BUTLER ANIMAL HEALTH HOLDING 9758    | 1,336.95     |
| LC25599        | 37340           |                                      | 39.86        |
| LC33003        | 37340           |                                      | 250.45       |
| LC53595        | 37340           |                                      | 17.23        |
| LC75734        | 37340           |                                      | 162.59       |
| LC75908        | 37340           |                                      | 3.55         |
| LE20679        | 37340           |                                      | 863.27       |
| 724731         | 03/03/2017      | CENTRAL SALT LLC 8550                | 38,607.31    |
| 263827         | 37589           |                                      | 12,139.78    |
| 263936         | 37589           |                                      | 9,979.54     |
| 264034         | 37589           |                                      | 2,131.75     |
| 264120         | 37589           |                                      | 7,950.77     |
| 264241         | 37589           |                                      | 2,131.02     |
| 264434         | 37589           |                                      | 2,141.24     |
| 264630         | 37589           |                                      | 2,133.21     |
| 724732         | 03/03/2017      | CONRAD FIRE EQUIPMENT INC 1073       | 733.19       |
| 515146         | 37440           |                                      | 323.99       |
| 515151         | 37440           |                                      | 409.20       |
| 724733         | 03/03/2017      | CONSOLIDATED RURAL WATER 1076        | 1,252.00     |
| 37614 FEB 2017 | 37614           |                                      | 1,252.00     |
| 724734         | 03/03/2017      | ELLIOTT AUTO SUPPLY COMPANY 5676     | 1,147.55     |
| 8 665133       | 37414           |                                      | 24.18        |
| 8 665224       | 37414           |                                      | -49.28       |
| 8 665404       | 37414           |                                      | 182.57       |
| 8 665668       | 37455           |                                      | 210.36       |
| 8 665909       | 37414           |                                      | 30.40        |
| 8 666182       | 37455           |                                      | 336.26       |
| 8 666235       | 37414           |                                      | 122.49       |
| 8 Z04858       | 37455           |                                      | 85.99        |
| 8 Z04863       | 37455           |                                      | 204.58       |
| 724735         | 03/03/2017      | ENVIRONMENTAL RESOURCE 1546          | 1,011.11     |
| 816247         | 37564           |                                      | 1,011.11     |
| 724736         | 03/03/2017      | FINLAY AUTOMOTIVE SUPPLY INC 10237   | 73.47        |
| 047618         | 37430           |                                      | -48.96       |
| 049534         | 37430           |                                      | 2.31         |
| 049557         | 37430           |                                      | 9.56         |
| 049585         | 37430           |                                      | 102.78       |
| 050110         | 37430           |                                      | 7.78         |
| 724737         | 03/03/2017      | FISHER PARKING & SECURITY 5802       | 32,890.50    |
| 16206          | 36499           |                                      | 32,890.50    |
| 724738         | 03/03/2017      | FORMVERSE INC 10699                  | 1,950.00     |
| 161230 046     | 37290           |                                      | 1,950.00     |
| 724739         | 03/03/2017      | GALLAGHER BENEFIT SERVICES INC 10449 | 2,437.50     |
| 104825         | 38374           |                                      | 2,437.50     |
| 724740         | 03/03/2017      | HALL COMMERCIAL PRINTING 2053        | 49.50        |
| 170239         | 38015           |                                      | 49.50        |

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| 724741          | 03/03/2017      | ICE-MASTERS INC 9074               | 497.54       |
| 3099311         | 38100           |                                    | 497.54       |
| 724742          | 03/03/2017      | INSIGHT PUBLIC SAFETY AND 10731    | 1,482.43     |
| TPD01           | 38182           |                                    | 1,482.43     |
| 724743          | 03/03/2017      | JAMES L DUNLAP 2533                | 61.75        |
| 569180          | 37379           |                                    | 11.80        |
| 569193          | 37379           |                                    | 49.95        |
| 724744          | 03/03/2017      | JAYHAWK AUTO INC 2501              | 10,680.74    |
| 18138           | 37378           |                                    | 992.00       |
| 18151           | 37378           |                                    | 9,688.74     |
| 724745          | 03/03/2017      | KA-COMM INC 2615                   | 1,564.80     |
| 145047          | 37382           |                                    | 1,564.80     |
| 724746          | 03/03/2017      | KANSAS AUTOMOTIVE INC 2639         | 2,031.72     |
| 2950303         | 37448           |                                    | 414.97       |
| 2950372         | 37385           |                                    | 13.50        |
| 2950412         | 37385           |                                    | 7.09         |
| 2950607         | 37312           |                                    | 43.92        |
| 2950681         | 37385           |                                    | 4.07         |
| 2950694         | 37385           |                                    | 3.36         |
| 2950774         | 37312           |                                    | 24.00        |
| 2951116         | 37385           |                                    | 10.43        |
| 2951521         | 37312           |                                    | 3.76         |
| 2951528         | 37385           |                                    | 9.79         |
| 2951546         | 37312           |                                    | 3.74         |
| 2951578         | 37385           |                                    | 9.48         |
| 2951835         | 37312           |                                    | 17.26        |
| 2952042         | 37385           |                                    | 22.22        |
| 2952045         | 37385           |                                    | -45.00       |
| 2952092         | 37385           |                                    | 2.48         |
| 2952120         | 37316           |                                    | 41.44        |
| 2952124         | 37316           |                                    | 397.99       |
| 2952181         | 37448           |                                    | 85.90        |
| 2952375         | 37385           |                                    | 9.00         |
| 2952553         | 37316           |                                    | 12.72        |
| 2952567         | 37385           |                                    | 18.77        |
| 2952695         | 37385           |                                    | 3.88         |
| 2952902         | 37385           |                                    | 28.84        |
| 2952915         | 37385           |                                    | 10.03        |
| 2952959         | 37385           |                                    | 50.96        |
| 2953209         | 37316           |                                    | 11.71        |
| 2953239         | 37385           |                                    | 1.99         |
| 2953378         | 37448           |                                    | 94.84        |
| 2953414         | 37316           |                                    | 1.94         |
| 2953486         | 37385           |                                    | 101.32       |
| 2953576         | 37448           |                                    | 25.60        |
| 2953654         | 37385           |                                    | 8.84         |
| 2953706         | 37316           |                                    | 39.86        |
| 2953795         | 37385           |                                    | 67.00        |
| 2953824         | 37385           |                                    | 162.12       |
| 2954057         | 37385           |                                    | 11.59        |
| 2954346         | 37385           |                                    | 9.00         |
| 2954480         | 37385           |                                    | 224.00       |
| 2954628         | 37316           |                                    | 19.58        |
| 2954807         | 37316           |                                    | 13.77        |
| 2954935         | 37385           |                                    | 33.96        |
| 724747          | 03/03/2017      | KANSAS DEPT OF HEALTH & ENVIR 2674 | 800.00       |
| LC 60624 022117 | 38421           |                                    | 800.00       |



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| 724748          | 03/03/2017      | KANSAS DEPT OF HEALTH & ENVIR 2674   | 1,400.00     |
| LC 92688 022217 | 38421           |                                      | 350.00       |
| LC 92689 022117 | 38421           |                                      | 350.00       |
| LC 92690 022117 | 38421           |                                      | 350.00       |
| LC 92691 022217 | 38421           |                                      | 350.00       |
| 724749          | 03/03/2017      | KANSAS DEPT OF HEALTH & ENVIRO 2678  | 2,220.00     |
| #MKS72IO02 3/1' | 38413           |                                      | 2,220.00     |
| 724750          | 03/03/2017      | KANSAS SELF INSURERS 2748            | 525.00       |
| 012317 251      | 38375           |                                      | 525.00       |
| 724751          | 03/03/2017      | KANSAS STATE HISTORICAL 2756         | 1,500.00     |
| TAX CREDIT 131  | DE              |                                      | 1,500.00     |
| 724752          | 03/03/2017      | LAIRD NOLLER FORD INC 2939           | 1,100.60     |
| 1188240         | 37450           |                                      | 118.78       |
| 1188254         | 37390           |                                      | 54.36        |
| 1188325         | 37390           |                                      | 24.88        |
| 1188403         | 37390           |                                      | 57.92        |
| 1188477         | 37390           |                                      | 29.35        |
| 1188478         | 37390           |                                      | 189.27       |
| 1188511         | 37390           |                                      | 16.34        |
| 1188802         | 37390           |                                      | 285.27       |
| 1188911         | 37390           |                                      | 58.58        |
| 1188948         | 37390           |                                      | 10.36        |
| 1189046         | 37390           |                                      | 31.15        |
| 1189063         | 37390           |                                      | 112.60       |
| 1189070         | 37390           |                                      | 8.42         |
| 1189122         | 37390           |                                      | 3.32         |
| 8102692         | 37390           |                                      | 100.00       |
| 724753          | 03/03/2017      | LINEAGE MAILING SERVICES LLC 9223    | 1,734.93     |
| 394198          | 37335           |                                      | 1,734.93     |
| 724754          | 03/03/2017      | LOWER HEATING & A/C INC 3119         | 136.00       |
| 104335          | 37337           |                                      | 136.00       |
| 724755          | 03/03/2017      | MIDWAY SALES & DISTRIBUTING 3405     | 118.09       |
| 2058209         | 37810           |                                      | 38.89        |
| 2062011         | 37810           |                                      | 79.20        |
| 724756          | 03/03/2017      | MIKE'S FRAME SHOP INC 3423           | 2,575.81     |
| 15173           | 37394           |                                      | 2,575.81     |
| 724757          | 03/03/2017      | MISSOURI PUBLIC RISK 10278           | 100.00       |
| 38371 LANGSTO   | 38371           |                                      | 100.00       |
| 724758          | 03/03/2017      | MM EXCAVATING LLC 9938               | 12,604.60    |
| 345620          | 36961           |                                      | 1,770.00     |
| 345621          | 36568           |                                      | 1,794.00     |
| 345623          | 37272           |                                      | 9,040.60     |
| 724759          | 03/03/2017      | NAILL ENTERPRISES LTD 4931           | 96.15        |
| 7801 41         | 37616           |                                      | 96.15        |
| 724760          | 03/03/2017      | PREMIER WORKSITE SOLUTIONS LLC 10540 | 3,050.00     |
| JANUARY 2017 /  | 38536           |                                      | 3,050.00     |
| 724761          | 03/03/2017      | ROYAL PAPERS 10393                   | 389.10       |
| K792213         | 38143           |                                      | 389.10       |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.   | Check Date/PO #                       | Vendor Name and Number                               | Check Amount                              |
|---|---------------------------------------|--|---|
| 724762<br>007793  | 03/03/2017<br>37987                   | SAMS CLUB<br>4357                                    | 159.20<br><b>159.20</b>                   |
| 724763<br>SB988813<br>SW127923                            | 03/03/2017<br>37597<br>37597          | SBC GLOBAL SERVICES INC<br>286                       | 6,607.65<br>1,130.23<br><b>7,737.88</b>   |
| 724764<br>2017 FEB CITYO                                  | 03/03/2017<br>38373                   | SCOTT HR LLC<br>8542                                 | 1,453.60<br><b>1,453.60</b>               |
| 724765<br>000018W497536<br>0000693358087<br>0000693358526 | 03/03/2017<br>33781<br>37535<br>33250 | UNITED PARCEL SERVICE INC<br>5140                    | 24.82<br>314.14<br>21.69<br><b>360.65</b> |
| 724766<br>38504 PERMIT 38                                 | 03/03/2017<br>38504                   | UNITED STATES POSTAL SERVICE<br>5150                 | 225.00<br><b>225.00</b>                   |
| 724767<br>2884  | 03/03/2017<br>38372                   | WASHBURN UNIVERSITY OF TOPEKA<br>5312                | 100.00<br><b>100.00</b>                   |
| 724768<br>0000106366                                      | 03/03/2017<br>38533                   | WESTAR ENERGY INC<br>5376                            | 33,755.40<br><b>33,755.40</b>             |
| 724804<br>00000065817030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 144.00<br><b>144.00</b>                   |
| 724805<br>00000006717030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 94.62<br><b>94.62</b>                     |
| 724806<br>00000119217030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 63.70<br><b>63.70</b>                     |
| 724807<br>00000067717030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 484.61<br><b>484.61</b>                   |
| 724808<br>00000238517030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 36.92<br><b>36.92</b>                     |
| 724809<br>00000004417030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 87.69<br><b>87.69</b>                     |
| 724810<br>00000100917030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 138.46<br><b>138.46</b>                   |
| 724811<br>00000015217030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 183.69<br><b>183.69</b>                   |
| 724812<br>00000254717030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 55.38<br><b>55.38</b>                     |
| 724813<br>00000237917030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 130.00<br><b>130.00</b>                   |
| 724814<br>00000029717030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 207.69<br><b>207.69</b>                   |
| 724815<br>00000229617030                                  | 03/03/2017                            | CHAPTER 13 TRUSTEE<br>Bankruptcy - Amt 26 PP<br>2494 | 120.00<br><b>120.00</b>                   |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.      | Check Date/PO # | Vendor Name and Number               | Check Amount |
|----------------|-----------------|--------------------------------------|--------------|
| 724816         | 03/03/2017      | FAMILY SUPPORT PAYMENT CENTER 6780   | 307.85       |
| 00000241017030 |                 | Child Support - Amt                  | 307.85       |
| 724817         | 03/03/2017      | FAMILY SUPPORT PAYMENT CENTER 6780   | 188.31       |
| 00000258817030 |                 | Child Support - Amt                  | 188.31       |
| 724818         | 03/03/2017      | FRATERNAL ORDER OF POLICEMEN 1773    | 9,344.51     |
| UNF1170303141  |                 | Union Dues - FOP                     | 77.76        |
| UNF1170303141  |                 | Union Dues - FOP                     | 9,266.75     |
| 724819         | 03/03/2017      | ILLINOIS STUDENT ASSISTANCE 9196     | 315.19       |
| 00000035417030 |                 | Student Loan Federal - Pct           | 315.19       |
| 724820         | 03/03/2017      | KANSAS DEPARTMENT OF REVENUE 6574    | 126.07       |
| 00000111617030 |                 | Tax Levy State - Amount              | 126.07       |
| 724821         | 03/03/2017      | PIONEER CREDIT RECOVERY INC 3940     | 233.06       |
| 00000215517030 |                 | Student Loan Federal - Pct           | 233.06       |
| 724822         | 03/03/2017      | OFFICE OF THE ATTORNEY GENERAL 10437 | 92.31        |
| 00000265317030 |                 | Child Support - Amt                  | 92.31        |
| 724823         | 03/03/2017      | UNITED STATES GOVERNMENT 9489        | 155.37       |
| 00000215517030 |                 | Student Loan Federal - Pct           | 155.37       |
| 724824         | 03/03/2017      | UNITED STATES TREASURY 5156          | 219.24       |
| 00000111617030 |                 | Tax Levy Federal - Amount            | 219.24       |
| 724825         | 03/03/2017      | UNITED STATES TREASURY 5156          | 1,456.55     |
| 00000109317030 |                 | Tax Levy Federal - Pct               | 1,456.55     |
| 724826         | 03/03/2017      | WILLIAM GRIFFIN CHAPTER 5446         | 2,145.24     |
| 00000055617030 |                 | Bankruptcy - Amt 26 PP               | 2,145.24     |
| 724827         | 03/03/2017      | WILLIAM GRIFFIN CHAPTER 5446         | 1,246.16     |
| 00000041317030 |                 | Bankruptcy - Amt 26 PP               | 1,246.16     |
| 724828         | 03/03/2017      | WILLIAM GRIFFIN CHAPTER 5446         | 692.31       |
| 00000080117030 |                 | Bankruptcy - Amt 26 PP               | 692.31       |
| 724829         | 03/03/2017      | APPLIED INDUSTRIAL 245               | 607.64       |
| 7009817496     | 37582           |                                      | 577.67       |
| 7009817622     | 37582           |                                      | 29.97        |
| 724830         | 03/03/2017      | CAPITOL CONCRETE PRODUCTS INC 789    | 1,161.04     |
| 90126995       | 38130           |                                      | 1,161.04     |
| 724831         | 03/03/2017      | FASTENAL COMPANY 1619                | 57.39        |
| KSTOP237571    | 37364           |                                      | 5.67         |
| KSTOP237594    | 37557           |                                      | 47.61        |
| KSTOP237633    | 37364           |                                      | 4.11         |
| 724832         | 03/03/2017      | GRAINGER 1964                        | 116.64       |
| 9353175210     | 38090           |                                      | 116.64       |
| 724833         | 03/03/2017      | KANSAS SAND & CONCRETE 2744          | 4,664.75     |
| 90126535       | 37479           |                                      | 1,620.00     |
| 90126544       | 37479           |                                      | 437.50       |
| 90126545       | 37838           |                                      | 442.25       |
| 90126657       | 37479           |                                      | 540.00       |
| 90126902       | 37479           |                                      | 312.50       |
| 90127080       | 37479           |                                      | 687.50       |

# COUNCIL REPORT OF VENDOR PAYMENTS

Between 2/4/2017 and 3/3/2017

| Check No.                | Check Date/PO # | Vendor Name and Number              | Check Amount  |
|--------------------------|-----------------|-------------------------------------|---------------|
| 90127081                 | 37479           |                                     | 625.00        |
| 724834                   | 03/03/2017      | KEY REFRIGERATION SUPPLY LLC 2848   | 1,462.00      |
| 4191499 00               | 37577           |                                     |               |
| 724835                   | 03/03/2017      | MIDWEST MOTOR SUPPLY CO INC 2854    | 591.09        |
| 5447924                  | 37963           |                                     |               |
| 724836                   | 03/03/2017      | ROACH HARDWARE 4230                 | 88.08         |
| 124473 2/6/17            | 37492           |                                     | 25.98         |
| 124506                   | 37492           |                                     | 34.68         |
| 124558                   | 37492           |                                     | 4.29          |
| 124573                   | 37492           |                                     | 9.95          |
| 124625                   | 37492           |                                     | 13.18         |
| 724837                   | 03/03/2017      | SAMCO INC 4355                      | 2,011.91      |
| SVC05401                 | 38094           |                                     | 595.56        |
| SVC06062                 | 38102           |                                     | 657.85        |
| SVC06063                 | 38095           |                                     | 688.50        |
| SVC06103                 | 37961           |                                     | 70.00         |
| 724838                   | 03/03/2017      | SOLOMON CORPORATION 4654            | 3,982.95      |
| 288006                   | 37962           |                                     |               |
| 724839                   | 03/03/2017      | CONOCO 10749                        | 59.00         |
| CR 2003 001475           | DB DUNBAR       |                                     |               |
| 724840                   | 03/03/2017      | COX COMMUNICATIONS 7748             | 100.00        |
| CR 2015 000795           | DAVID T GAINES  |                                     |               |
| 724841                   | 03/03/2017      | FULTZ, ROBERT 9448                  | 25.00         |
| CR 2013 001413           | JOHN W COLLINS  |                                     |               |
| 724842                   | 03/03/2017      | ANDERSON, GILLIAN N 8216            | 10.81         |
| CR 2011 001005           | MAXIE A HAVENS  |                                     |               |
| 724843                   | 03/03/2017      | HOWLAND, BRIAN R 10281              | 50.00         |
| CR 2015 000160           | AARON M COWDIN  |                                     |               |
| 724844                   | 03/03/2017      | KANSAS BUREAU OF INVESTIGATION 2646 | 562.95        |
| CR 2006 000519           | ND CAIRNS       |                                     | 57.95         |
| CR 2007 001520           | MJ DAVIS        |                                     | 30.00         |
| CR 2010 000416           | TM BOYER        |                                     | 400.00        |
| CR 2013 001104           | TRACY A READY   |                                     | 25.00         |
| CR 2016 000873           | J LRK BAYLESS   |                                     | 50.00         |
| 724845                   | 03/03/2017      | LIVINGSTON, LYNNISE M 10751         | 500.00        |
| CR 2003 001093           | WD HARRIS       |                                     |               |
| 724846                   | 03/03/2017      | PARCELLS, PATRICIA 10748            | 210.00        |
| CR 2004 003276           | GJ STOVER       |                                     |               |
| 724847                   | 03/03/2017      | PEPSI-COLA BOTTLING CO 10750        | 100.00        |
| CR 2001 006581           | DB DUNBAR       |                                     |               |
| 724848                   | 03/03/2017      | WALMART RESTITUTION RECOVERY 6534   | 257.50        |
| CR 2008 000170           | PC LAW III      |                                     | 244.00        |
| CR 2016 000849           | NYVONN K JONES  |                                     | 13.50         |
| Total for Check Payments |                 |                                     | 2,152,279.40  |
| TOTAL OF PAYMENTS        |                 |                                     | 20,133,819.49 |

# Payment Listing

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CB255 Date: 03/07/17  
Time: 16:49

JOB SUBMISSION PARAMETERS

User Name: INFORBC\kjohnson  
Job Name: CB255KEJ2  
Step Nbr: 1

Cash Code: 07 US BANK OPERATING ACCT  
or Cash Code Group:

Transaction Code: SYS AP SYSTEM PAYMENT  
Check Date: 020417 - 030317  
Check Nbr: -  
Company: 1 CITY OF TOPEKA

Transaction Status: P Paid  
Report Sequence: C By Transaction Code  
Detail Option: Summary

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# Payment Listing

CB255 Date 03/07/17  
Time 16:49

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Payment Listing  
Cash Code 07 US BANK OPERATING ACCT  
By Transaction Code (Status: Paid )

Transaction Code SYS AP SYSTEM PAYMENT

| Reference<br>Number | Payment<br>Nbr | Co. | Post<br>Date | Pay<br>Date | Void<br>Date | Amount  | Status     | Payee Name           | Pay<br>Group | Proc<br>Grp |
|---------------------|----------------|-----|--------------|-------------|--------------|---------|------------|----------------------|--------------|-------------|
| BERKLEY CH          | 724458         | 1   | 02/06/17     | 02/10/17    |              | 18.14   | Historical | CHRISTINE M BERKLEY  | COT          |             |
| BOYD RANON          | 724459         | 1   | 02/06/17     | 02/10/17    |              | 40.65   | Historical | RANONA K BOYD        | COT          |             |
| BREES LERO          | 724460         | 1   | 02/07/17     | 02/10/17    |              | 2242.00 | Historical | LEROY BREES          | COT          |             |
| HOFFMAN/WH          | 724461         | 1   | 02/06/17     | 02/10/17    |              | 2000.00 | Historical | DONALD HOFFMAN       | COT          |             |
| LESTER STE          | 724462         | 1   | 02/06/17     | 02/10/17    |              | 30.00   | Historical | STEPHEN LESTER       | COT          |             |
| BEACH JAME          | 724463         | 1   | 02/06/17     | 02/10/17    |              | 175.00  | Historical | JAMES C BEACH        | COT          |             |
| BRATT KEVI          | 724464         | 1   | 01/21/17     | 02/10/17    |              | 42.43   | Historical | KEVIN BRATT          | COT          |             |
| APPLETON V          | 724465         | 1   | 02/02/17     | 02/10/17    |              | 11.20   | Historical | VERNON RAE KIRK APPL | COT          |             |
| CORDONNIER          | 724466         | 1   | 02/02/17     | 02/10/17    |              | 14.77   | Historical | TIMMOTHY CORDONNIER  | COT          |             |
| DIXON JOSE          | 724467         | 1   | 01/30/17     | 02/10/17    |              | 16.52   | Historical | JOSEPH W DIXON       | COT          |             |
| GARINGER A          | 724468         | 1   | 01/31/17     | 02/10/17    |              | 10.00   | Historical | AMY MICHELLE GARINGE | COT          |             |
| GONZALES C          | 724469         | 1   | 01/30/17     | 02/10/17    |              | 278.00  | Historical | CHRISTINA DIANNE GON | COT          |             |
| GORACKE KE          | 724470         | 1   | 01/27/17     | 02/10/17    |              | 10.00   | Historical | KELLY L GORACKE      | COT          |             |
| MARTINEZ E          | 724471         | 1   | 01/25/17     | 02/10/17    |              | 31.59   | Historical | ELEXA J MARTINEZ     | COT          |             |
| SHEWEY BRA          | 724472         | 1   | 01/24/17     | 02/10/17    |              | 1000.00 | Historical | BRAUN M SHEWEY       | COT          |             |
| THOMAS RON          | 724473         | 1   | 01/30/17     | 02/10/17    |              | 207.82  | Historical | RONALD THOMAS JR     | COT          |             |
| VANOUS HEA          | 724474         | 1   | 01/25/17     | 02/10/17    |              | 87.95   | Historical | HEATHER KAYE VANOUS  | COT          |             |
| WOOD JOSHU          | 724475         | 1   | 01/25/17     | 02/10/17    |              | 61.00   | Historical | JOSHUA L WOOD        | COT          |             |
| WRIGHT DAM          | 724476         | 1   | 01/21/17     | 02/10/17    |              | 15.00   | Historical | DAMIEN R WRIGHT      | COT          |             |
| ENGELL THO          | 724477         | 1   | 01/27/17     | 02/10/17    |              | 100.00  | Historical | THOMAS JAMES ENGELL  | COT          |             |
| FLACH STEV          | 724478         | 1   | 01/26/17     | 02/10/17    |              | 75.00   | Historical | STEVEN D FLACH       | COT          |             |
| PEREZ KARI          | 724479         | 1   | 01/23/17     | 02/10/17    |              | 100.00  | Historical | KARINA ELENA PEREZ   | COT          |             |
| WISCHROPP           | 724480         | 1   | 01/17/17     | 02/10/17    |              | 247.00  | Historical | KOLBY JOE WISCHROPP  | COT          |             |
| EBERHART J          | 724481         | 1   | 01/31/17     | 02/10/17    |              | 81.00   | Historical | JASON WILLIAM EBERHA | COT          |             |
| ZEPEDA RUB          | 724482         | 1   | 02/01/17     | 02/10/17    |              | 66.50   | Historical | RUBI ZEPEDA          | COT          |             |
| GARINGER A          | 724483         | 1   | 01/27/17     | 02/10/17    |              | 10.00   | Historical | AMY MICHELLE GARINGE | COT          |             |
| GARINGER A          | 724484         | 1   | 01/27/17     | 02/10/17    |              | 10.00   | Historical | AMY MICHELLE GARINGE | COT          |             |
| SIEFERS DA          | 724485         | 1   | 01/20/17     | 02/10/17    |              | 10.00   | Historical | DAVE SIEFERS         | COT          |             |
| FREE STATE          | 724571         | 1   | 02/13/17     | 02/17/17    |              | 41.93   | Historical | FREE STATE HOMES LLC | COT          |             |
| THE GROOVE          | 724572         | 1   | 02/13/17     | 02/17/17    |              | 500.00  | Historical | THE GROOVE SHACK     | COT          |             |
| LINDSEY MA          | 724573         | 1   | 02/08/17     | 02/17/17    |              | 328.86  | Historical | MAGGIE ELAINE LINDSE | COT          |             |
| ORTEGA CHR          | 724574         | 1   | 02/07/17     | 02/17/17    |              | 5.00    | Historical | CHRISTOPHER T ORTEGA | COT          |             |
| ROOKSTOOL           | 724575         | 1   | 02/13/17     | 02/17/17    |              | 19.67   | Historical | JOSHUA E ROOKSTOOL   | COT          |             |
| TILLMAN AS          | 724576         | 1   | 02/06/17     | 02/17/17    |              | 91.53   | Historical | ASHLEY A TILLMAN     | COT          |             |
| JACKSON AN          | 724577         | 1   | 02/02/17     | 02/17/17    |              | 121.00  | Historical | ANTHONY TYRONE JACKS | COT          |             |
| KOLBEK MAT          | 724578         | 1   | 02/07/17     | 02/17/17    |              | 225.00  | Historical | MATTHEW JON KOLBEK   | COT          |             |
| BARRETT AU          | 724579         | 1   | 02/02/17     | 02/17/17    |              | 10.00   | Historical | AURORA BARRETT       | COT          |             |
| SLIFER JEN          | 724580         | 1   | 02/03/17     | 02/17/17    |              | 145.89  | Historical | JENNIFER MAY SLIFER  | COT          |             |
| 1236 QUINC          | 724683         | 1   | 02/16/17     | 02/24/17    |              | 3001.94 | Historical | MOISES SUAREZ        | COT          |             |
| 705 BRANNE          | 724684         | 1   | 02/16/17     | 02/24/17    |              | 5250.00 | Historical | SIGLOW PROPERTY MANA | COT          |             |
| 300 CALIFO          | 724685         | 1   | 02/16/17     | 02/24/17    |              | 1800.00 | Historical | HECTOR SOLIS         | COT          |             |
| MATTHEWS M          | 724686         | 1   | 02/17/17     | 02/24/17    |              | 20.00   | Historical | MICKEY MATTHEWS      | COT          |             |
| SAUCIER FO          | 724687         | 1   | 02/16/17     | 02/24/17    |              | 32.55   | Historical | FORREST J SAUCIER    | COT          |             |
| GRUBB ANDR          | 724688         | 1   | 02/14/17     | 02/24/17    |              | 185.26  | Historical | ANDREW JOHN GRUBB    | COT          |             |
| GILBERT GA          | 724769         | 1   | 02/23/17     | 03/03/17    |              | 54.66   | Historical | GARY GILBERT         | COT          |             |
| HAYNES ANT          | 724770         | 1   | 02/23/17     | 03/03/17    |              | 79.26   | Historical | ANTHONY L HAYNES     | COT          |             |
| HOLDEN ADA          | 724771         | 1   | 02/23/17     | 03/03/17    |              | 69.69   | Historical | ADAM C HOLDEN        | COT          |             |
| LIZZOL ANA          | 724772         | 1   | 02/23/17     | 03/03/17    |              | 15.49   | Historical | ANASTASIA M LIZZOL   | COT          |             |
| AUGUSTINE           | 724773         | 1   | 02/27/17     | 03/03/17    |              | 166.76  | Historical | FALANA AUGUSTINE     | COT          |             |

# Payment Listing

CB255 Date 03/07/17  
Time 16:49

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Payment Listing  
Cash Code 07 US BANK OPERATING ACCT  
By Transaction Code (Status: Paid )

Transaction Code SYS AP SYSTEM PAYMENT

| Reference<br>Number | Payment<br>Nbr | Co. | Post<br>Date | Pay<br>Date | Void<br>Date | Amount    | Status     | Payee Name           | Pay<br>Group | Proc<br>Grp |
|---------------------|----------------|-----|--------------|-------------|--------------|-----------|------------|----------------------|--------------|-------------|
| CARTER RE           | 724774         | 1   | 02/27/17     | 03/03/17    |              | 84.57     | Historical | CARTER REALTY        | COT          |             |
| CARTER REA          | 724775         | 1   | 02/27/17     | 03/03/17    |              | 18.85     | Historical | CARTER REALTY        | COT          |             |
| COX ANGELA          | 724776         | 1   | 02/27/17     | 03/03/17    |              | 122.98    | Historical | ANGELA M COX         | COT          |             |
| CROCO ROAD          | 724777         | 1   | 02/27/17     | 03/03/17    |              | 146.54    | Historical | CROCO ROAD CENTER LL | COT          |             |
| GARDNER MI          | 724778         | 1   | 02/27/17     | 03/03/17    |              | 596.50    | Historical | MICHAEL T GARDNER    | COT          |             |
| HERNANDEZ           | 724779         | 1   | 02/27/17     | 03/03/17    |              | 117.78    | Historical | EDWARD J HERNANDEZ   | COT          |             |
| ROHR CHRIS          | 724780         | 1   | 02/27/17     | 03/03/17    |              | 475.35    | Historical | CHRISTOPHER J ROHR   | COT          |             |
| SHRIMPLIN           | 724781         | 1   | 02/27/17     | 03/03/17    |              | 24.14     | Historical | KATI SHRIMPLIN       | COT          |             |
| SPELLMEIER          | 724782         | 1   | 02/27/17     | 03/03/17    |              | 46.47     | Historical | KEITH B SPELLMEIER   | COT          |             |
| WARREN CAR          | 724783         | 1   | 02/27/17     | 03/03/17    |              | 76.09     | Historical | CARRIE K WARREN      | COT          |             |
| BROOKS RAS          | 724784         | 1   | 02/17/17     | 03/03/17    |              | 136.72    | Historical | RASHAWN DASUAN LANAE | COT          |             |
| COPELAND C          | 724785         | 1   | 02/21/17     | 03/03/17    |              | 200.00    | Historical | COLE LOGAN COPELAND  | COT          |             |
| MURREN III          | 724786         | 1   | 02/13/17     | 03/03/17    |              | 100.00    | Historical | RICHARD BLAKESLEY MU | COT          |             |
| SHEDRICK M          | 724787         | 1   | 02/15/17     | 03/03/17    |              | 1126.00   | Historical | MICHAEL GEORGE SHEDR | COT          |             |
| VARGAS HOL          | 724788         | 1   | 02/17/17     | 03/03/17    |              | 169.00    | Historical | HOLLY LEA VARGAS     | COT          |             |
| VILLALVA R          | 724789         | 1   | 02/23/17     | 03/03/17    |              | 1174.00   | Historical | RICARDO LORENZO VILL | COT          |             |
| ANGUIANO R          | 724790         | 1   | 02/23/17     | 03/03/17    |              | 21.10     | Historical | RACHEL MAKALIA ANGUI | COT          |             |
| BREWER JAC          | 724791         | 1   | 02/23/17     | 03/03/17    |              | 16.20     | Historical | JACQUELYNN ROSE BREW | COT          |             |
| FANTI-DAWS          | 724792         | 1   | 02/22/17     | 03/03/17    |              | 26.00     | Historical | CHRISTINE M FANTI-DA | COT          |             |
| FRANKLIN-S          | 724793         | 1   | 02/24/17     | 03/03/17    |              | 18.00     | Historical | YOLANDA YVETTE FRANK | COT          |             |
| GASTON LAT          | 724794         | 1   | 02/23/17     | 03/03/17    |              | 112.52    | Historical | LATISHA MARIE GASTON | COT          |             |
| HERNANDEZ           | 724795         | 1   | 02/13/17     | 03/03/17    |              | 10.00     | Historical | BRIAN LUIS HERNANDEZ | COT          |             |
| JOHNSON SH          | 724796         | 1   | 02/14/17     | 03/03/17    |              | 11.00     | Historical | SHAWN LUKE JOHNSON   | COT          |             |
| JOHNSON ST          | 724797         | 1   | 02/02/17     | 03/03/17    |              | 19.09     | Historical | STARRLA MARIE JOHNSO | COT          |             |
| LLOYD DELO          | 724798         | 1   | 02/23/17     | 03/03/17    |              | 25.00     | Historical | DELORA L LLOYD       | COT          |             |
| MACK BRAND          | 724799         | 1   | 02/23/17     | 03/03/17    |              | 113.74    | Historical | BRANDON E MACK       | COT          |             |
| NESBITT RO          | 724800         | 1   | 02/23/17     | 03/03/17    |              | 221.99    | Historical | ROBERT K NESBITT SR  | COT          |             |
| SOLIS ELIA          | 724801         | 1   | 02/23/17     | 03/03/17    |              | 25.00     | Historical | ELIAS SOLIS          | COT          |             |
| WILSON JEA          | 724802         | 1   | 02/24/17     | 03/03/17    |              | 727.93    | Historical | JEANETTE MARIE WILSO | COT          |             |
| FACKLER RO          | 724803         | 1   | 01/06/17     | 03/03/17    |              | 10.00     | Historical | ROBERT FACKLER       | COT          |             |
| SNDC-DAVIS          | 724849         | 1   | 03/03/17     | 03/03/17    |              | 434220.01 | Historical | SHAWNEE OUNTY DISTRI | COT          |             |

Transaction Code SYS Total 459348.63

Cash Code 07 Total 459348.63

Report Total 459348.63

\*\*\* REPORT COMPLETED \*\*\*



**City of Topeka**  
**Council Action Form**  
**Council Chambers**  
**214 SE 8th Street**  
**Topeka, Kansas 66603**  
**www.topeka.org**  
March 21, 2017

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**DATE:** March 21, 2017  
**CONTACT PERSON:** Lisa Robertson, City Attorney      **DOCUMENT #:**  
**SECOND PARTY/SUBJECT:** Downtown Plaza - TGT Development Agreement      **PROJECT #:**  
**CATEGORY/SUBCATEGORY**  
**CIP PROJECT:** No  
**ACTION OF COUNCIL:** Discussion. 03-14-17      **JOURNAL #:**  
**PAGE #:**

---

**DOCUMENT DESCRIPTION:**

**APPROVAL of a Development Agreement between the City of Topeka and the Downtown Topeka Foundation, a not for profit corporation.**

*(Approval would grant transient guest tax (TGT) funding in the total amount of \$3,450,000 for distribution, in accordance with the terms of the Development Agreement, over the course of the next 12 years.)*

**POLICY ISSUE:**

The Development Agreement is required by Resolution No. 8730 and provides the outline pursuant to which the Transient Guest Tax (TGT) funds allocated to the Downtown Plaza project by the TGT Committee in August 2015 (in the amount of \$3,435,000) will be utilized in order for the project to move forward.

**STAFF RECOMMENDATION:**

Staff recommends the Governing Body move to approve the agreement.

**BACKGROUND:**

On October 20, 2015, the Governing Body approved resolutions granting transient guest tax (TGT) funding to Constitution Hall, the Downtown Plaza, the Evel Knievel Museum and the Historic Jayhawk Theatre. The funding was contingent upon submission of a development agreement to the Governing Body by April 20, 2016. On April 12, 2016, the Downtown Topeka Foundation, Inc. requested that the Governing Body grant it an extension of time (in accordance with the terms of Resolution No. 8730). The Governing Body granted an initial extension of 180 days. Prior to the expiration of this time period, the Downtown Topeka Foundation requested an additional for the purpose of finalizing budgetary and other related information. This Development Agreement is being proposed within the most recent (180-day) extension period, which was approved by the Governing Body on October 4, 2016 and set to expire on April 4, 2017.



**BUDGETARY IMPACT:**

If the Development Agreement with the Downtown Topeka Foundation is approved, transient guest tax (TGT) funding in the total amount of \$3,450,000 would become available for distribution, in accordance with the terms of the Development Agreement, over the course of the next 12 years.

**SOURCE OF FUNDING:**

Transient Guest Tax funds

**ATTACHMENTS:****Description**

Development Agreement

Resolution No. 8730

CITY OF TOPEKA CONTRACT NO. \_\_\_\_\_

**DEVELOPMENT AGREEMENT**

THIS DEVELOPMENT AGREEMENT (hereinafter the "Agreement") is hereby made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2017, by and between the City of Topeka, a duly organized municipal corporation (hereinafter the "City") and the Downtown Topeka Foundation, a not for profit corporation (hereinafter the "Foundation").

WHEREAS, transient guest taxes (hereinafter "TGT") may be imposed on individuals who occupy hotel and motel rooms for short durations; and

WHEREAS, the funds generated by the TGT may be used for convention and tourism activities and to promote the general welfare of the City, including the attraction of industry; and

WHEREAS, the City currently imposes a Seven Percent (7%) TGT; and

WHEREAS, on August 30, 2003, the governing body of the City of Topeka (hereinafter "Governing Body"), via Resolution No. 7253, allocated One Percent (1%) of the TGT for a period of thirteen (13) years for projects that enhance the rich historical heritage of the City and the development of the Great Overland Station, including Riverfront Park; and

WHEREAS, the Governing Body desires to extend this allocation of One Percent (1%) for an additional twelve (12) years to serve as a funding source for projects that will enhance tourism by attracting more people to Topeka and delivering a quantifiable return on the City's investment; and

25 WHEREAS, the City's Transient Guest Tax Committee (hereinafter "TGT  
26 Committee"), consisting of Council Members Coen, Jensen, and Schwartz, appointed a  
27 review board for the purpose of conducting a review of the various applications  
28 submitted and recommending which projects should receive TGT funds; and

29 WHEREAS, the review board, comprised of City staff and representatives from  
30 the convention and tourism industry, met on several occasions and presented its  
31 recommendations to the TGT Committee; and

32 WHEREAS, on August 19, 2015, the TGT Committee adopted the review board's  
33 recommendation to allocate the anticipated funding – approximately Four Million Seven  
34 Hundred Thousand Dollars (\$4,700,000.00) from January 1, 2016 through December  
35 31, 2027 – for four projects; and

36 WHEREAS, the Topeka Lodging Association, as an interested community  
37 partner, submitted an application for funding a plaza in downtown Topeka and the  
38 Foundation has agreed to coordinate development efforts associated with such a plaza  
39 and has established a Project Development Committee;

40 WHEREAS, the downtown plaza was one of the projects selected by the review  
41 board to receive TGT funds; and

42 WHEREAS, on October 20, 2015, the Governing Body allocated Three Million  
43 Four Hundred Thirty-Five Thousand Dollars (\$3,435,000.00) over a period of twelve  
44 years to provide funding subject to the terms and conditions contained in Resolution No.  
45 8730 and a development agreement approved by the Governing Body; and

46 WHEREAS, the parties desire to enter into this Agreement for the purpose of  
47 specifying the rights and responsibilities relating to developing and operating a

downtown plaza and the corresponding disbursement of TGT funds in accordance with the specific requirements set forth in this Agreement, Resolution No. 8730 and any applicable provisions of the Topeka Municipal Code.

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS CONTAINED HEREIN THE PARTIES AGREE AS FOLLOWS:

1. **Funding Allocation; Use and Distribution.** Subject to the terms and conditions contained in this Agreement and in Resolution No. 8730, the City will allocate the total amount of Three Million Four Hundred Thirty-Five Thousand Dollars (\$3,435,000.00), (hereinafter “Allocated Funds”) for the project known as the Topeka Downtown Plaza (hereinafter “Project” or “Plaza”). Said Project is more fully described in the supporting documentation submitted by the Foundation, (hereinafter “Project Documents”), which are attached hereto as ***Exhibit A*** and incorporated herein by reference. Upon approval of each annual budget by the Governing Body, the City’s chief financial officer (or his/her designee) will determine the appropriate amount based upon estimated revenues for the coming year.

(a) **Use.** The Allocated Funds may be used to cover costs associated with land acquisition; architectural and engineering services; construction; acquisition and installation of associated Plaza facilities and equipment; improvements to streets and rights of way; and other related improvements. The Allocated Funds shall be used exclusively for the Project. Any changes to the scope of the Project pertaining to the use of Allocated Funds must be approved by the City Manager, or his/her designee. Four phases of Project development, together with estimated costs, are described below. These costs include

estimates for professional fees, permits, interest and other soft costs.

(i) Phase 1: Land; Pre-Construction – \$2,190,445. This includes the cost of land acquisition, professional and consulting fees, bank fees and pre-construction interest.

(ii) Phase 2: Construction – \$2,901,503. This includes the cost of demolition, site preparation and installation of utility infrastructure for the Plaza. This estimate also includes paving, landscaping and seating and stage construction.

(iii) Phase 3: Plaza Facilities & Equipment – \$2,543,698. This includes various facilities and equipment to be installed as part of the Plaza. These facilities will include water features, architectural effect lighting, sound and audio visual systems, public art and permanent infrastructure for temporary ice rink installations.

(iv) Phase 4: ROW; North Buildings – \$1,006,728. This includes rights-of-way (ROW) improvements consisting of enhancements to property directly adjacent to the Plaza (sidewalks; land strips and parking along Kansas Avenue and 7<sup>th</sup> Street; and the north-south alley on the east edge of the Plaza site). This ROW property will be improved to allow for temporary conversion of the streets into functional space to complement Plaza activities. While many of the current building structures will be demolished, current plans call for the buildings on the north end of the site to remain. These will be developed into facilities that complement the Plaza and will provide leasable space producing revenue to help

support the Plaza operation. The leasable space would be available for such businesses as restaurants and snack bars and can include public restrooms and an information booth to promote Topeka's numerous attractions including trails, sports venues and historic landmarks.

(v) Total Project Development Cost – \$8,642,373.

(b) Distribution. The Allocated Funds will be distributed over a twelve (12)-year period from funds collected during fiscal year 2016 and continuing through fiscal year 2027, or until the maximum expenditure amount of Three Million Four Hundred Thirty-Five Thousand Dollars (\$3,435,000.00) has been met, whichever is earlier. An initial distribution of Allocated Funds shall be made immediately after approval and subsequent execution of this Agreement and will be distributed on a quarterly basis thereafter. Each distribution shall be based upon the percentage of allocation approved by the TGT Committee; approximately Seventy-Two Percent (72%) of the funds generated by the One Percent (1%) tax authorized by Resolution NO. 8730.

(c) Reporting. In order to ensure that the Allocated Funds distributed are used only for the Project and as specified in this Agreement, the Foundation shall provide quarterly progress reports to the City's Director of Finance and Administrative Services, in a form acceptable to the City, identifying the manner in which the Allocated Funds are being expended toward completion of the Project. Said reports must be submitted quarterly (prior to each quarterly distribution), until either the Project has been completed or the Allocated Funds have been depleted, whichever occurs first. The City reserves the right to audit

financial documents relative to the Project at any time during this Agreement and to request reimbursement for expenditures determined to be improper, unauthorized or unsubstantiated. The City shall have sole authority in this regard and shall base its decision upon reports submitted or, in the alternative, the absence of documents to substantiate expenditures.

(d) Land Acquisition. All land acquired for the Project has been titled in the name of the Foundation and designated for the development of the Plaza. Title of the property has been filed in the office of the Shawnee County Register of Deeds in Book \_\_\_\_\_, Page \_\_\_\_\_.

**2. Project Timeline; Design and Construction Standards.**

(a) Project Timeline. The City Manager, or his/her designee, will monitor deadlines and ensure that the Project milestones established for each of the phases set forth in Section 1(a) above are adhered to. This will include documentation demonstrating that the Project is on schedule and/or proceeding in a timely manner considering all of the facts and circumstances involved. The Foundation will provide: (i) design and construction documents for the Project to the City's Director of Public Works, with a copy to the City's Director of Finance and Administrative Services; (ii) Project Construction Status Reports to the City Manager, or his/her designee, regarding the construction progress every ninety (90) calendar days after the commencement of the construction phase; and (iii) any additional information demonstrating that the Project is on schedule and/or proceeding in a timely manner considering all of the facts and circumstances involved.

(b) Design and Construction Standards. All Project design and construction must be done in accordance with applicable City standards and the Foundation shall endeavor to solicit professionals and contractors in a competitive manner.

**3. Project Operating Plan; Economic Benefits, Impact.** Continuing distribution of the Allocated Funds will be contingent upon the Foundation's submission of, and subsequent compliance with, an Operating Plan for the Project identifying the Project's tourism support strategy, an operating budget and the anticipated economic impact of the Project, including documentation demonstrating that the Project is progressing in a manner geared toward generating an economic benefit to the community considering all of the facts and circumstances involved (see ***Exhibit A***). The Foundation will provide this Operating Plan to the City Manager, or his/her designee, prior to the conclusion of Phase 1, as more specifically described in Section 1(a)(i) above.

**4. Downtown Plaza Operations; Reporting Requirements.** Upon the City's execution of this Agreement, the Foundation shall enter into a separate management and operational agreement with Visit Topeka, Inc., (hereinafter "Visit Topeka"), which will set forth the specific terms and conditions pursuant to which Visit Topeka will manage the ongoing operation of the Project. This separate agreement will require Visit Topeka to submit to the Foundation an annual Operations Status Report; the first of which will be submitted twelve (12) months following the ribbon cutting ceremony signifying completion of the Plaza and the beginning of Plaza operations.



163           **5.     Independent Auditor's Report.** Upon request by the Governing Body,  
164 the Foundation shall provide to the City an independent auditor's report covering the  
165 period of this Agreement. The cost of such an audit shall be borne by the Project.

166           **6.     Inspection and Audit of Foundation's Records.** The City, through its  
167 authorized agents, shall be entitled to inspect and audit the books and records of the  
168 Foundation related to the Project for compliance with the terms of this Agreement. The  
169 Foundation shall cooperate fully with all such inspection and audit requests.

170           **7.     Project Completion.** The Foundation shall complete the Project within no  
171 later than twelve (12) years following the date of execution of this Agreement. Any  
172 request for an extension of time shall be submitted to the City Manager, who shall  
173 submit the request to the TGT Committee. The TGT Committee, after providing the  
174 Foundation with the opportunity to be heard, will make a recommendation to the  
175 Governing Body as to whether or not to grant or deny the request for extension with or  
176 without conditions although requests shall not be denied unless for good cause.

177           **8.     Termination; Repayment of Allocated Funds.**

178           (a)   Termination. Subject to any extension granted pursuant to Section  
179 7 above, this Agreement shall terminate upon the earliest of: the Foundation's  
180 completion of the Project and submission of all reports required by the City; or at  
181 midnight on December 31, 2027. The City may terminate this Agreement if the  
182 Foundation fails to comply with any terms contained in Resolution No. 8730, or  
183 any of the terms of this Agreement.

184           (b)   Repayment of Allocated Funds. The City may require the  
185 Foundation to repay all or any portion of the Allocated Funds, which have not yet

186 been disbursed to vendors for approved purchases and which do not include  
187 privately-donated funds, if any of the following occurs:

188 (i) Expenditures are determined to be improper, unauthorized  
189 or unsubstantiated;

190 (ii) The Foundation fails to allow inspection and audit of Project  
191 records in accordance with the terms of this Agreement;

192 (iii) The Project is not completed within time period provided in  
193 this Agreement and no extensions of time have been granted;

194 (iv) The Foundation fails to provide City staff with access for  
195 purposes of inspecting the work being done on the Project that is the  
196 subject of this Agreement;

197 (v) The Foundation fails to comply with applicable building  
198 codes, including the securing of any permits required by ordinance; and/or

199 (vi) The Foundation fails to comply with the terms of this  
200 Agreement.

201 (c) Opportunity to Cure. Prior to requiring repayment as contemplated  
202 in subsection (b) above, the City shall provide the Foundation with ninety (90)  
203 calendar days' written notice of any concerns or failures as set forth in (b) above.  
204 The Foundation shall have ninety (90) calendar days' to cure the concern or  
205 failure.

206 **9. Open to Public; City Participation Noted.** Upon completion of the  
207 Project, the Foundation shall ensure that the Project is open to the public on a regularly  
208 scheduled basis. This requirement shall survive the termination of the Agreement. Any

reports, brochures, advertisements and/or news releases shall recognize the participation of the City in providing funding.

**10. Compliance with State and Local Laws.** The Foundation shall comply with all applicable City ordinances and state laws and shall secure all appropriate permits. The Foundation shall allow access to City staff to inspect the work that is the subject of this Agreement.

**11. Indemnification.** The City and its officers, agents and employees, shall have no responsibility or liability of any failure or inadequacy of performance or defective workmanship or materials in regard to the Project. The Foundation agrees to fully and completely indemnify, release, defend and hold the City, its officers, agents and employees, harmless from all claims, losses, liabilities, damages, suits, actions or proceedings, including attorney fees. The Foundation agrees to indemnify, hold the City harmless and defend City from any and all claims, causes of action and damages of every kind arising from the operations and activities of the Foundation, its officers, agents and employees, carried out in furtherance of this Agreement. This indemnification and hold harmless shall not include the gross negligence or willful misconduct of the City, its officers, agents and employees.

**12. Insurance.**

(a) **Professional Liability.** The Foundation shall requires its consulting engineers and architects to carry and maintain professional liability insurance with a limit of One Million Dollars (\$1,000,000.00) for each claim and aggregate commencing no later than the date on which the Foundation begins pre-construction under Phase 1, as more specifically described in Section 1(a)(i)

above. Prior to the City issuing a Notice to Proceed for the Project, the Foundation's consulting engineers and architects shall provide a certificate of insurance demonstrating compliance with this Section 12(a); ensure that all insurance certificates specify the name and address of the issuing insurance company; and file all insurance certificates with the City Clerk prior to execution of this Agreement by the City.

(b) General Liability. The Foundation shall carry commercial general liability in the amount of Five Million Dollars (\$5,000,000.00) commencing no later than the date on which the Foundation begins construction under Phase 2, as more specifically described in Section 1(a)(ii) above. The insurance company providing said insurance policy must have an A.M. BEST rating of A or better. The City will not accept any insurance policy limiting its claims to "claims made." The cost of said insurance policy shall be an expense of the Foundation, and the City shall be named as an additional insured. The Foundation shall provide a certificate of insurance demonstrating compliance with this Section 12(b); ensure that all insurance certificates specify the name and address of the issuing insurance company; and file all insurance certificates with the City Clerk prior to execution of this Agreement by the City.

(c) Workers' Compensation. The Foundation shall also furnish, at its own expense, evidence of a satisfactory workers' compensation insurance policy covering all of the Foundation's employees to the statutory limit commencing no later than the date on which the Foundation begins construction under Phase 2, as more specifically described in Section 1(a)(ii) above. If the Foundation is not

required to maintain workers' compensation insurance, the Foundation shall sign an agreement indemnifying the City from any and all liability which may arise as a result of the Foundation's failure to secure workers' compensation coverage and provide such letter to the City Clerk prior to execution of this Agreement by the City.

(d) Notice of Cancellation. Should any insurance policy be cancelled, the Foundation shall ensure that the City receives written notice no later than thirty (30) days prior to the effective date of such cancellation.

**13. Debts and Obligations.** As a condition to receipt of Allocated Funds, the Foundation must not be in arrears on any debt due or obligation owed to the City, including, but not limited to, property taxes and special assessments.

**14. No Joint Venture; Independent Foundation.** Nothing herein contained shall be construed or held to make the City a partner, a member of a joint venture or associate of the Foundation in the conduct of the Project, and neither party shall be deemed the agent of the other. It is expressly understood and agreed that the relationship between the parties hereto is, and shall at all times remain, contractual as provided by the terms and conditions of this Agreement.

**15. Discrimination.** The Foundation shall not unlawfully discriminate against any employee, applicant for employment, recipient of service or applicant to receive or provide services because of race, color, religion, sex, age, disability, national origin or any other class or status protected by law. The Foundation shall take affirmative action to ensure that employees, applicants for employment, recipients of service and applicants to receive or provide service are treated equally and fairly without regard to

their race, color, religion, sex, age, disability, national origin or any other class or status, as provided for by law. The Foundation shall, in all solicitations or advertisements for employees or for services placed by or on behalf of the Foundation, state that all applicants shall receive consideration for employment or services without regard to race, color, religion, sex, age, disability, national origin or any other class or status, as provided for by law.

**16. ADA Compliance.** The Foundation shall comply with Title II of the Americans with Disabilities Act (ADA) and the implementing regulations of 28 C.F.R. Part 35 as to all of its facilities and programs. If at any time during the term of this Agreement, the City determines that the Foundation is not in compliance, the City shall issue a notice of non-compliance and the Foundation shall have ninety (90) calendar days to cure the non-compliance. If the Foundation remains in non-compliance after the cure period, the City may terminate this Agreement and require the repayment of Allocated Funds in accordance with Section 8 above.

**17. Assignment; Transfer.** The Foundation shall not assign any interest in this Agreement and shall not transfer any interest in the same, whether by assignment or novation; provided, however, that claims for money due or that become due to the Foundation under this Agreement may be assigned to a bank, trust company or other financial institution upon written consent of the City.

**18. Entire Agreement.** This Agreement constitutes the entire agreement of the parties and supersedes any and all prior agreements. Neither party shall rely upon any verbal representations, either express or implied, not specifically stated herein. This Agreement shall not be amended or modified except by written agreement of both

parties.

**19. Availability of Funds.** The parties to this Agreement understand that Allocated Funds are subject to the budget and cash basis laws and, as such, the amount of Allocated Funds may be reduced to correspond with lower-than-expected TGT revenues and the disbursement of all TGT funds require annual appropriation. The City will provide reasonable notice to the Foundation of such anticipated reduction in TGT revenues.

**20. Good Standing.** The Foundation is a not for profit corporation. The Foundation represents that it is currently in good standing with the Kansas Secretary of State, that it will remain in good standing and that it has, and will continue to have, all requisite power and authority to enter into and perform this Agreement.

**21. Representations and Authority.** By signing this Agreement, the members, officers, managers, agents and representatives of the Foundation who have executed and delivered this Agreement and who may execute and deliver any other documents, instruments and agreements or perform any acts or deeds in connection with the transactions contemplated by this Agreement, represent that they have been and will remain duly authorized and empowered to do so on behalf of the Foundation, and the Foundation will be bound thereby; except in the event that any officer or agent of the Foundation ceases to be an officer or agent of the Foundation, or for any other reason shall lose such authorization and empowerment, and the Foundation shall select such officers and agents as necessary to fulfill its obligations under this Agreement as described in this section. This Agreement will not be considered accepted, approved or otherwise effective until the legally required signatures and approvals have been given.

324           **22.   Notices.**   Any and all notices contemplated by this Agreement shall be  
325 given as follows:

|     |   |                               |
|-----|---|-------------------------------|
| 326 | TO THE CITY:                            | TO THE FOUNDATION:            |
| 327 |   |                               |
| 328 | City of Topeka                          | Downtown Topeka Foundation    |
| 329 | c/o City Manager                        | c/o President/CEO of          |
| 330 | 215 SE 7 <sup>th</sup> Street, Room 352 | Downtown Topeka, Inc.         |
| 331 | Topeka, Kansas 66603-3914               | 515 S. Kansas Avenue, Suite A |
| 332 | Fax: 785-368-3909                       | Topeka, Kansas 66603          |
| 333 | With a copy to the Mayor                | Fax: 785-234-4448             |
| 334 |   |                               |

335           Such notices shall be given in writing and transmitted by U.S. Mail, postage  
336 prepaid; facsimile, with confirmation of receipt; or hand delivered.

337           IN WITNESS WHEREOF, the parties have hereto executed this Agreement as of  
338 the day and year first above written.

CITY OF TOPEKA, KANSAS

|                                     |   |                                  |                     |
|-------------------------------------|---|----------------------------------|---------------------|
| ATTEST:                             | _____<br>Doug Gerber, Interim City Manager  |                                  |                     |
| _____<br>Brenda Younger, City Clerk | <table border="1"><tr><td>APPROVED AS TO FORM AND LEGALITY</td></tr><tr><td>DATE _____ BY _____</td></tr></table> | APPROVED AS TO FORM AND LEGALITY | DATE _____ BY _____ |
| APPROVED AS TO FORM AND LEGALITY    |   |                                  |                     |
| DATE _____ BY _____                 |   |                                  |                     |

DOWNTOWN TOPEKA FOUNDATION

|         |                                   |
|---------|-----------------------------------|
| ATTEST: | _____<br>(Printed Name and Title) |
|---------|-----------------------------------|

\_\_\_\_\_  
  
\_\_\_\_\_  
(Printed Name and Title)



340 **EXHIBIT A**  
341 **TOPEKA DOWNTOWN PLAZA PROJECT**  
342 **Plan, Design, Development and Operation Summary**  
343

344 **LOCATION AND COMMUNITY BENEFIT**

345 The Topeka downtown Plaza (Plaza), to be located on real estate extending north from  
346 7<sup>th</sup> Street on the east side of Kansas Avenue to 612 S. Kansas Avenue, will soon  
347 become the hub of exciting activities happening in Topeka. This real estate has been  
348 purchased for future Plaza development by the Downtown Topeka Foundation  
349 (Foundation).

350 Recognizing that the primary activities of travelers around the world include shopping,  
351 dining and entertainment in a pedestrian-friendly setting, Topeka will now be in a  
352 position to accommodate that model. Public plazas are where 80% of all non-lodging  
353 spending takes place.

354 According to studies performed by Roger Brooks, a well-known consultant and advisor  
355 in development and operation of public plazas, there is ***nothing*** a city can build - for  
356 less or even more money - that will create a return on investment faster than a year-  
357 round public plaza featuring a minimum of 250 days of programming.

358 Mr. Brooks, owner of Rodger Brooks international, has been working with the Topeka  
359 Lodging Association (TLA), the Foundation and Visit Topeka, Inc. (VTI) for many  
360 months on the planning and location for a public plaza for Topeka. He is a nationally  
361 known leader in assisting travel-industry organizations around the world with branding,  
362 product development and marketing efforts.

363 Research and statistical evidence prove there has been significant residential and  
364 commercial development and growth in downtowns that have successful plazas, with a  
365 retail occupancy reaching and maintaining 100%. This growth brings other important  
366 benefits to these communities:

- 367 • Increased tax revenues from downtown will help reduce the tax burden on home  
368 owners and businesses throughout the community;
- 369 • Theatres and historical venues have seen an increase in attendance as a result  
370 of increased activity in the downtown area.
- 371 • Similar plaza projects in comparable cities have caused the number of  
372 conventions to double and even triple once a downtown plaza was completed  
373 and placed in operation. In 2014, Topeka's three convention hotels grossed an  
374 estimated \$9.6 million in convention business. It is expected that number will  
375 grow to as much as \$18 million and possibly \$25 million after Topeka creates its  
376 downtown Plaza. Topeka's Plaza, together with the completion of the new Cyrus  
377 Hotel Complex, will bring additional energy to downtown and provide an even  
378 greater attraction for convention business.
- 379 • Sales tax collections on this increase alone would generate for Topeka more  
380 than \$700,000 in additional sales tax revenue annually and there would be a

corresponding increase in transient guest tax revenue on the portion of the increase that is directly attributable to room nights.

- A plaza will help reduce the leakage of discretionary spending by Topeka residents to other communities, which will mean an increase of spending locally in a range from 18% to 25%.
- Statistics have shown that travel spending by visitors will increase in a range of 60% to 70%.
- Downtowns are used as a litmus test for site selectors looking for large-scale investment, whether office towers, manufacturing or other job generators. A healthy downtown is a strong indicator of a healthy community.
- Young people are attracted to communities with a vibrant, active downtown plaza. In Rapid City, SD, the average age of the population of the city decreased by 12 years in the period since its plaza opened.

#### **PLAZA DESIGN AND DEVELOPMENT TIMELINE**

The selection of 7<sup>th</sup> Street and Kansas Avenue as the site of the downtown Plaza places it in the heart of daily activity with a potential of 45,000 square feet of public space. The Plaza will be a comfortable gathering space for daily un-programmed use and a popular, bustling venue for downtown during special events. Regular programming of special events throughout the year will draw new visitors to Topeka and create activity for all of downtown. The Plaza's corner location will allow large events to expand onto Kansas Avenue and 7<sup>th</sup> Street with temporary street closures.

The Plaza will feature paved and landscaped areas that provide scalable space for small groups or large crowds. A feature of the Plaza will be a covered stage area for programmed and impromptu uses. As seen in many public plazas around the country, a small stage also serves as a covered seating area throughout the week. Large open areas will allow for flexible programming of the space for such activities as musical programs and other performances. Landscaped areas will provide shade and planted sitting areas. Utility infrastructure such as electrical and water outlets will be developed throughout the Plaza to serve a variety of functions and events.

Beyond the basic components of the Plaza, additional structural facilities and equipment will be installed to enhance this development. A public survey administered by VTI in 2016 indicated several features that appeal to Topeka citizens. Water features in public plazas are an attraction providing interactive fun for all ages. There will be "dry deck" fountains with water spraying out of the ground, splash parks or shallow pools meandering through the site. Additional Plaza facilities and equipment such as enhanced sound and audio visual systems, a large video board and special effect lighting will be installed to support special events and performances in the Plaza. A public ice skating rink is planned. Ice rinks are often included in public plazas, as they extend programming into the winter months.

To complement the primary Plaza, the Foundation requests additional improvement of adjacent public rights of way to support and enhance the Plaza. These improvements

could be funded either as separate City of Topeka street improvement projects or as public/private partnerships.

City administrators have expressed a willingness to incorporate these rights of way along the edges of Kansas Avenue and 7<sup>th</sup> Street. The Foundation proposes a removable bollard system installed in the streets bordering the Plaza to facilitate temporary street closures for large events. The alley along the east edge of the Plaza site will be improved, and visual enhancements are planned for the back wall of the Park-N-Shop City parking garage.

Funding often is accomplished with a mix of public and private monies. The downtown Plaza presents opportunities for naming rights on specific Plaza features such as the performance stage, the video wall, water features and other Plaza facilities and equipment. Once the Plaza is in operation, event sponsors will be recruited for various events and advertising opportunities will exist through banners and digital displays throughout the Plaza.

#### **SCHEDULE FOR DESIGN AND CONSTRUCTION**

- **Design and Engineering** – This process will take approximately six months and will begin shortly after City approval of the Development Agreement.
- **Bidding and Contract Award** – This process will take approximately two months after plans are finalized and approved.
- **Demolition** – This process is estimated to take between two and three months, depending on weather, and will begin once funding is secured and all tenants currently occupying the property have relocated.
- **Plaza Construction** – The construction phase is estimated to take approximately 12 months, depending on weather. The preferred time for construction to start would be late spring or early summer of 2019 with completion in late spring or early summer of 2020.

#### **PLAZA DEVELOPMENT BUDGET**

The project is divided into four areas of development as described below. They include land acquisition, estimates of hard construction costs and costs associated with professional fees, permits, construction interest and other soft construction costs.

**Phase 1 Pre-Development – Land Acquisition/Pre-Construction      \$2,190,445**

This includes the cost of land acquisition, professional and consulting fees, bank fees and pre-construction interest.

**Phase 2 Development – Construction      \$2,901,503**

This includes the cost of demolition, site preparation and installation of utility infrastructure for the Plaza. This estimate also includes paving, landscaping, seating and stage construction.

**Phase 3 Development – Plaza Facilities and Equipment      \$2,543,698**

This includes various facilities and equipment to be installed as part of the Plaza. These facilities will include water features, architectural effect lighting, sound and audio visual systems, public art and permanent infrastructure for temporary ice rink installations.

**Phase 4 Development – ROW; North Buildings      \$1,006,728**

Rights-of-way (ROW) improvements will include improvements to property directly adjacent to the Plaza as described above. These include sidewalks, land strips and parking along Kansas Avenue and 7<sup>th</sup> Street and the north-south alley on the east edge of the Plaza site. This ROW property will be improved to allow for temporary conversion of the street to functional space to complement Plaza activities.

While many of the current building structures will be demolished, current plans call for the buildings on the north end of the site to remain. These will be developed into facilities that complement the Plaza and will provide leasable space producing revenue to help support the Plaza operation. The leasable space would be available for such businesses as restaurants and snack bars and can include public restrooms and an information booth to promote Topeka's numerous attractions including trails, sports venues and historic landmarks.

**Total Project Development      \$8,642,373**

**PLAN OF OPERATION**

As indicated, VTI has worked with the Foundation and the TLA from the beginning to help plan Topeka's downtown Plaza. VTI, as Topeka's tourism marketing agency, has established itself as a leader in promoting local events and activities. VTI has agreed to handle all operations of the Plaza once it is completed. The Foundation will enter into a management contract with VTI for this purpose. Thus, VTI will be responsible for event management and all operations including on-going maintenance. As a part of its

contract, VTI will submit a proposed budget to the Foundation no later than October 1<sup>st</sup> of each year for the following year of operation.

VTI's President and Chief Executive Officer, Brett Oetting, is preparing a tentative Plaza operating plan and a preliminary budget for the first year of Plaza operations. This plan and budget will be available to City officials when completed. The key component to the success of any plaza is its commitment to offer a minimum of 250 event days of activities every year.

## **OPERATING EXPENSES**

Studies and information garnered from other plaza entities indicate that an annual operating budget of \$500,000 should be anticipated. To help address this need, the hotel owners of the TLA voted to recommend that the City create a tourism business improvement district (TBID). In its proposal, the TLA recommends an assessment of \$1 on all occupied rooms sold by Topeka hotels. In doing so, Topeka hoteliers once again have demonstrated their commitment to the Plaza, first by their endorsement of transient guest tax dollars to help build the Plaza, and second by promoting the TBID assessment to raise funds for operations.

In order to refine the TBID proposal, TLA has contracted with Civitas, a consulting firm with expertise in drafting documents and preparing a plan for implementation to present to the Topeka Governing Body for approval. Kansas law authorizes the creation of such districts by city governments. Civitas has assisted numerous cities in 11 states including the city of Wichita, Kansas.

TLA's proposal is designed to raise funds for the operation of the Plaza, as well as other convention and tourism related activities. The proposal designates TLA, as the sponsoring agency, with the authority to determine the use of the funds raised through this \$1 assessment. TLA has agreed in its proposal, to designate most of these funds to the operation of the Plaza.

In 2016, Topeka hotels sold approximately 553,000 rooms. However, only about 465,000 would qualify for the TBID assessment after excluding hotel rooms rented on a long-term basis. Because some of these funds would be designated for other tourism purposes and expenses, it is estimated that the TBID assessment will contribute a minimum of \$425,000 each year toward the operation of the Plaza.

TLA is set to present its TBID proposal to the Topeka Governing Body in March of 2017.

In addition to the TBID assessment, the Plaza will generate funds from its operation, which will be used to pay Plaza operating expenses.

## **PROPERTY OWNERSHIP AND FUNDING MECHANISM**

It is currently planned that the Plaza real estate will continue to be owned by the Foundation, which will act as the developer of the project. The Foundation and the City of Topeka may agree at a later time to convert the Plaza to City ownership after development activities are complete. The Development Agreement for the Plaza, when

approved, will provide the transient guest tax dollars allocated under City Resolution No. 8730 to be distributed to the Foundation under the direction of Topeka's City Manager. That resolution allocated transient guest tax funds for the development and operation of the Plaza.

As outlined above, funds for development and operation of the Plaza will be available from the TBID assessment collected on occupied room nights. These funds are collected by the City in a manner similar to the collection of transient guest tax funds and then distributed to the sponsoring entities for use on the Plaza, as earlier described.

#### **PROJECT SUMMARY**

We thank you for your consideration of this proposal. We believe that this proposal: (1) represents the most prudent and economical process for developing a public plaza; (2) will allow downtown Topeka to meet the cultural, entertainment and recreational needs of the community; and (3) assist the City of Topeka in its current efforts to continue to revitalize downtown Topeka.

**RESOLUTION NO. 8730**

A RESOLUTION introduced by Councilmembers Schwartz, Jensen, and Coen sitting as the Transient Guest Tax Committee, allocating transient guest tax funding for a period of 12 years for Downtown Plaza.

WHEREAS, transient guest taxes (TGT) may be imposed on individuals who occupy hotel and motel rooms for short durations; and

WHEREAS, the funds generated by such taxes may be used for convention and tourism activities and to promote the general welfare of the city, including the attraction of industry; and

WHEREAS, the City currently imposes a 7% TGT; and

WHEREAS, on August 20, 2002, the governing body, in Resolution No. 7253, allocated 1% of the TGT for a period of 13 years to the development of the Great Overland Station, including Riverfront Park, and the historic preservation fund; and

WHEREAS, that funding will expire on December 31, 2015; and

WHEREAS, the TGT Committee is desirous of extending the 1% for an additional 12 years to provide a funding source for certain projects that the Committee believes will enhance tourism by putting more 'heads on beds' and delivering a quantifiable return on the City's investment; and

WHEREAS, the TGT Committee developed a process to consider applications for funding which were reviewed by a review board comprised of staff and tourism industry representatives; and

WHEREAS, on August 19, 2015, the TGT Committee adopted the review board's recommendations to allocate approximately \$4.7 million dollars over a period of 12 consecutive years to fund certain projects, including Downtown Plaza.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE  
CITY OF TOPEKA, KANSAS, that:

Section 1. The City shall allocate \$3,435,000 over a period of 12 years to  
provide funding for Downtown Plaza subject to the terms and conditions contained in  
this Resolution and a subsequently executed development agreement.

Such funds will be allocated annually in an amount determined by the City's chief  
financial officer or designee. The commitments will begin in fiscal year 2016 and  
continue until December 31, 2027 or until the maximum expenditure amount of  
\$3,435,000 is met, whichever event is earlier; provided, however, that all terms and  
conditions of the above-referenced development agreement are fully and completely  
adhered to through the duration of the 12-year investment period.

Section 2. The City's goal with this funding commitment is to support a viable  
project that will produce an economic return at the conclusion of the investment. The  
City's funding commitment will be conditioned upon the occurrence of the following:

(a) Enactment of a charter ordinance extending the current 1% TGT (which  
expires on December 31, 2015) for an additional 12 years commencing in fiscal year  
2016 and ending on December 31, 2027.

(b) Approval of a development agreement between the governing body and  
the appropriate legal entity responsible for the project. Such agreement will contain  
provisions related to the use of TGT funds that address general principles, including, but  
not necessarily limited to, the following:

(1) A project development budget identifying all funding sources and  
the manner in which TGT funds will be spent.



(2) An operating plan for the project identifying strategy, budget and various performance metrics.

(3) A project timeline identifying established deadlines for various milestones.

(4) A project design document.

(5) The anticipated economic impact of the project.

(6) An outline of the various responsibilities related to reporting, inspections, audits, indemnification, insurance, and fund repayment in certain specified circumstances.

The City and the legal entity responsible for the project fully acknowledge that the general principles set forth in this Resolution will be developed in much greater detail through specific language to be contained in the subsequently-executed development agreement, which will be the controlling document in relation to the project. The parties further acknowledge that grant funding may be reduced to correspond to lower than expected TGT revenues.

(c) The development agreement will be submitted to the governing body for its consideration and approval within 180 days from the date of this Resolution; unless an extension is granted by the governing body.

(d) If the entity contracting on behalf of Downtown Plaza is a not-for-profit entity, it will comply with the requirements of K.S.A. 45-240 and amendments thereto regarding recordkeeping requirements for not-for-profit entities that receive public funds.

(e) The entity contracting on behalf of Downtown Plaza shall not owe any debt due to the City, including, but not limited to property taxes and special assessments and shall be in good standing with the Kansas Secretary of State.

Section 3. All financial commitments referenced in this Resolution shall be subject to the Budget and Cash Basis laws and any other applicable ordinances or statutes.

ADOPTED and APPROVED by the Governing Body on October 20, 2015.

CITY OF TOPEKA, KANSAS



Larry E. Wolgast  
Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger  
Brenda Younger, City Clerk



**City of Topeka  
Council Action Form  
Council Chambers  
214 SE 8th Street  
Topeka, Kansas 66603  
www.topeka.org  
March 21, 2017**

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**DATE:** March 21, 2017  
**CONTACT PERSON:** Bill Fiander **DOCUMENT #:**  
**SECOND PARTY/SUBJECT:** Zoning Code Updates **PROJECT #:**  
(Downtown D-1 and  
Miscellaneous)  
**CATEGORY/SUBCATEGORY** 014 Ordinances – Non-Codified / 007 Zoning  
**CIP PROJECT:** No  
**ACTION OF COUNCIL:** **JOURNAL #:**  
**PAGE #:**

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**DOCUMENT DESCRIPTION:**

**DISCUSSION** of proposed amendments to the Topeka Zoning Regulations, Title 18 of the Municipal Code regarding (1) conversion of the existing C-5 zoning to D-1 zoning and (2) miscellaneous other amendments.

*(Discuss zoning code amendments to Downtown and other miscellaneous zoning regulations.)*

**POLICY ISSUE:**

The Planning Department is recommending these code changes as part of our bi-annual review which includes many suggestions received from the public and development community to make the zoning code 1) more user friendly 2) more modern and relevant to today's needs, and 3) better align with goals of the Land Use and Growth Management Plan to encourage mixed use, infill development, and greater aesthetic quality.

**STAFF RECOMMENDATION:**

This is presented for discussion and thus no action is requested at this time.

Staff is recommending approval of the amendments as presented in conjunction with the Planning Commission's recommendation of approval (8-0) at their February 20, 2017 meeting.

**BACKGROUND:**

**Downtown "D-1" District Conversion**

Downtown is the community's focal point. It is seeing increased investment in its historic character after the addition of two new historic districts and a major public-private partnership to completely upgrade the streetscape and infrastructure on Kansas Avenue.

This has all led to renewed investment opportunities in the buildings and land inside and outside the historic districts some of which are not currently protected with appropriate design standards. Currently, design guidelines adopted by the Topeka Landmarks Commission in 2016 cover properties in the historic district only. Also, properties inside and outside the historic districts have outdated signs standards not written for Downtowns or historic contexts.

Therefore, we recommend updated building design and sign standards inside/outside of the historic districts to better protect investments for Downtown. This is accomplished by the following:

- **Convert “C-5” Commercial District to “D-1” Downtown District** (Exhibit 1)
  - All 223 properties zoned C-5 would now be D-1 and have design guidelines.
- **Refreshed “D-1” Design Guidelines and Land Use Matrix** (Exhibits 3 and 8)
  - Emphasizes mixed-use, pedestrian needs, and “street wall” building form.
- **Context-Based Sign Standards** (Exhibits 2 and 9)
  - Proportionate to building and lot width.
  - Reflects downtown types (e.g., ground, awning, projection, marquee, mural, roof)
  - Allows grand-fathered signs

### **Other Miscellaneous Amendments**

- **Site and Landscape Ordinances:** Sync up minimum thresholds for site plan review and landscape plan applications reduce landscape requirements for some industrial uses; add standards for screening trash dumpsters for commercial uses. (pg. 7-1 through 7-4))
- **Refresh Use Categories, Definitions and Land Use Matrix.** New use categories are needed in order for the City to respond to the type and nature of development we are encountering now and in the future.
  - **Artisan Manufacturing.** New use in commercial and mixed use districts for small-scale, handcraft manufacturing businesses currently relegated to “I” districts. (pg. 7-5)
  - **Microbreweries, Micro-distilleries, etc.** Provide greater clarity, incorporate alcohol distilleries, and add specific use requirements. (pgs. 7-6, 7-7)
  - **Mobile Retail Vendors.** New use allowing food trucks and other mobile retail sales in any district. (pg. 7-8)
  - **Outdoor Concert Venues.** Clarify as a use under *recreation, outdoor type III*. (pg. 7-9)
  - **Truck Stops, etc.** Add use requiring a CUP in “C-3” and “C-4”. (pg. 8-4).
  - **Wood and Yard Waste Recycling.** Include in definition of “landfill, demolition” which requires a CUP in “I-1” and is subject to specific use requirements in “I-2”. (pg. 7-10)
- **Cargo Containers.** Allow cargo containers as an accessory use but with screening requirements in some commercial districts. Only allow small containers in residential areas for moving purposes. (pgs. 7-12 through 7-15)
- **Setbacks for Uncovered Horizontal Structures (decks, patios, stoops, stair landings, and accessibility ramps).** The proposed amendment adds clarity and greater flexibility regarding placement of porches, decks and other unroofed structures typically associated with residential land use. (pgs. 7-16, 7-17)
- **Fences.** The proposed amendment adds a diagram to clarify setback and height standards and clarifies acceptable fence construction materials. (pgs. 7-18 through 7-21)
- **Mixed Use Zoning Districts.** The proposed amendment provides for the use of “X” Mixed Use districts in areas outside of neighborhood plan areas. (pgs. 7-22, 7-23)
- **Free Little Libraries.** These “libraries” have become familiar in Topeka neighborhoods. The proposed amendment allows for their use and provides modest standards to control size. (pgs. 7-24 through 7-26)
- **Condition of Signs.** Clarifies what constitutes signs that are not in good condition and thus subject to

repair or removal to help enforcement. (pg. 7-27)

- **Accessory Dwellings.** New use to clarify that detached accessory dwellings are allowed in districts where duplexes and multiple family dwellings are already permitted. (pg. 7-28)
- **Park.** Definition revised to clarify it is open to the public but not necessarily owned by a governmental entity. (pg. 7-30)

### **Process**

Significant outreach efforts were led by Planning staff (Dan Warner and Mike Hall) including meeting regularly with a group of design professionals, sign industry representatives, and downtown stakeholders during 2015 and 2016. All property owners in the C-5 zoning district were notified of two public meetings (November, 2016 and January, 2017).

The Landmarks Commission approved the changes on January 12, 2017. The Planning Commission discussed all related amendments throughout 2016 and held a public hearing on January 23, 2017 before approving the amendments unanimously on February 20, 2017.

### **BUDGETARY IMPACT:**

There is no budgetary impact to the City.

### **SOURCE OF FUNDING:**

Not Applicable

### **ATTACHMENTS:**

#### **Description**

Summary memo

EX 1\_D-1 Conversion

EX 2\_Signs for D-1 Conversion

EX 3\_D-1 Design Guidelines

EX 4\_Parking for D-1 Conversion

EX 5\_Map Existing Downtown Zoning

EX 6\_Map C-5 & Historic District

EX 7\_Misc Code Amendments

EX 8\_Land Use Matrix

EX\_9 D-1 Sign Standards Handbook



# CITY OF TOPEKA

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PLANNING DEPARTMENT  
620 SE Madison Street, Unit 11  
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Bill Fiander, AICP, Director  
Email: [bfiander@topeka.org](mailto:bfiander@topeka.org)  
Fax: 785-368-2535  
[www.topeka.org](http://www.topeka.org)

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## MEMORANDUM

**To: Governing Body**

**From: Bill Fiander, AICP, Planning Director**

**Re: Zoning Code Updates (Downtown “D-1” and Miscellaneous Amendments)**

**Date: March 9, 2017**

The attached amendments to the zoning regulations are submitted for your consideration. The Planning Department is recommending these code changes as part of our bi-annual review which includes many suggestions received from the public and development community to make the zoning code 1) more user friendly 2) more modern and relevant to today’s needs, and 3) better align with goals of the Land Use and Growth Management Plan to encourage mixed use, infill development, and greater aesthetic quality.

### **Downtown “D-1” District Conversion**

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This has all led to renewed investment opportunities in the buildings and land inside and outside the historic districts some of which are not currently protected with appropriate design standards. Currently, design guidelines adopted by the Topeka Landmarks Commission in 2016 cover properties in the historic district only. Also, properties inside and outside the historic districts have outdated signs standards not written for Downtowns or historic contexts.

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## **Other Miscellaneous Amendments (Exhibits 7 and 8)**

- **Site and Landscape Ordinances:** Sync up minimum thresholds for site plan review and landscape plan applications reduce landscape requirements for some industrial uses; add standards for screening trash dumpsters for commercial uses. (pg. 7-1 through 7-4))
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The Landmarks Commission approved the changes on January 12, 2017. The Planning Commission discussed all related amendments throughout 2016 and held a public hearing on January 23, 2017 before approving the amendments unanimously on February 20, 2017.

**Attachments:**

- Documents related to the C-5 to D-1 Conversion (Exhibits 1-6)
- D-1 Sign Standard Handbook (Exhibit 9)
- Other Miscellaneous Amendments (Exhibit 7)
- Amended Land Use Matrix (Exhibit 8)
- Ordinance



### **18.50.030 Conversion of existing districts.**

The districts and boundaries thereof are reclassified in accordance with the following:

- (a) A single-family dwelling district converts to R-1 single-family dwelling district.
- (b) B single-family dwelling district converts to R-2 single-family dwelling district.
- (c) C two-family dwelling district converts to M-1 two-family dwelling district.
- (d) D multiple-family dwelling district converts to M-2 multiple-family dwelling district.
- (e) All remaining property classified E multiple-family dwelling district converts to M-3 multiple-family dwelling district.
- (f) E-1 high-rise multiple-family dwelling district converts to M-4 multiple-family dwelling district. M-4 multiple – family dwelling district converts to M-3 multiple-family dwelling district.
- (g) D&O multiple-family dwelling and office district converts to either M-2 multiple-family dwelling district or O&I-1 office and institutional district.
- (h) F neighborhood shopping district converts to C-2 commercial district.
- (i) G commercial district converts to C-4 commercial district.
- (j) H business district converts to C-5 commercial district. C-5 commercial district converts to D-1 downtown district
- (k) I light industrial district converts to I-1 light industrial district.
- (l) J heavy industrial district converts to I-2 heavy industrial district.
- (m) U-1 university district converts to U-1 university district.
- (n) U-2 university community district converts to M-3 multiple-family dwelling district.

## **Chapter ~~18.160~~**

### **~~C-5 COMMERCIAL DISTRICT~~**

Sections:

[~~18.160.010~~](#) — Purpose — Intent.

[~~18.160.020~~](#) — Repealed.

[~~18.160.030~~](#) — Principal, special, and conditional uses.

[~~18.160.040~~](#) — Density and dimensional requirements.

[~~18.160.050~~](#) — Other regulations.

[~~18.160.060~~](#) — Repealed.

#### **~~18.160.010 Purpose — Intent.~~**

~~This district is established to provide for a wide range of commercial activities which are contained in the central business or core area of the community. The extent and range of uses permitted are to provide for high efficiency of land use and to encourage a broad mix of commercial, office and residential uses. (Code 1995 § 48-19.00.)~~

#### **~~18.160.020 Regulations generally.~~**

~~Repealed by Ord. 19921. (Code 1995 § 48-19.01.)~~

#### **~~18.160.030 Principal, special, and conditional uses.~~**

(a) ~~Principal uses identified in the use matrix table in TMC [~~18.60.010~~](#) shall be allowed.~~

(b) ~~Special uses identified in the use matrix table in TMC [~~18.60.010~~](#) shall be allowed subject to the restrictions identified in Chapter [~~18.225~~](#) TMC.~~

(c) ~~Conditional uses identified in the use matrix table in TMC [~~18.60.010~~](#) may be allowed in accordance with Chapter [~~18.215~~](#) TMC if approved by the governing body. (Ord. 19921 § 107, 9-23-14.)~~

~~— Cross References: City council — mayor, Chapter [~~2.15~~](#) TMC.~~

#### **~~18.160.040 Density and dimensional requirements.~~**

~~All development shall comply with the density and dimensional standards in TMC [~~18.60.020~~](#). (Ord. 19921 § 108, 9-23-14.)~~

### **~~18.160.050 Other regulations.~~**

~~All principal and accessory uses permitted within this zone are subject to the following requirements:~~

- ~~(a) Permitted Accessory Uses and Requirements. See Chapter [18.210](#) TMC.~~
- ~~(b) Off Street Parking Requirements. See Chapter [18.240](#) TMC.~~
- ~~(c) Sign Regulations. See Chapter [18.20](#) TMC.~~
- ~~(d) Dimensional Requirements. See Chapter [18.230](#) TMC.~~
- ~~(e) Nonconforming Uses. See Chapter [18.220](#) TMC.~~
- ~~(f) Site Plan Regulations. See Chapter [18.260](#) TMC.~~
- ~~(g) Landscaping Requirements. See Chapter [18.235](#) TMC.~~
- ~~(h) Subdivision Regulations. See Chapters [18.30](#) through [18.45](#) TMC. (Ord. 19921 § 109, 9-23-14.)~~

### **~~18.160.060 Development alternatives.~~**

~~Repealed by Ord. 19921. (Code 1995 § 48-19.05.)~~

## **Chapter 18.200**

### **D DOWNTOWN DISTRICTS**

Sections:

- [18.200.010](#) Purpose and regulations.
- [18.200.020](#) Downtown district classifications.
- [18.200.030](#) Use regulations for D-1 district.
- [18.200.040](#) Use regulations for D-2 district.
- [18.200.050](#) Use regulations for D-3 district.
- [18.200.060](#) Dimensional and performance standards.
- [18.200.070](#) Parking.
- [18.200.080](#) Legal nonconforming uses.
- [18.200.090](#) Design and appearance guidelines.

#### **18.200.010 Purpose and regulations.**

(a) Purpose. The downtown districts are unique to the downtown Topeka area and are provided to encourage a compatible mixed use activity. The D downtown districts serve to implement the downtown Topeka redevelopment plan, which is part of the city of Topeka's comprehensive ~~metropolitan~~ plan.

(b) Regulations. The regulations set forth in this chapter or set forth elsewhere in this division are the district regulations for the D downtown districts. (Code 1995 Appx. C, Art. XXIVb.)

#### **18.200.020 Downtown district classifications.**

There are three classifications of downtown districts as follows:

(a) D-1 District. The purpose of this district is to facilitate a compatible mixed use activity center within the core area of downtown Topeka. The district is predominately composed of state offices, as well as local and federal facilities, commercial and retail uses. The district includes compatible residential, office, civic, and commercial retail/service uses which complement and support a high density of activity and facilitate pedestrian usage.

(b) D-2 District. The purpose of this district is to integrate a compatible mixed use activity with urban residential neighborhoods. The district includes a balance of compatible residential, office, cultural, and neighborhood commercial retail/service uses of low to moderate intensity that complement and support neighborhood residential areas and pedestrian usage.

(c) D-3 District. The purpose of this district is to reestablish the linkage between downtown and the Kansas River through intensive redevelopment of the area north of Crane Street to the Kansas River. The

district includes housing, commercial and office uses that emphasize the relationship between downtown and the river, as well as expand cultural opportunities in the general downtown area. (Ord. 17661 § 2, 8-20-01. Code 1995 § 48-24b.00.)

**18.200.030 Use regulations Principal, special, and conditional uses:**

(a) Principal uses identified in the use matrix table in TMC [18.60.010](#) shall be allowed.

(b) Special uses identified in the use matrix table in TMC [18.60.010](#) shall be allowed subject to the restrictions identified in Chapter [18.225](#) TMC.

(c) Conditional uses identified in the use matrix table in TMC [18.60.010](#) may be allowed in accordance with Chapter [18.215](#) TMC if approved by the governing body. (Ord. 19921 § 107, 9-23-14.)

~~(a) Permitted Principal Uses:~~

~~(1) Permitted uses in the C-3 commercial district.~~

~~(2) Single and two family dwellings.~~

~~(3) Three and four family dwellings.~~

~~(4) Multifamily dwellings.~~

~~(5) Group homes.~~

~~(6) Dwelling units as primary or accessory use.~~

~~(7) Residential design manufactured home.~~

~~(8) Amusement indoor establishments, including dance, pool, and billiard halls; archery ranges, shooting galleries, pinball, electronic and video game arcades; taverns and similar establishments licensed by the city to sell and dispense cereal malt beverages for drink on premises.~~

~~(9) Churches, places of worship or assembly.~~

~~(10) Schools.~~

~~(11) Community facilities.~~

~~(12) Conference/convention center.~~

~~(13) Cultural facility.~~

~~(14) Public use facilities.~~

~~(15) Parks, recreation, and open space.~~

- ~~(16) Amusement parks.~~
- ~~(17) Camera and film shop, photography and artist studio, frame shop.~~
- ~~(18) Automobile service station, type I and type II.~~
- ~~(19) Bed and breakfast establishments.~~
- ~~(20) Child care centers.~~
- ~~(21) Clubs and lodges.~~
- ~~(22) Farmer's markets.~~
- ~~(23) Funeral homes.~~
- ~~(24) Health clubs.~~
- ~~(25) Hotel, motel.~~
- ~~(26) Theater, nonadult.~~
- ~~(27) Offices for conducting affairs of business, profession, service, industry or government, including financial institutions and human health care clinics which may contain a pharmacy.~~
- ~~(28) Orthopedic, medical appliance, and prosthesis stores, optician and the sale of eyeglasses; hearing aid evaluations, fitting and sales.~~
- ~~(29) Pet shops/small animal clinics.~~
- ~~(30) Commercial recreational facilities which are used primarily for physical exercise, recreation, and/or health maintenance including fitness centers, spas, suntanning salons, skating rinks, swimming pools, gymnasiums, game courts, golf courses, golf driving ranges, pitch and putt, miniature golf courses and similar activities, including locker and training areas.~~
- ~~(31) Personal service shops.~~
- ~~(32) Parking lot and/or multistory parking garage.~~
- ~~(33) Communication towers or telecommunication equipment attached to a building and which must meet the criteria of Chapter [18.250](#) TMC.~~
- ~~(34) Boarding and lodging houses.~~
- ~~(35) Crisis centers.~~
- ~~(36) Residential care facility, type I.~~

~~(37) Residential care facility, type II.~~

~~(38) Child care centers.~~

~~(39) Parking lots/garages (principal use).~~

~~(b) Uses Permitted by Conditional Use Permit.~~

~~(1) Private or public utility structures facilitating the transmission, distribution and/or collection systems, including substations, distributions stations, pump stations, reservoirs, towers, transmission equipment buildings and similar such uses.~~

~~(2) Freestanding communication towers or telecommunication equipment which must meet the criteria of Chapter [18.250](#) TMC.~~

~~(3) Billboards and panel posters not exceeding 300 square feet per single face area and which do not exceed a height of 55 feet above grade.~~

~~(4) Automobile service station, type III.~~

~~(5) Nonresidential small wind energy system, subject to Chapter [18.265](#) TMC. (Ord. 19311 § 28, 9-22-09; Code 1995 § 48-24b.01.)~~

**18.200.040 Use regulations for D-2 district.**

~~(a) Permitted Principal Uses.~~

~~(1) Single and two family dwellings.~~

~~(2) Multifamily dwellings.~~

~~(3) Group homes.~~

~~(4) Residential design manufactured home.~~

~~(5) Churches, places of worship or assembly.~~

~~(6) Schools.~~

~~(7) Personal service shop less than 10,000 square feet.~~

~~(8) Community facilities.~~

~~(9) Public use facilities.~~

~~(10) Parks, recreation, and open space.~~

~~(11) Amusement parks.~~

~~(12) Camera and film shop, photography and artist studio, frame shop.~~

~~(13) Bed and breakfast establishments.~~

~~(14) Retail uses less than 10,000 gross square feet.~~

~~(15) Dwelling units as accessory use.~~

~~(b) Uses Permitted by Conditional Use Permit.~~

~~(1) Private or public utility structures facilitating the transmission, distribution and/or collection systems, including substations, distributions stations, pump stations, reservoirs, towers, transmission equipment buildings and similar such uses.~~

~~(2) Communication towers or telecommunication equipment which must meet the criteria of Chapter [18.250](#) TMC with the exception that all towers must be attached to an existing building or structure, and may exceed 20 feet in height.~~

~~(3) Boarding and lodging houses.~~

~~(4) Crisis centers.~~

~~(5) Conference/convention center.~~

~~(6) Cultural facility.~~

~~(7) Residential care facility, type I.~~

~~(8) Residential care facility, type II.~~

~~(9) Amusement indoor establishments, including dance, pool, and billiard halls; archery ranges, shooting galleries, pinball, electronic and video games arcade; taverns and similar establishments licensed by the city to sell and dispense cereal malt beverages for drink on premises.~~

~~(10) Child care centers.~~

~~(11) Farmer's markets.~~

~~(12) Funeral homes.~~

~~(13) Health clubs.~~

~~(14) Hotel, motel.~~

~~(15) Offices for conducting affairs of business, profession, service, industry or government, including financial institutions and human health care clinics which may contain a pharmacy.~~

~~(16) Parking lots/garages as a principal use.~~



~~(17) Recreation, indoor.~~

~~(18) Restaurants.~~

~~(19) Retail establishments greater than 10,000 gross square feet.~~

~~(20) Personal service shop greater than 10,000 gross square feet.~~

~~(21) Automobile service station, type I.~~

~~(22) Clubs and lodges.~~

~~(23) Entertainment facilities/theaters (nonadult).~~

~~(24) Small animal clinics.~~

~~(25) Nonresidential small wind energy system, subject to Chapter [18.265](#) TMC. (Ord. 19311 § 29, 9-22-09. Code 1995 § 48-24b.02.)~~

**~~18.200.050 Use regulations for D-3 district.~~**

~~(a) Permitted Principal Uses.~~

~~(1) Single and two-family dwellings.~~

~~(2) Three and four-family dwellings.~~

~~(3) Multifamily dwellings.~~

~~(4) Group homes.~~

~~(5) Dwelling units as an accessory use.~~

~~(6) Parks, recreation, and open space.~~

~~(7) Amusement indoor establishments, including dance, pool, and billiard halls; archery ranges, shooting galleries, pinball, electronic and video game arcades; taverns and similar establishments licensed by the city to sell and dispense cereal malt beverages for drink on premises.~~

~~(8) Amusement parks.~~

~~(9) Camera and film shop, photography and artist studio, frame shop.~~

~~(10) Automobile service station, type II.~~

~~(11) Cultural facility.~~

~~(12) Entertainment facilities/theaters.~~

~~(13) Offices for conducting affairs of business, profession, service, industry or government, including financial institutions and human health care clinics which may contain a pharmacy.~~

~~(14) Manufacture, processing, storage and/or warehousing of any product, equipment, or material; except any activities involving the following:~~

~~(i) Acetylene, gas manufacture or storage.~~

~~(ii) Acid, alcohol, ammonia, bleaching powder, chlorine, cement, lime, gypsum, plaster of paris, disinfectant, dyestuff, glue, fertilizer, size, gelatin, oilcloth, linoleum, oiled rubber goods, paint, oil, shellac, turpentine, varnish, paper, pulp, shoe polish, soap (other than liquid), tallow grease, lard, refining of animal fat, tar distillation, tar roofing, waterproofing products, vinegar and yeast manufacture.~~

~~(iii) Arsenal, high explosives (other than armory).~~

~~(iv) Asphalt, cement or other paving materials manufacture or central mixing plant.~~

~~(v) Vehicular wrecking or dismantling for salvage purposes.~~

~~(vi) Blast furnace, coke oven, boiler works, forge plant, ore reduction, smelting of tin, copper, zinc or iron ores, iron, steel, brass or copper foundry or fabrication plant.~~

~~(vii) Brick, tile, pottery or terracotta manufacture (other than the manufacture of handcraft products only).~~

~~(viii) Creosote manufacture or treatment.~~

~~(ix) Distillation of bones, coal or wood.~~

~~(x) Explosives or fireworks manufacture or storage.~~

~~(xi) Fat rendering.~~

~~(xii) Garbage, offal or dead animals reduction or disposal.~~

~~(xiii) Junk, iron or rags or paper storage or baling except as provided elsewhere in these regulations.~~

~~(xiv) Petroleum or its products, refining or wholesale storage.~~

~~(xv) Planing mills, rock crusher, rolling mill.~~

~~(xvi) Rubber or gutta-percha manufacture or treatment.~~

~~(xvii) Stockyard or slaughter of animals or fowls.~~

~~(xviii) Stone mill.~~

~~(xix) Tanning, curing or storage of raw hides or skins.~~

~~(xx) Wool pulling or scouring.~~

~~(xxi) And in general, those uses which may be obnoxious or offensive by reason of emission of odor, dust, smoke, gas or noise.~~

~~(15) Recreation, indoor.~~

~~(16) Restaurants.~~

~~(17) Retail establishments less than 30,000 gross square feet.~~

~~(18) Theater, nonadult.~~

~~(19) Churches, places of worship or assembly.~~

~~(20) Schools.~~

~~(21) Automobile service station, type I.~~

~~(b) Uses Permitted by Conditional Use Permit.~~

~~(1) Private or public utility structures facilitating the transmission, distribution and/or collection systems, including substations, distributions stations, pump stations, reservoirs, towers, transmission equipment buildings and similar such uses.~~

~~(2) Communication towers or telecommunication equipment which must meet the criteria of Chapter [18.250](#) TMC with the exception that all towers must be attached to an existing building or structure, and may exceed 20 feet in height.~~

~~(3) Billboards and panel posters not exceeding 300 square feet per single face area and which do not exceed a height of 55 feet above grade.~~

~~(4) Community facilities.~~

~~(5) Conference/convention center.~~

~~(6) Public use facilities.~~

~~(7) Automobile service station, type III.~~

~~(8) Bed and breakfast establishments.~~

~~(9) Child care centers.~~

~~(10) Clubs and lodges.~~

~~(11) Farmer's markets.~~

~~(12) Health clubs.~~

~~(13) Hotel, motel.~~

~~(14) Parking lots/garages principal use.~~

~~(15) Pet shops/small animal clinics.~~

~~(16) Retail establishments less than 30,000 square feet.~~

~~(17) Personal service facility.~~

~~(18) Nonresidential small wind energy system, subject to Chapter [18.265](#) TMC. (Ord. 19311 § 30, 9-22-09; Code 1995 § 48-24b.03.)~~

### **18.200.040 Dimensional and performance standards.**

All development shall comply with the density and dimensional standards in TMC [18.60.020](#)

~~Dimensional performance standards are set forth below and are not intended to supersede or undermine adopted design standards within this chapter:~~

~~(a) D-1 District Performance Standards:~~

~~(1) Maximum building coverage: 100 percent.~~

~~(2) Minimum front yard setback: 0 feet.~~

~~(3) Minimum rear yard setback: 0 feet.~~

~~(4) Minimum side yard setback: 0 feet.~~

~~(b) D-2 District Performance Standards:~~

~~(1) Maximum building coverage: 75 percent.~~

~~(2) Minimum front yard setback: 0 feet.~~

~~(3) Minimum rear yard setback: 0 feet.~~

~~(4) Minimum side yard setback: 0 feet.~~

~~(5) Maximum building height: 50 feet.~~

~~(c) D-3 District Performance Standards:~~

~~(1) Maximum building coverage: 100 percent.~~

~~(2) Front yard setback: 0 feet.~~

~~(3) Minimum rear yard setback: 0 feet.~~

~~(4) Minimum side yard setback: 0 feet.~~

~~(5) Maximum building height: 60 feet. (Ord. 17661 § 6, 8-20-01. Code 1995 § 48-24b.04.)~~

#### **18.200.050 Parking.**

(a) No off-street parking requirements for the D-1, D-3 use districts.

(b) Minimum off-street parking requirements for the D-2 use districts shall be consistent with the following:

(1) Residential dwellings: one space per dwelling unit.

(2) Private clubs, drinking establishments, and restaurants: one space per four occupants permitted.

(3) Retail and office uses: one space per 500 square feet of usable retail or office floor area.

(4) All other uses not specified shall be consistent with Chapter [18.240](#) TMC.

(c) A maximum number of off-street parking spaces for a particular use may be required by the planning director to conserve open space, prevent unnecessary demolition of buildings and damage to the historic integrity of a district, or to remain consistent with adopted development performance standards. (Ord. 17661 § 7, 8-20-01. Code 1995 § 48-24b.05.)

Cross References: Planning department, TMC [2.25.210](#).

#### **18.200.060 Legal nonconforming uses.**

(a) Any use which is not listed as a permitted use in these downtown zoning districts but which was permitted for a specific parcel of property pursuant to zoning district regulations in effect for such parcel and which physically existed upon such parcel prior to the enactment of the districts shall be permitted as a legal nonconforming use in accordance with Chapter [18.220](#) TMC.

(b) Expansion of legal nonconforming uses and/or structures is prohibited unless a determination of “no adverse impact” by the planning director is obtained based on the following:

(1) The use intensity on the site of the proposed expansion will not increase by more than 10 percent cumulatively; and

(2) The expansion will not result in a reduction of acceptable levels of off-street parking, lot coverage ratio, landscaping by more than five percent; and

(3) The expansion will not result in an increase of noise, odor, traffic, light, or dust incompatible with the surrounding neighborhood and/or uses; and

- (4) The expansion is consistent with any adopted neighborhood, area, or redevelopment plan; and
- (5) The expansion is consistent with the development performance standards of these districts. (Ord. 17661 § 8, 8-20-01. Code 1995 § 48-24b.06.)

Cross References: Planning department, TMC [2.25.210](#).

## Standards for Signs in D Districts

### 18.55.190 “S” definitions.

\* \* \*

“Sign” means any outdoor device, structure, fixture or placard using graphics, symbols, and/or written copy designated for the purpose of advertising or identifying any establishment, product, goods, services, activities, or uses.

“Sign, animation” means the use of movement or some element thereof, to depict action or create a special effect or scene.

“Sign area” means the total area of the space to be used for advertising purposes, including the spaces between open-type letters and figures, including the background structure or other decoration or addition which is an integral part of the sign. Sign supports shall be excluded in determining the area of a sign. A double-faced sign shall have twice the total area of a single-faced sign.

\* \* \*

### 18.200.090 Design and appearance guidelines and sign standards.

(a) Within the D-1, D-2 and D-3 districts, all new development, including permitted commercial, office, institutional, multifamily residential, industrial uses, or combination thereof, or change of uses with exterior modifications shall be consistent with the following design guidelines. No building permit shall be issued unless it is in compliance with the downtown Topeka general design and appearance guidelines which are set forth in Exhibit A at the end of this section.

(b) Compliance shall be determined by the planning director by evaluating site plans and exterior elevations for conformity with the downtown Topeka general design and appearance guidelines.

(c) Decisions on conformity with the guidelines shall be made within 10 working days of submission.

(d) An appeal from the planning director’s decision as to compliance with the downtown Topeka general design and appearance guidelines may be made to the Topeka-Shawnee County metropolitan planning commission’s planning and policy committee board of zoning appeals pursuant to Chapter 2.45 TMC. Such appeal shall be heard at the next scheduled meeting of the committee.

(e) On-premise signs in the D-2 district shall comply with the standards for signs in the X (Mixed Use) districts pursuant to TMC 18.20.020 (e). Off-premise signs shall be regulated by TMC 18.25, Article IV.

(f) On-premise signs in the D-1 and D-3 districts shall comply with the following standards. Off-premise signs shall be regulated by TMC 18.25, Article IV.

### (1) Wall Signs

(i) Each establishment is permitted one or more wall signs at the first floor on each building face occupied by said establishment. The accumulated area of wall signs on each building face shall be limited to 20 percent of the area of the exterior building elevation at the pedestrian level or 150 square feet, whichever is less.

(ii) Wall signage above the first floor shall be limited to no more than one sign ~~of no more than not exceeding~~ 150 square feet, for every 50 lineal feet of street frontage, on the exterior wall of the floor on which the signage is located. For buildings ~~of over in excess of~~ three floors or ~~of a height of exceeding~~ 40 feet ~~in height or more, on any level above the third floor or above 40 feet from grade,~~ one wall sign per building face is permitted no larger than 300 square feet and ~~such wall sign shall be~~ located above the third floor or above 40 feet, whichever is the least. For signage above the third floor, the Planning Director, or the Historic Landmarks Commission if the sign is located on a historic landmark or in a historic district, may approve signage of greater than 300 square feet to the extent the applicant demonstrates signage exceeding 300 square feet is necessary for visibility and legibility of the sign.

### (2) Painted Exterior Wall Signs

(i) A painted exterior wall sign ~~is a sign identifying~~ identifies a use or on-premise establishment ~~within the building on which the sign is located~~ and consists entirely of copy that is painted directly on the exterior material of a building not including ~~any signs painted directly on~~ the exterior surface of a window, awnings, or other appurtenances.

(ii) Any painted exterior wall sign applied to the front or side of a building directly facing a street shall be regulated in the same manner as a wall sign. Any painted exterior wall sign applied to the side or rear of a building that does not directly abut a street is permitted ~~and provided~~ the area of all such signs ~~shall does~~ not exceed 300 square feet on the wall on which the signage is applied. ~~In determining the number of square feet, Only that part of the painted wall consisting of text or logos pertaining to the business, industry, or activity conducted on or within the premises shall constitute the area of the sign~~ be included. Art and graphic representations associated with the painted exterior wall sign that ~~do not constitute~~ are not text or logos shall not be subject to the area restriction ~~on area.~~<sup>4</sup>

### (3) Awning and Marquee Signs

(i) Awning and marquee signs are ~~defined as~~ signs incorporated in the awning material or attached flat to the face of an awning or marquee. A marquee is a roof-like projection or shelter, typically over the entrance to an entertainment venue, and typically containing an illuminated flat area for static or changeable sign copy. Signage attached such that the sign face is parallel with, or at an angle between 0 and less than 45 degrees of the building façade, shall be regulated in the same manner as wall signs. Signs attached in such a way as to be at a 45 degree or greater angle to the



building façade shall be regulated in the same manner as projecting signs. For marquees electronic message centers (EMCs) may comprise 100 percent of the face of the marquee and 100 percent of the size allowed for marquee signs.

#### (4) Window Signs

(i) Window signs are ~~defined as those~~ signs on the inside or outside of the window ~~and that are~~ visible from the outside of the window. Window signs are permitted provided all window signs in aggregate constitute no more than 50 percent of ~~the area of~~ all windows ~~for each tenant and for on~~ ~~the each~~ side of the building on which ~~said the~~ window signs are located. ~~Window signs do not require a sign permit.~~

#### (5) Projecting Signs

(i) Each establishment is permitted a maximum of one projecting sign, visible from any single angle, mounted to the exterior of the first or second floors. The area of the projecting signs shall be limited to 10 percent of the building face at the level on which the establishment is located or 75 square feet, whichever is less.

#### (6) Ground Signs

(i) A “ground sign” is any sign placed upon, or supported by, the ground independently of any building or structure on the property. Ground signs permitted in the D-1 district include “monument” signs and “pylon” signs. A “monument sign” is a ground sign for which the width of the widest part of the base or pylon cover of the sign is at least ~~90~~75 percent of the width of the widest part of the sign face, and for which the total height of the sign does not exceed 5 feet. A “pylon sign” is a ground sign whose sign face or cabinet is above ground level and is supported by poles, pylons, or posts.

(ii) Any parcel of land located in the Downtown Topeka Historic District is allowed one monument sign ~~or pylon sign~~ per street frontage not to exceed two signs, to a height not to exceed 10 feet. For each sign the sign area shall not exceed .5 square feet per lineal foot of frontage on the street to which it is oriented or 50 square feet, whichever is less. A pylon sign located on a base that is within 2 feet of the exterior building wall may be mounted on a pylon or similar support structure and the dimensional standards for projecting signs shall apply.

(iii) All other parcels of land may be permitted one sign per street frontage not to exceed two signs, to a height not to exceed 20 feet. For each sign the cumulative sign area shall not exceed .75 square foot per foot of frontage on the street to which it is oriented or 120 square feet, whichever is less.

(iv) Parcels of land with frontage on two or more streets may utilize a single ground sign in lieu of two ground signs provided the total area of said sign ~~shall does not~~ exceed 150 percent of the sign area allowed for any of the ground signs and in no instance ~~be is~~ greater than 75 square feet in the Downtown Topeka Historic District and ~~no more than~~ 150 square feet in area outside of the historic district.

(v) The poles or pylons used to support the cabinet of a pylon sign shall be contained within ~~the~~ pole or pylon covers of a material and color compatible with the sign and adjacent buildings. Pole or pylon covers shall ~~be of~~ ~~have an outside a~~ diameter of one foot or more.

(vi) Legal nonconforming ground signs may be refaced or have cabinets replaced without being required to comply with the standards in paragraphs i-iii. Legal non-conforming signs shall comply with the standards in paragraphs i-iii in the event they are removed or pole, pylon, or base is replaced.

#### (7) Roof Signs

(i) Each building ~~of a height of that exceeds~~ three floors or 40 feet ~~or more~~ is permitted one roof sign no larger than 300 square feet. The height of a roof sign, measured from the top of the highest parapet to the top of the sign, shall not exceed 25% of the height of the building or 30 feet, whichever is most restrictive. Roof signs shall comply with all applicable engineering and construction code requirements. The Planning Director, or the Historic Landmarks Commission if the sign is located on a historic landmark or in a historic district, may approve signage exceeding the above dimensional standards to the extent the applicant demonstrates signage exceeding the dimensional standards is necessary for visibility and legibility of the sign.

#### (8) Electronic Message Centers (EMC)

(i) EMCs may be incorporated in whole or in part into any of the above sign types. One EMC sign is permitted per street frontage per establishment provided the size of the EMC is limited to 50 percent of the allowable sign area for the type of sign in which it is incorporated. EMCs that are part of a marquee are allowed 100 percent of the allowed sign area and may comprise 100 percent of the face of the marquee.

#### (9) Directional Signs

(i) A directional sign ~~is a sign designed to~~ provides direction to pedestrian or vehicular traffic into and out of a site, or within a site. In addition to the ground signs provided in paragraph ~~“6” (MF1)~~ “6”, up to two directional signs, constructed as ground signs, whether as a monument or pylon type, each not to exceed 6 square feet and 5 feet in height, are permitted for each 50 feet of street frontage not to exceed four per parcel. All other directional signs shall be regulated in accordance with paragraphs ~~“1” through “5”~~ and paragraphs ~~“7”, and “8”, and “10” (MF2)~~.

(10) Illumination

(i) Internal, flood illumination, or direct (i.e. neon) are permitted. Flashing, strobing, blinking, fluttering, chasing, and similar lighting features are prohibited unless they are determined by the Planning Director to contribute to or consistent with the historic character of the sign and building.

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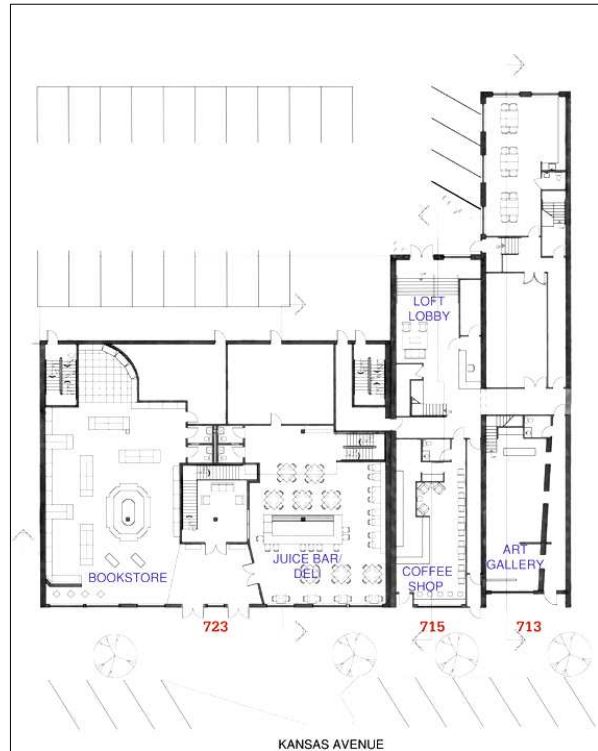
## Exhibit A

### DOWNTOWN TOPEKA URBAN DESIGN GUIDELINES

#### Purpose

~~Urban design is concerned with the appearance of Downtown Topeka, and the physical implications of design and planning decisions for the public realm of the City. Urban design is an effective means to coordinate how various public and private development proposals, including transportation and public infrastructure will affect the City physically. The focus of concern is on the public realm of Downtown: the public faces of buildings, public spaces, streets, sidewalks, parks and plazas that provide the outdoor public venues for many activities.~~

The purpose of these guidelines is to provide the regulatory authority to ensure that new construction and renovation of existing structures is consistent with the established urban form of Downtown. These guidelines are to be used as criteria for the design of new public and private projects and to be utilized in the evaluation of new projects by the approving authorities. These guidelines seek to balance private property rights against the public interest of protecting the appearance and existing investments Downtown.



The design guidelines offer a vision for an approach to downtown design that can be beneficial both to developers and to the community. The concepts for downtown development encourage the highest level of design quality and creativity while emphasizing key downtown design concepts such as, but not limited to:

- Maintaining the street wall at the front property line;
- enhancing the design of street façades;
- ensuring pedestrian compatibility;
- designing public spaces at a pedestrian-scale;
- creating visual interest; and
- maintaining design integrity and compatibility with surrounding structures.

A mix of uses (including office, retail, housing, or other uses) within a given project is encouraged, whether it is a single building or a redevelopment district.

### Applicability

These guidelines apply to the D-1 Zoning District with the exception of projects located within the South Kansas Avenue Commercial Historic District, which must follow the applicable design guidelines for that historic district rather than the D-1 guidelines. Within the boundaries of the D-1 Zoning District's designated National Register Historic Districts, these guidelines are amended by separate design guidelines as adopted. Any project within the D-1 Zoning District requiring a building permit must comply with approved design guidelines.

The guidelines established herein are not intended to restrict creative solutions. The D-1 guidelines describe ways to achieve the stated purpose of the guidelines and offer flexibility in meeting the key concepts for good downtown design. Not all guidelines will or are intended to be met. The “should”, “recommended”, or “encouraged” statements offer flexibility and indicate that the city is open to design features that are equal to or better than those stated, so long as the intent is satisfied.

Compliance with the guidelines will be determined in conjunction with the review and approval of a development site plan, all in accordance with adopted City of Topeka Site Plan regulations. Submission of plans for all elevations of a proposed building is required.

### Waiver/Exception

Relief from the application of certain design guidelines may be granted by the Planning Director if warranted by public safety, site constraints, and functionality considerations.

### Definitions

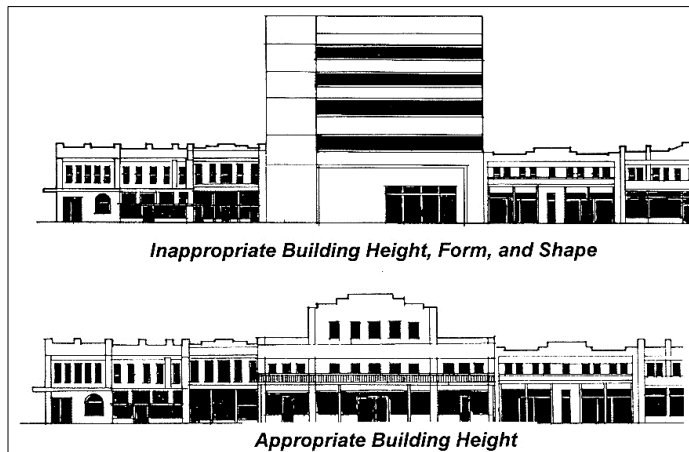
If in the course of administration of these guidelines, a question arises as to the meaning of any word, phrase, or section, the interpretation thereof shall be given by the Director of the Planning Department.

## **~~MIXED-USE DEVELOPMENT~~**

- ~~1. A mix of uses (including office, retail, housing, or other uses) within a given project is encouraged, whether it is a single building or a redevelopment district.~~

## **INFILL DEVELOPMENT**

1. Exterior additions to existing buildings or adjacent infill construction should be compatible with the character of the site, and take into account the size,



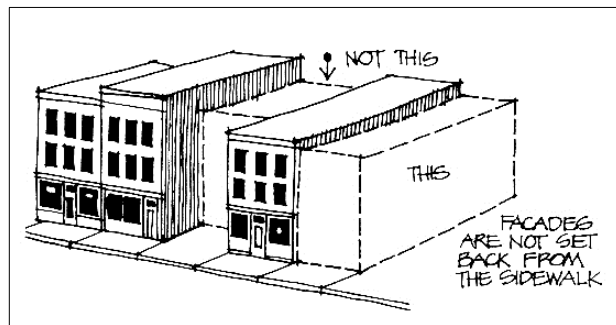
proportions, façade composition, rhythm and proportion of openings, materials, and colors of neighboring buildings. Techniques to help ensure compatibility with neighboring buildings include:

- Maintaining the street wall by locating the new building at the sidewalk;
- Ensuring the street level façade fits in contextually with neighboring properties;
- Differentiating the upper stories of the building from the street level façade by setting back the upper stories at the plane above the street level façade, and;
- Using different wall materials than the lower façade.

~~4.2.N~~ **Design** new on-site parking, loading docks or ramps should be designed to be unobtrusive and compatible with the primary use of the site. On-site parking should not be located along or adjacent to the street frontage. In those instances where parking is located along a street frontage, efforts to maintain the street wall will be imperative. Options include landscaping, low walls, etc.

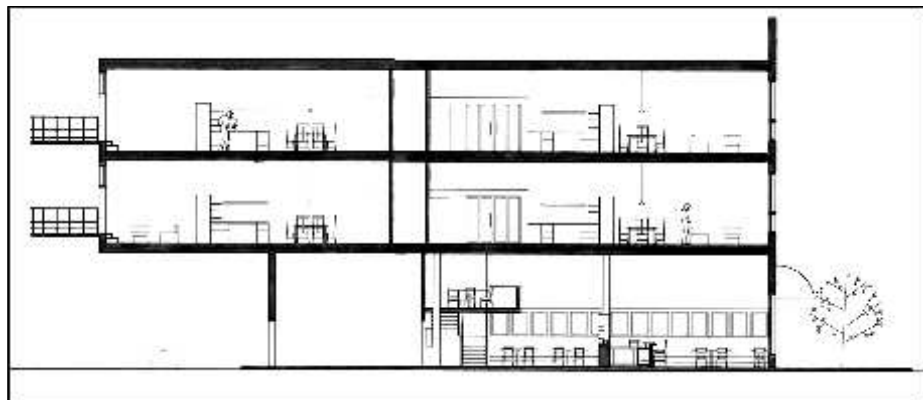
## STREET ORIENTATION

1. Buildings should generally be built up to the edge of the sidewalk in a consistent plane with the other buildings on the street.
2. Other street-level setbacks, plazas and widened sidewalks from the building line should be strategically placed in accordance with an overall open space plan. The new open spaces should be located to relate to other land uses such as retail, entertainment and transit routes.



## STREET LEVEL ~~USES~~ FORM

1. The ~~ground floors~~ street frontage of buildings should contain public or semi-public uses such as



commercial/office, retail or entertainment uses with direct entry from the street. Non-public/semi-public uses are appropriate on the first floor if located to the rear of the street frontage use.

2. New buildings should express a principal public façade and entrance on the adjacent street, and entries from parking facilities should be considered as secondary.
3. Retail activities within buildings should be oriented towards the street and have direct access from sidewalks through storefront entries.
4. Ground floor storefront restaurants are ~~strongly~~ encouraged to have ~~French doors, operable storefront windows and sidewalk cafes to increase the~~ a strong connection between the interior of the structure and the exterior street environments.
- ~~4.5.~~ Upper floor balconies should not extend structural supports into the public right-of-way below.
- ~~5.6.~~ Sidewalk cafes should not impair pedestrian circulation nor store entrance access. There should be at least a 6-foot contiguous and unobstructed walkway for use by pedestrians.

## BUILDINGS FACADES



1. New buildings should be open and inviting in both their principal and secondary facades. Blank walls, or any wall with less than 30% glass, should not be placed along public streets, but may be placed along alleys and service lanes.
2. Entryways should be generously proportioned and visually transparent so as to encourage connections to the public realm.
3. Decorative and functional elements such as signage, awnings, and ornamentation should be used to create human scale elements on the street-level facades to further encourage openness.
- ~~4. Blank walls should not be placed along public streets, but may be placed along alleys and service lanes.~~
4. Loading docks and garage entrances should not be located on the major pedestrian street side of new buildings.

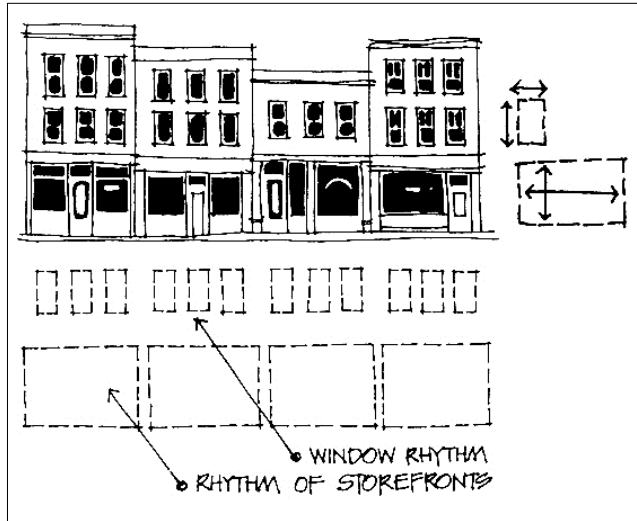




5. New curb cuts that conflict with safe pedestrian travel and existing on-street parking are discouraged.

6. Retail storefronts are strongly encouraged along the ground floor of all new and renovated buildings ~~within the Downtown D-I District.~~

These should be visually transparent to the interior with large areas of window display and should provide for direct entry from the sidewalk. The rhythm of windows and storefronts should be consistent.



- ~~7. Store display windows should be lit at night so as to contribute to ambient street lighting and a livelier street presence. Pull-down doors that cover the entire storefront are discouraged; visually open grates and grilles are preferred for security where needed.~~

## PARKING FACILITY DESIGN

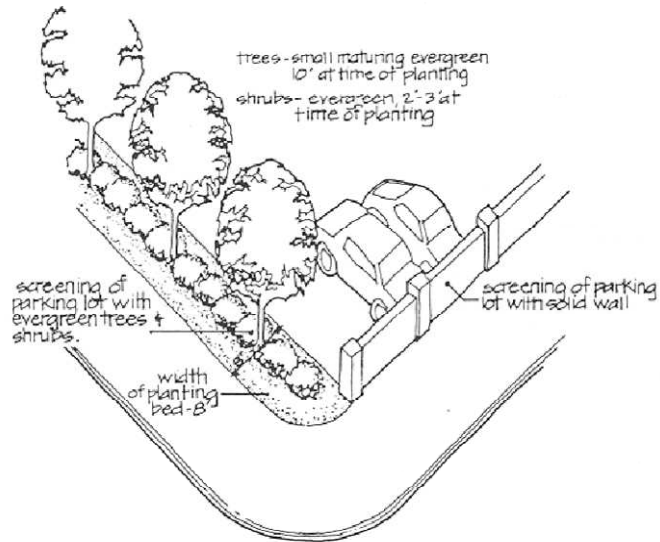
1. Facades of parking facilities should be treated with ~~high-quality materials~~ an architectural finish and given vertical articulation and emphasis. The façade should distinguish a base, middle and top by using different materials, or other methods and also respond to the context of surrounding buildings by using similar materials. The façade should be designed- so as to visually screen cars at street level. Sloping interior floors should not be visible or expressed on the exterior face of the building.



2. Retail storefronts or other business uses should be placed at the street level along the principal street and are encouraged along all adjacent streets except service alleys.
3. Pedestrian entries should be clearly visible and architecturally expressed on the exterior of the garage. Expression of the vertical pedestrian circulation (stairs and elevators) on the exterior of the garage is encouraged.



4. Surface parking lots should provide a ~~minimum of 20 square feet of landscaping for each parking space~~ landscaping in compliance with Topeka's landscape ordinance. Required landscaping should take the form of planter strips, landscaped areas and perimeter landscaping.



5. The existing street setback should be maintained along the principal street frontage in developed areas and established in new districts or developments. Tools for accomplishing this can include walls, fences, row of trees, hedges or any combination of these elements. The height and placement of such features should be balanced against CPTED principles.
6. While it is important to provide adequate interior lighting for safety and comfort, it should be controlled to avoid spill out on the adjacent streets creating excessive glare.

## ARCHITECTURE AND CONTEXT

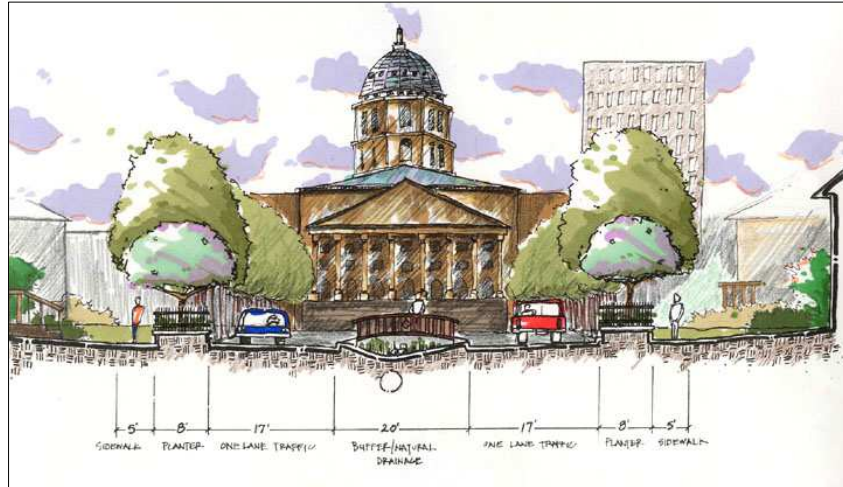
1. The architectural design of new buildings and the rehabilitation of existing buildings should be sensitive to the existing built and natural environment within which they are constructed. The architecture of the existing downtown buildings, ~~particularly buildings built before 1940~~, should provide examples of architectural themes, rhythm, materials and forms.



2. New construction ~~in the Downtown Districts are~~is not required to implement any particular architectural style, but should be designed to be compatible with the scale, form and materials of surrounding structures, by applying these guidelines.

## PUBLIC INFRASTRUCTURE IMPROVEMENTS

1. All new public infrastructure projects (roads, sidewalks, public buildings, and streetlights) should meet high standards of design quality and provide significant secondary benefits in the form of major public space improvements. These projects should be subject to the same standards of Downtown design that would be required of all other projects.



2. Public art projects are encouraged to be incorporated into every major public infrastructure project such as bridges, highways and roadways.



## ART IN PUBLIC PLACES

1. ~~New public spaces and infrastructure improvements are encouraged to have a significant component of public art so the project will have a visible presence.~~

## PUBLIC SPACES

1. New public spaces should consist of renovated or enhanced streets, or strategically selected places that are directly linked to the street system. ~~Primary opportunities are adjacent to the Kansas-Quincy, and at the intersections of 9th and Kansas Ave. and 8th and Van Buren St.~~



2. Generally, pedestrian ways should not be separated from streets and sidewalks, unless in riverfront parks. They should maintain direct access from the adjacent streets. They should be open along the adjacent sidewalk

and allow for multiple points of entry. A passerby should be able to see directly into the space.

~~3. The development of new districts and projects should emphasize the continuation or conservation of traditional block and street patterns.~~

~~4.3.~~ New public spaces should be developed with pedestrian amenities, such as ~~as follows~~:

- Landscaping.
- ~~1 tree per 1000 square feet of open~~ Open space. ~~(3½" caliper at planting).~~
- ~~A minimum of 25 linear feet of seating~~ Seating ~~for every 1000 square feet of open space.~~
- Public art.
- However, walls, fences and dense planting that visually secludes the interior space from the sidewalk should be avoided.



## HISTORY AND IDENTITY

1. All projects are encouraged to express local history and identity through functional and ornamental design elements and works of public art.
2. New development projects or renovation of existing



structures should be designed to preserve the historic resources that exist on the site and reinforce the historical context within which they are developed.



3. In the event that it is not possible to preserve the entirety of a historic building the retention of historic facades is encouraged.

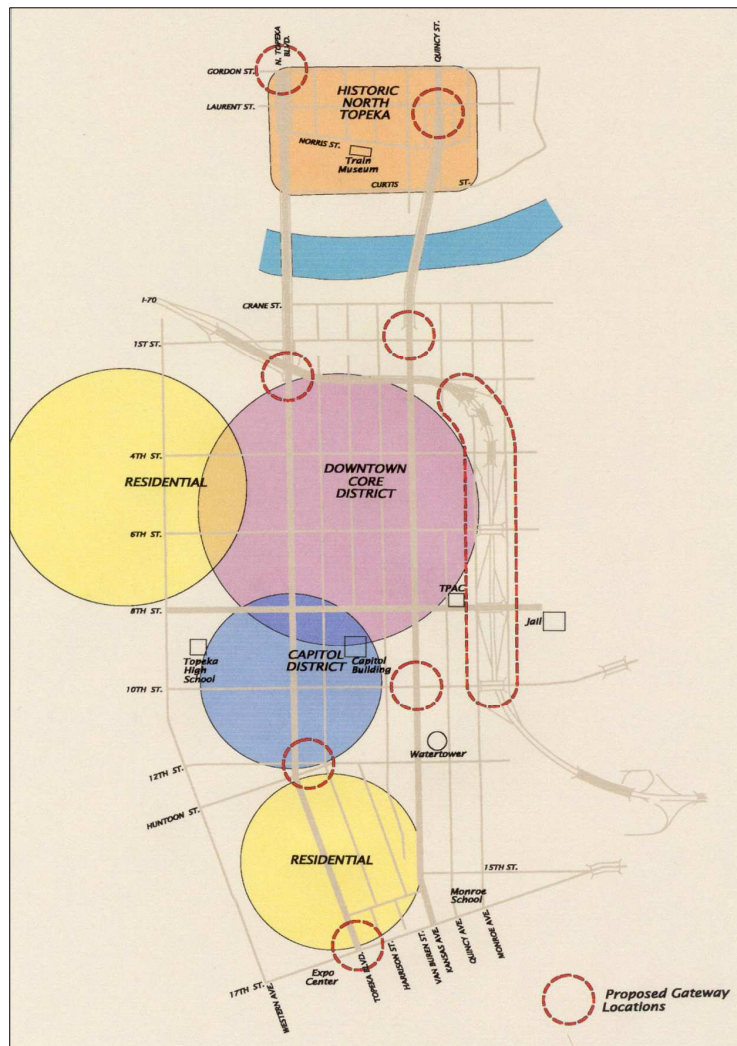
## STREET AND BLOCK ORGANIZATION

1. New buildings and development should respect the existing organization of the city and the street and block patterns that exist.
2. Superblock developments that join together one or more blocks are discouraged.
3. Where it is feasible, street grids should be extended, reestablished or newly created in areas of large-scale redevelopment.
4. New buildings or pedestrian bridges should not bridge across or block access to existing streets.



## ENTRANCES AND VISTAS

1. Buildings and new development projects should be sensitively designed and sited so as to preserve the key vistas and gateways to downtown and views of the State Capitol.
2. New buildings should not block the view corridors defined by the city streets, either by bridging across streets or the use of pedestrian bridges.



*Illustrations:*

- P.1 Dawn Wessels & Kim Korphage (top), Draft Lawrence, Kansas Downtown Design Guidelines (bottom)
- P. 2 *Keeping Up Appearances* Storefront Guidelines, National Trust for Historic Preservation (top), Kim Wassels (bottom)
- P. 3 Dave Devore (top), Planning staff (middle), *Keeping Up Appearances* Storefront Guidelines, National Trust for Historic Preservation (bottom)
- P. 4 Planning staff (top), *Design Review*, American Planning Assoc., PAS Report #454 (bottom)
- P. 5 Dawn Wessels & Kim Korphage (top), Charlotte Cox & Ryan Wilt (bottom).
- P. 6 Planning Staff (top, middle), Chris Handzel (bottom)
- P. 7 Bryce Wittenborn (top), Joe Loretta & Aaron Harnden (bottom)
- P. 8 Model and photograph by KSU Studio Students

## **Chapter 18.240**

### **OFF-STREET PARKING REQUIREMENTS**

#### **18.240.010 Scope and application.**

In any zoning district, for all structures built and all uses established after February 25, 1992, off-street parking shall be provided in accordance with the following regulations:

##### **(a) Scope of Regulations.**

(1) New Construction and New Uses. For all buildings and structures erected and all uses of land established after February 25, 1992, accessory off-street parking facilities shall be provided in accordance with the provisions contained herein.

(2) Expansion of a Building or Use. When the intensity of use of any building, structure, or premises shall be increased, additional parking facilities shall be provided as follows:

(i) Whenever a building, structure or use existing prior to February 25, 1992, is enlarged to the extent of less than 50 percent in floor area, the addition or enlargement shall comply with the parking requirements set forth herein.

(ii) Whenever a building, structure or use existing prior to February 25, 1992, is enlarged by one or more additions, the sum total of which increases the floor area to the extent of 50 percent or more, the uses contained within the original building or structure and all enlargements shall thereafter comply with the parking requirements set forth herein.

(iii) Whenever an existing single-family dwelling with more than 950 square feet in floor area has less than two parking spaces, it shall be permitted to expand by not more than 25 percent in floor area without having to comply with the off-street parking requirements set forth herein.

(3) Change of Use. Whenever a use existing prior to February 25, 1992, shall be changed to a new use, parking facilities shall be provided as required for such new use.

(4) Exempt District. Notwithstanding any other provision of this chapter, no parking facilities shall be required for any building or use as permitted in the ~~C-5 commercial district~~. D-1 or D-3 downtown district.

## **TMC 18.225 Specific Use Requirements changes affected by C-5 to D-1 Conversion**

...

### (o) Drive-up/Drive Through Facilities.

(1) In D and X Districts, the drive-up window, menu boards and all lanes needed for vehicle stacking shall be located to the rear or side of the principal building.

(2) In D and X Districts, the drive-up window facility shall be secondary and subordinate in size to the principal uses of the structure in which the drive-up facility is located.

(3) All lanes used for ingress, stacking, service, and egress shall be integrated safely and effectively with circulation and parking facilities.

(4) Ingress and egress shall be designed to minimize potential conflicts with vehicular, pedestrian, and bicycle traffic.

(5) The location and design of the drive-up facility shall minimize blank walls on street-facing exteriors of the building and disruption of existing or potential retail and other active ground floor uses.

(6) Approval of a traffic impact analysis by the city traffic engineer may be required.

(7) The principal use of the building must be permitted in the zoning district the drive through is requested.

### (p) Dwelling Units on Main Floor. Dwelling units located on main floors shall meet the following requirements:

(1) The units must be subordinate in area or location to nonresidential uses on the main floor;  
or

(2) The units shall be allowed in structures that were originally built for use as dwelling units, the structure has been used historically for dwelling units, or the dwelling units were converted from hospital, school, or hotel rooms.

...

### (x) Micro-Alcohol Production in X-2 and X-3 and D Districts:

1) Micro-breweries are limited to 5,000 barrels per year.

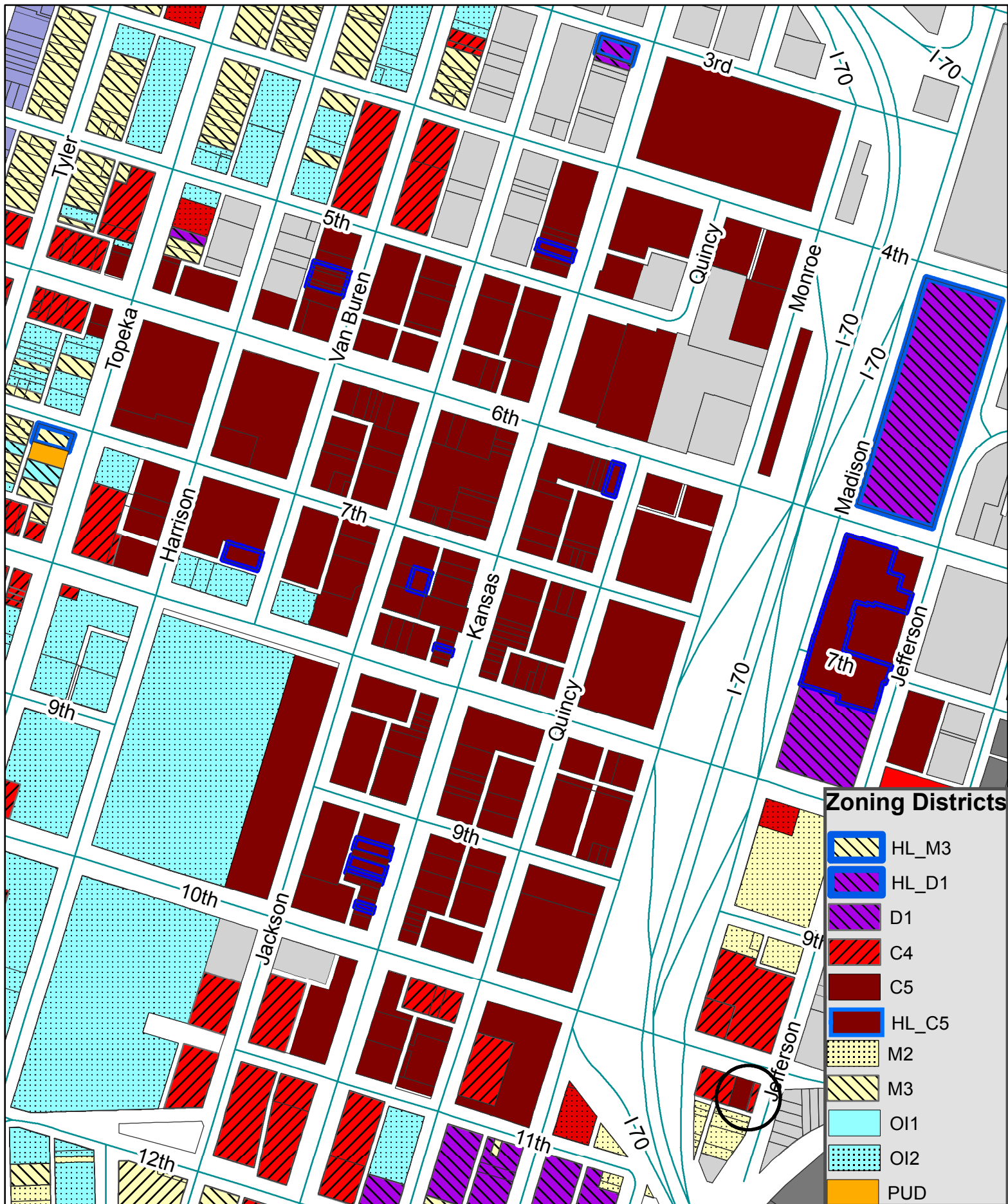
- 2) Tap rooms and tasting rooms are permitted as an accessory use and should be located near the street front side of the building.
- 3) Any portion of the building that fronts a public street should have a store front facade and include windows and door openings along the street frontage.
- 4) The area of the building used for manufacturing, processing, brewing, fermenting, distilling, or storage should be above or below the ground floor or located to the rear of the building or otherwise subordinate in area and extent.

...

(dd) Retail Merchandise Outdoor Display. Items for sale that are displayed outside buildings, exclusive of very large items such as vehicles and construction materials, shall meet the following standards:

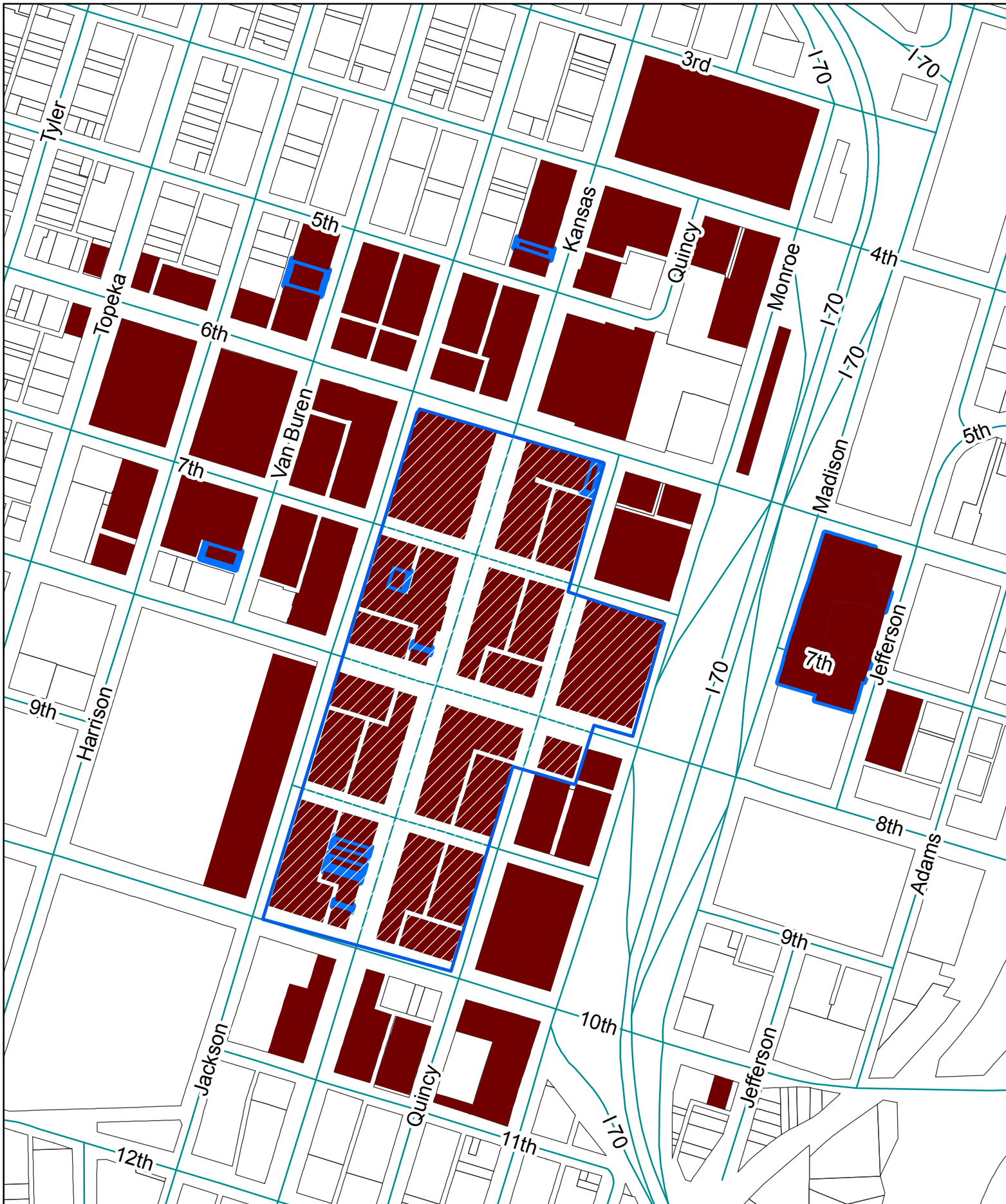
- (1) The display area shall not exceed 50 percent of the first floor area of the business.
- (2) Screening shall be provided between the merchandise being stored and residentially zoned properties when the merchandise is located in a side or rear yard next to residentially zoned properties. Merchandise shall not be stacked higher than the screening in this area.
- (3) The inventory of vehicles and equipment for sale, lease, or service shall not displace the minimum required number of off-street parking spaces.
- (4) In D and X Districts, retail merchandise outdoor display areas shall occur only during normal business hours. The outdoor display area shall not obstruct vehicular or pedestrian circulation and provide adequate pedestrian clearance.



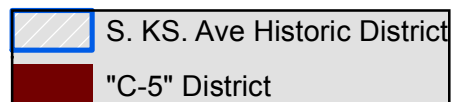


**Downtown Zoning Map**





**Downtown Zoning Map ("C-5")**



## EXHIBITS – MISCELLANEOUS AMENDMENTS

### Site Plan Applicability / Landscape Plans

#### *Revise General Provisions:*

##### **18.50.120 Enforcement.**

It shall be the duty of the ~~code enforcement~~ Planning dDirector of the city of Topeka or designee ~~or the Shawnee County zoning administrator~~ to enforce these regulations within their respective jurisdictions through proper legal channels. The Planning Director may require site plans and other building plans as necessary to determine compliance with these regulations prior to the issuance of a building permit or the use of property subject to these regulations. Appeal from the decision of the ~~code enforcement director or zoning administrator~~ Planning Director or designee may be made to the ~~b~~Board of ~~z~~Zoning ~~a~~Appeals as provided herein. Other officials of the various departments and divisions of the city of Topeka and Shawnee County shall have the duty and responsibility to report any apparent or alleged violations to the enforcement officer of the appropriate jurisdiction. (Code 1995 § 48-1.11.)

\* \* \*

#### *Revise Landscape Regulations:*

##### **18.235.030 Applicability.**

All requirements set forth in this chapter are applicable as follows:

(a) Any construction within the O&I-1, O&I-2, O&I-3, C-1, C-2, C-3, C-4, M-S, I-1, I-2, X-1, X-2, X-3, U-1, and D-2, and all planned unit development districts for the above listed use groups; parking lots in the C-5 or D-1 zoning district. Multifamily dwelling developments (buildings composed of four or more dwelling units), churches or other religious or institutional uses in any zoning district and all developments constructed under the provision of a conditional use permit, in any zoning district, are also subject to this chapter.

(b) An alteration to an existing structure which increases or decreases the amount of gross floor area of such structure by more than 50 percent, ~~and~~ or an alteration to a parking lot which increases or decreases

the gross area of the parking lot by more than 50 percent shall be required to come into compliance with all landscaping provisions contained in this chapter.

(c) The addition to a building or parking lot where the addition is adjacent to a residential use and a residential zone or parking lot buffer is required in accordance with buffer requirements in TMC 18.235.060.

(c) The provisions of this chapter shall apply to all legal nonconforming uses as established and defined in TMC 18.50.040. (Ord. 18255 § 2, 6-1-04; Ord. 17846 § 3, 6-11-02. Code 1995 § 48-38.02.)

\* \* \*

*Revise Site Plan Regulations:*

**18.260.030 Applicability.**

~~An approved site plan~~ approved in accordance with the provisions of this chapter shall be required prior to the issuance of a building permit; in the following instances:

(a) New Construction. For any new construction of a principal structure which requires a building permit in any zoning district except single-family, two-family, and triplex units which are expressly exempted; or for any new construction of a principal structure for an institutional use in any district; or

(b) Building Alteration. For any building alteration over 15,000 square feet, or any alteration increasing the gross floor area of a building or buildings by 50 percent or more, or any alteration increasing the height of a building by one floor or more, or any alteration that results in a significant change to vehicular circulation or in the net reduction of off-street parking by 20 percent or more, or to an existing structure on improved real estate as set forth in subsection (a) of this section; or

(c) Site Alteration. For any new parking or outdoor storage area, or any alteration increasing the area of a parking or outdoor storage area by 50 percent or more; or

(d) Accessory Uses and Structures. Site plan review shall not be required for accessory uses and accessory structures of greater than 400 square feet, or when said structures result in the net reduction of off-street parking or a significant change to vehicular circulation. However, such a Accessory uses and/or structures uses may be reviewed in conjunction with the review of principal structures when such accessory structures are shown on the site plan; or

(d) (e) General Provisions. A site plan is required whenever a specific reference is made to these regulations in any other part of the code of the city of Topeka ~~or in the regulations of Shawnee County.~~  
(Ord. 17913 § 3, 11-5-02. Code 1995 § 48-39.03.)

## **Landscape Plans for Industrial Uses**

### **18.235.060 Landscape requirements.**

(a) Performance Objectives. All required landscape plans shall emphasize plantings along visible street frontages and required buffer yards, as specified by this chapter to the greatest extent possible.

(b) Planting Requirements/Point System. The developer may use any combination of plantings to obtain the necessary number of points required for the developed area. Different developed areas will lend themselves to different types of plantings. This chapter encourages creativity and diversity in landscaping. In no case shall a mono-culture of plantings be allowed. A variation of plantings, at least three different species, is required.

Each landscape plan must equal or exceed a minimum number of base points in order to obtain approval. The number of points required depends on the size of the developed area (see Table 1). In order to obtain points, the plantings must be placed on the developed property and not on the public right-of-way, without the approval of the planning director in consultation with the public works department.

\* \* \*

(c) Landscape for Industrial Uses. For industrial uses in I districts as listed in the Land Use Matrix in Chapter 18.60, unimproved areas and outdoor storage areas will not be applied toward the generation of required points provided the purpose and performance objectives of this chapter, including the creation of landscape buffers and proper screening of parking and storage areas, are met.

## Artisan Manufacturing

### 18.55.10 A” definitions.

\* \* \*

“Artisan Manufacturing” means the production and assembly of finished products or component parts, typically by hand, and including design, processing, fabrication, assembly, treatment, and packaging of finished products. Typical artisan manufacturing trades include, but are not limited to: food and bakery products; non-alcoholic beverages; printmaking; leather products; jewelry and clothing/apparel; metal work; woodwork; furniture; and glass or ceramic production;. Artisan manufacturing differs from other forms of manufacturing as it is substantially limited in the scale of production and is controlled in a manner such that it shall not cause noise, odor, or detectable vibration onto any neighboring property.

\* \* \*

### 18.60.010

*Add row for “Artisan Manufacturing #”. “C” in C-1, C-2, C-3, and D-2; “s” in C-4, C-5, X-1, X-2, X-3, D-1, and D-3; Allowed and not subject to “s” in I-1 and I-2 districts. Prohibited in all other districts.*

### 18.225.010 Special Use Requirements

#### (a) Artisan Manufacturing

1. The area used for production and assembly shall be limited to no more than 80% of the gross floor area of the principal structure and shall not exceed a total of 6,000 sq. ft.
2. All activities and equipment associated with all aspects of Artisan Manufacturing must be confined to the interior of structures located on the property.
3. In C-1, C-5, X-3, and D-1, and D-2 districts artisan manufacturing occurring on the ground level within a designated district classification must retain the front portion of the ground level to serve as a storefront entrance to a showroom, retail space, office use, or permitted residential use, consistent with the general character of the adjacent properties.
4. The production process shall not produce offensive chemical odors, dust, vibration, noise, or other offensive external impacts that are detectable beyond the boundaries of the subject property.
5. Retail sales of the product produced on site are allowed. On-site retail sales of other non-related products are permitted.

## Microbreweries, Micro-distilleries, etc.

### 18.55.020 “B” definitions.

\* \* \*

“Brew pub” means an eating and drinking establishment that includes a microbrewery as an accessory use. The microbrewery is limited to 5,000 barrels per year, which is equivalent to 155,000 gallons per year.

\* \* \*

### 18.55.040 “D” definitions.

\* \* \*

“Drinking establishment” means a premises which may be open to the general public, where alcoholic liquor by the individual drink is sold. A microbrewery may be included as an accessory use and is limited to 5,000 barrels per year, which is equivalent to 155,000 gallons per year.

\* \* \*

### 18.55.060 “F” definitions.

\* \* \*

“Farm Winery” means a facility for the manufacture and storage of domestic table wine and domestic fortified wine for distribution, resale, or wholesale, on or off premises, with a capacity of not more than 100,000 gallons per year. Does not allow agricultural production.

\* \* \*

### 18.55.130 “M” definitions.

\* \* \*

~~“Microbrewery” means a facility licensed by the state for the production and packaging of malt beverages with low alcoholic content for distribution, retail, or wholesale, on or off premises, with a capacity of not more than 15,000 barrels per year.~~

“Micro-Alcohol Production” Includes Microbreweries, Farm Wineries and Micro-distilleries. A facility in which beer, wine or spirits are brewed, fermented or distilled for distribution and consumption, and possesses the appropriate license from the state. Tap and tasting rooms are permitted as an accessory use.

“Micro-brewery” means a facility for the production and packaging of beer for distribution, retail, or wholesale, on or off premises, with a capacity of not more than 15,000 barrels per year.

“Micro-distillery” means a facility for the and packaging of spirits for distribution, retail, or wholesale, on or off premises, with a capacity of not more than 50,000 gallons per year.

\* \* \*



### 18.55.200 “T” definitions.

“Tap/Tasting Room” means an area included on-site that is accessory to micro-alcohol production to allow customers to taste samples of products manufactured on-site and purchase related items. Sales of alcohols manufactured outside the facility are prohibited. Does not include food sales or service.

### TMC 18.60 Use Matrix

*Change “Micro Brewery” to “Micro Alcohol Production” and make “Micro-Alcohol Production” a “S” in X-2 and X-3 Districts and the D Districts.*

*Currently, “Micro Breweries” are permitted in C-4, I-1, I-2, X-2, and D-3; not permitted in X-1, X-3; and by CUP in C-5 and D-1, D-2*

*Delete “Bar/Tavern” use in matrix and add “Drinking Establishment” use. TMC 18.55 Definitions refers to a “Drinking Establishment” not a “bar/tavern”. Also, consistent with State licensing terms.*

\* \* \*

### TMC 18.225.010 Special Use Requirements

*Proposed Change to add specific use standards for “Micro-Alcohol Production” in X-2, X-3 and D Districts:*

(u) Micro-Alcohol Production in X-2 and X-3 and D Districts:

- 1) Micro-breweries are limited to 5,000 barrels per year.
- 2) Tap rooms and tasting rooms are permitted as an accessory use and should be located near the street front side of the building.
- 3) Any portion of the building that fronts a public street should have a store front facade and include windows and door openings along the street frontage.
- 4) The area of the building used for manufacturing, processing, brewing, fermenting, distilling, or storage should be above or below the ground floor or located to the rear of the building or otherwise subordinate in area and extent.

## Mobile Retail Vendors

### 18.55.010 “M” definitions

\* \* \*

“Mobile Retail Vendor” means any person, corporation, association, or other entity, however organized, that offers any merchandise, food and/or beverage for sale from any vehicle, trailer, cart, or other type of conveyance.

\* \* \*

### 18.60.010 Use Tables

\* \* \*

*Add a row for Mobile Retail Vendors to the Land Use Matrix as an “s” in all districts.*

*Note: “s” means the use is permitted subject to the Special Use Requirements in TMC 18.225.*

\* \* \*

### 18.225.010 Special Use Requirements

\* \* \*

#### (n) Mobile Retail Vendors

(1) Mobile retail vendors are allowed in zoning districts where retail sales are permitted per TMC 18.60.

(2) In zoning districts where retail sales are not permitted, mobile retail vendors, not including sales of fireworks, may be permitted in association with public facilities when approved by the owner. The mobile retail vendor shall be located a sufficient distance from adjacent residential land uses so as not to generate a negative impact to adjacent residential land uses.

(3) Approval of the mobile retail vendor by the property owner is required.

(4) The mobile retail vendor shall not occupy any required parking areas and associated driveways.

(5) The siting of the mobile retail vendor, including but not limited to the mobile retail vendor’s vehicles, merchandise, and customer service areas, shall not hinder the flow of pedestrian, bicycle, and vehicular traffic and shall not compromise the safe movement of traffic.

(6) The mobile retail vendor shall obtain all permits and comply with the laws administered by city, state, county, and applicable jurisdictions.

## **Outdoor Concert Venue / Outdoor Recreation Type III**

### **18.55.180 “R” definitions.**

\* \* \*

“Recreation, outdoor (type III)” means high intensity activities including: go kart tracks, horse and auto race tracks, drag strips, motorized kiddie parks, amusement parks, sport stadiums/complexes and arenas, outdoor concert, music, performance, and theater venues, and similar activities.

\* \* \*

*Add a note to the Land Use Matrix to include outdoor concert, music, performance, and theater venues under Recreation Outdoor Type III .*

## Wood and Yard Waste Recycling

### 18.055.120 “L” definitions.

\* \* \*

“Landfill, demolition” means a facility for the disposition of construction/demolition wastes, including yard and wood waste recycling which are transported to a permitted disposal area from an off-site source, and disposing of said wastes without creating nuisances or hazards to the public health or safety of the environment.

*No change is proposed to 18.60 Matrix. Landfills, Demolition are allowed by CUP in I-1 and RR-1 and subject to Specific Use in I-2.*

## Automobile Wrecking and Salvage Yards

### 18.55.010 “A” definitions.

#### Revised Definition

“Automobile wrecking and/or salvage yard” means ~~area outside of a building~~ a building and/or site which is maintained, operated or used for the storing, keeping, buying, or selling of junk (as cross referenced in TMC 5.135) and where motor vehicles and/or heavy appliances or machinery not in operable condition are disassembled, dismantled, junked, or wrecked, stored , or the used parts thereof are bought, and/or sold., ~~or where motor vehicles not in operable condition or used parts of motor vehicles are stored.~~

#### Old Definition

“Automobile wrecking yard” means an area outside of a building where motor vehicles are disassembled, dismantled, junked or wrecked, or where motor vehicles not in operable condition or used parts of motor vehicles are stored.

\* \* \*

### 18.60 Land Use Matrix

Add “Automobile Wrecking and/or Salvage Yard” to Use matrix TMC 18.60 to require a CUP in I-2 Heavy Industrial, and to be prohibited in all other districts. Add “#” for see definition and note to indicate cross reference TMC 5.135

“Junk” is defined in TMC 5.135 (Salvage Yard section) code section concerning “Salvage yards” and should be cross reference in matrix.

## Cargo Containers

### 18.55.030 “C” definitions.

“Cargo container” means any portable, weather-resistant receptacle, container or other structure that is designed or used for the storage or shipment of household goods, commodities, building materials, furniture, or merchandise. A cargo container is synonymous with “shipping container”, may be rented for temporary or long term, and is typically delivered and removed from the property via truck.

\* \* \*

## Chapter 18.210

### ACCESSORY USES

#### 18.210.010 Accessory uses.

Accessory uses, buildings and land customarily associated with, and clearly incidental to, a permitted use, special use requirement or conditional use permit shall be permitted provided they are:

- (a) Located on the same lot or parcel as a principal use and commonly associated with a principal building or use.
- (b) Subordinate in area, extent and purpose to the principal building. The cumulative footprint of all accessory buildings shall not exceed 90 percent of the principal building’s footprint.
- (c) Operated and maintained under the same ownership and are contributory to the comfort, convenience or necessity of the occupants, business or industry in the principal building or use served.
- (d) Time of Construction. No accessory building shall be constructed or established more than 120 days prior to the time of completion of the construction or establishment of the principal building or use to which it is an accessory. (Ord. 19921 § 136, 9-23-14.)

#### 18.210.020 Permitted uses.

The accessory uses, buildings and other structures permitted in each zone may include the following:

- (a) In the RR-1 district:

\* \* \*

(18) Temporary construction buildings for on-site construction purposes for a period not to exceed the duration of the construction project.

- (b) In the R-1, R-2, R-3, R-4, M-1 and M-1a districts: in addition to the accessory uses included in subsections (a)(6) through (a)(18) of this section, the following shall be permitted:

(1) Storage buildings and garages for the storage of wood, lumber, lawn or gardening equipment and other materials and equipment, exclusively for the personal use of the residents of the premises, but not including storage for commercial purposes. Truck bodies and cargo containers are not allowed as accessory uses. However, cargo containers may be used on a temporary basis for up to 30 days within a calendar year as regulated by TMC 18.210.050.

(2)(i) No farming equipment or farming machinery shall be parked or stored on a lot or tract of land unless within an enclosed lawful structure, or screened from view from any abutting property or street. No truck, excluding a pickup truck, trailer, boat, bus, tractor, or similar vehicle, machinery, or equipment with a curb weight (unloaded vehicle weight) or manufacturer's gross vehicle weight rating exceeding six tons shall be parked or stored any place on a lot or tract of land within an R, M-1 or M-1a district.

(ii) No commercial vehicles or commercial equipment, machinery or materials of any kind shall be stored any place on a lot or tract of land, except if such vehicles, equipment, machinery or materials are in temporary usage to actively accomplish permitted temporary activities on the premises such as construction, repair, moving, and other similar activities. In such case they shall be removed from the lot or tract of land within 48 hours of completion of said activity.

(3) Off-street parking as regulated by Chapter [18.240](#) TMC.

(4) A child's playhouse.

(c) In the M-2 and M-3 districts: in addition to the accessory uses included in subsection (b) of this section, the following shall be permitted:

(1) A maintenance storage building incidental to a permitted use, provided no such structure shall exceed 160 square feet in gross floor area, and shall be in keeping with the principal structure.

(2) A facility for leasing, managing and/or maintenance of a multiple-family dwelling or planned unit development, provided such facility is of such size and scale which is in keeping with, and is accessory in nature to, said multiple-family dwelling or planned unit development, all as determined by the planning director.

(d) In the O&I-1, O&I-2 and O&I-3 districts:

(1) For residential uses, the accessory uses included in subsection (c) of this section shall be permitted.

(2) Off-street parking as regulated by Chapter [18.240](#) TMC.

(3) A storage building incidental to a permitted use, provided no such structure shall exceed 400 square feet in gross floor area, and shall be in keeping with the principal structure.

(4) Employee restaurants and cafeterias, when located in a principal structure.

(5) Signs as regulated by Chapter [18.20](#) TMC.

(6) Fences as regulated by TMC [18.210.040](#).

(7) Flagpoles and statuary.

(8) Private garages and carports.

(e) In the C-1, C-2, C-3, C-4 and C-5 districts: in addition to the accessory uses included in subsection (d) of this section, the following shall be permitted:

(1) Restaurants, drugstores, gift shops, clubs, lounges, newsstands, and travel agencies when located in a permitted hotel or motel.

(2) One independent, freestanding commercial structure of 400 square feet or less in the C-1 district and 600 square feet in the other districts shall be permitted on a zoning lot. Such accessory structure shall not be required to provide off-street parking, but shall be located as to not interfere with or reduce the amount of required parking for the principal use. The location of such accessory structure shall be reviewed and approved by the planning director at the time of building permit application, provided such location does not conflict or interfere with site access and interior vehicular circulation.

\* \* \*

#### **18.210.050 Cargo Containers**

Cargo containers as an accessory use are permitted in the I-1 and I-2 districts. In all other districts cargo containers are permitted only in accordance with the following provisions and standards.

(a) In a residential zoning district, one cargo container used as a moving pod no larger than 160 square feet and no more than 9 feet tall may be used on a temporary basis for up to 30 days within a calendar year

(b) In a non-residential or mixed use zoning district, cargo containers no larger than 320 square feet and no more than 9 feet tall may be used on a temporary basis for up to 30 days within a calendar year

(c) In commercial zoning districts C-3, C-4, X-2 and where accessory to institutional uses in other zoning districts, cargo containers shall not be visible from a public street either by placement or opaque fence/landscape screening. Any cargo container only visible from the front of buildings on adjacent property shall be set against the primary building and color matched with the building, and shall be limited to one cargo container. In addition, cargo containers shall:

(1) not displace or interfere with required parking, circulation, or emergency access; and

(3) not be used as a base, platform, or location for business identification signs; and

(3) not be located in any required front or side yard setback adjoining a street right-of-way; and

(4) be located at grade level and not be stacked.

(d) Exceptions to the requirements in paragraphs a – c above include:



1) Cargo containers used for allowed on-site construction purposes for a period not to exceed the duration of a construction project with a valid building permit and for no more than 180 days for construction projects not requiring a building permit.

2) Cargo containers used where accessory to public or institutional athletic fields as the primary use.

3) Cargo containers not meeting the exceptions as described in this paragraph shall be subject to the conditions and standards of paragraph (c).

(e) Any legally existing cargo containers made non-conforming as a result of these regulations have 180 days from the adoption and publication of these regulation to conform.

## Uncovered Horizontal Structures

### 18.230.040 Permitted encroachments in required yards.

Under the terms of this division, a required yard shall be open, unoccupied, and unobstructed from grade to the sky. The following are permitted encroachments in required yards ~~except in the case of platted setbacks and recorded easements, in which case no encroachments are permitted.~~

- (a) Accessory Building. Accessory buildings may be located in any yard except the front yard, provided they shall comply with the requirements of Chapter [18.210](#) TMC.
- (b) Architectural Features. Eaves, cornices, marquees, awnings, canopies, belt courses, sills, buttresses or other similar features which extend beyond the wall of a building may encroach into any required yard by not more than 30 inches.
- (c) Canopy, Gas Pump Island. Unenclosed canopies over gas pump islands may encroach into any required yard, provided the supports shall be no closer than 10 feet to the right-of-way line and do not conflict with the sight distance triangle as established by the city or county.
- (d) Chimneys, Bay Windows and Balconies. Chimneys, bay windows and balconies may encroach into any yard not more than 30 inches, provided such features do not occupy, in the aggregate, more than one-third of the length of the building wall on which they are located.
- (e) Fences, Hedges and Walls. Fences, hedges and walls may be located in any yard, subject to the requirements of TMC [18.210.040](#).
- (f) Fire Escapes and Unenclosed Stairways. Fire escapes and unenclosed stairways exceeding a height of 6 feet may encroach into any yard, provided they shall not extend into a side yard more than three feet or into a rear yard more than five feet. Fire escapes and unenclosed stairways of a height of 6 feet or less are subject to the permitted encroachments for uncovered horizontal structures.
- (g) Dispensing Equipment and Devices. Fuel pump and air dispensing devices located in districts where allowed shall be exempt from the front yard requirement, but, on a corner lot all such dispensing equipment and devices shall be subject to the sight distance triangle as established by the city or county.
- (h) ~~Off-Street Parking, Off-Street and Driveway Access.~~ Except as otherwise provided in Chapters [18.235](#) and [18.240](#) TMC, open off-street parking and driveway access may be located in any yard.
- (i) Uncovered Horizontal Structures. ~~Uncovered horizontal structures including Porches, Deck and Stoops porches, decks, patios, stoops, and stair landings. An unenclosed porch, deck or stoop may~~

encroach ~~not more than 10 feet into the front or rear required yards and shall maintain a minimum distance of 12 and one half feet from a street right of way line; provided further, the aforementioned improvements shall not be in conflict with an established setback line as reflected on a plat of subdivision as follows:-~~

- 1) Uncovered horizontal structures of a height of six inches or less may encroach entirely into required yards but shall maintain a minimum distance of 12 and one half feet from street rights-of-way.
- 2) Uncovered horizontal structures of a height greater than six inches and no greater than 30 inches may encroach into required yards but shall maintain a minimum 3 foot setback from side and rear property lines and a minimum setback of 12 and one half feet from street rights-of-way
- 3) Uncovered horizontal structures of a height greater than 30 inches may encroach not more than 10 feet into the required front or rear yards but shall maintain a minimum distance of 12 and one-half feet from street rights-of-way.
- (4) The height of a porch, deck, patio, stoop, stair landing or similar structure is measured from the deck or walking surface to surrounding grade.

## Fences

### 18.210.020 Permitted uses.

---

The accessory uses, buildings and other structures permitted in each zone may include the following:

(a) In the RR-1 district:

\* \* \*

(7) Fences as regulated by TMC [18.210.040](#).

\* \* \*

(b) In the R-1, R-2, R-3, R-4, M-1 and M-1a districts: in addition to the accessory uses included in subsections (a)(6) through (a)(18) of this section, the following shall be permitted:

\* \* \*

(c) In the M-2 and M-3 districts: in addition to the accessory uses included in subsection (b) of this section, the following shall be permitted:

\* \* \*

(d) In the O&I-1, O&I-2 and O&I-3 districts:

\* \* \*

(6) Fences as regulated by TMC [18.210.040](#).

\* \* \*

(e) In the C-1, C-2, C-3, C-4 and C-5 districts: in addition to the accessory uses included in subsection (d) of this section, the following shall be permitted:

\* \* \*

(f) In the I-1 and I-2 districts, the following shall be permitted:

(1) Fences as regulated by TMC [18.210.040](#).

\* \* \*

(g) In the U-1 district: the accessory uses included in subsection (c) of this section.

(h) In the MS-1 district: the accessory uses included in subsection (d) of this section.

(i) In the X-1, X-2 and X-3 districts: the accessory uses included in subsections (b), (c), (d), (e) and (f) of this section shall be in compliance with any applicable performance standards of the X mixed use districts. (Ord. 19921 § 137, 9-23-14.)

**Cross References:** Planning department, TMC [2.25.210](#).

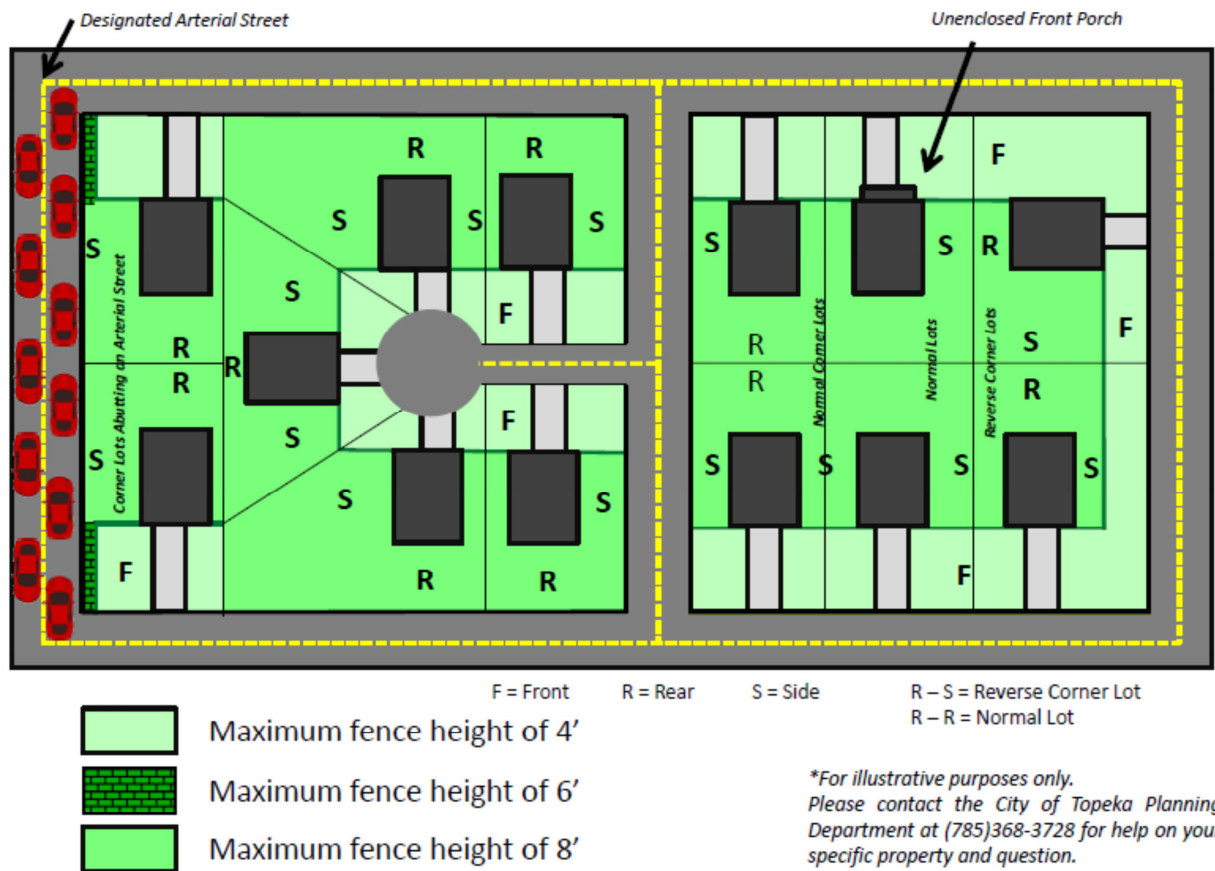
\* \* \*

**18.210.040 Fences.**

(a) Location and Height. Fences and hedges shall be subject to the following location and height requirements:

- (1) Except as provided in subsection (c) of this section, no portion of a fence shall exceed eight feet in height.
- (2) Fences and hedges shall be located so no part thereof extends into public right-of-way nor is located closer than one foot from a public sidewalk.
- (3) In R and M districts, fences beyond the front face of the principal structure shall not exceed four feet in height. On corner lots, but not including reversed corner lots, fences beyond the front face of the principal structure where the fence is located along an arterial street that runs perpendicular to the corner lots' established rear yard shall not exceed six feet in height. On reversed corner lots, fence heights shall be limited to four feet within all required front yards. On double frontage lots, fence heights shall be limited to four feet where such lots abut the established minimum front yard of any adjoining lot. The following diagram illustrates the setback requirements applicable by this paragraph.

### Fence Height Limit Diagram\* (for "R" and "M" zoning districts)



(b) Hazards. Notwithstanding subsection (a) of this section, no fence shall be constructed:

- (1) Upon determination by the city engineer that the proposed fence constitutes a traffic hazard;
- (2) The location of the fence creates a site obstruction, such as within a site distance triangle, as prohibited by Chapter [12.20](#) TMC, Public Traffic Hazards; or
- (3) In such a manner or design as to be hazardous or dangerous to persons or animals.

(c) Construction Methods and Materials:

(1) Fences in all districts shall be constructed of normally used fencing materials such as chain link, wood slats, masonry, iron, vinyl, or other materials typically supplied by vendors of fencing materials. The finished side of the fence shall face the adjacent property or street. Fences shall not be constructed of salvaged metal, salvaged wood, or other material not typically supplied by vendors as fencing materials.

(ed) The following shall constitute exceptions to the requirements of subsection (a)(1) of this section:

(1) Fences located in or upon parks and/or recreational facilities; provided, however, this exception shall not apply to recreational facilities which are accessory to a single-family dwelling.

(2) Fences located in or upon public use facilities or public utility facilities, such as electrical substations or pumping stations, shall be limited to eight feet in height unless the planning director determines that additional height, not to exceed ~~nineteen~~ nineteen feet, is necessary for public health and safety. (Ord. 19547 § 1, 4-12-11.)

(e) Fences in X districts shall comply with TMC 18.185.070.

**Cross References:** City engineer, TMC [2.25.180](#); planning department, TMC [2.25.210](#).

## Purpose and Applicability of Mixed Use Districts

### Chapter 18.185 X MIXED USE DISTRICTS

\* \* \*

#### **18.185.010 Purpose and regulations.**

(a) Purpose. The mixed use districts ~~are unique to~~ may be located in traditional neighborhood settings, and to a limited extent in areas envisioned for mixed use development by the comprehensive plan, and are provided to encourage a compatible mixed use environment, ~~utilizing the historic character of the area.~~ The X mixed use districts also serve to implement neighborhood and other specific land use plans of the Topeka comprehensive plan.

(b) Regulations. The regulations set forth in this chapter or set forth elsewhere in this division are the district regulations for the X mixed use districts. (Ord. 17746 § 1, 11-13-01; Ord. 17502 § 1, 5-22-00. Code 1995 § 48-23a.00.)

#### **18.185.020 Mixed use district classifications.**

There are three classifications of mixed use districts as follows:

(a) X-1 Mixed Use District. This district facilitates a compatible mixed use activity center within a traditional residential neighborhood and in those areas envisioned for mixed use by the comprehensive plan. The district includes a balance of compatible residential, office, civic, and neighborhood commercial retail/service uses of low to moderate intensity that complement and support dense neighborhood residential areas and pedestrian usage with quality urban design.

(b) X-2 Mixed Use District. This district facilitates a mixed use area that transitions from a higher intensity industrial use area to lower intensity neighborhood-scale residential areas and includes a balance of compatible residential, office, commercial service, and light industrial uses.

(c) X-3 Mixed Use District. This district facilitates a destination-oriented mixed use district in the area known as the North Crossings area of North Topeka that serves as the northern entertainment/cultural anchor of downtown. The objectives of the district include:

- (1) Improving the area as a 24-hour destination for urban, cultural, entertainment, community, and residential experiences; and



- (2) Retention and attraction of businesses, workplaces and residences through adaptive reuse and rehabilitation of existing buildings as a preference; and
- (3) Redeveloping vacant and under-utilized properties through appropriately scaled in-fill development; and
- (4) High quality development and urban design standards that maintain a sense of history, human scale, and pedestrian-orientation. (Ord. 17746 § 2, 11-13-01; Ord. 17502 § 2, 5-22-00. Code 1995 § 48-23a.01.)

**18.185.030 Applicability of mixed use districts.**

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(a) The X districts shall only be permitted on an area-wide basis as designated by a specific land use policy set forth in the comprehensive metropolitan plan for that area. The X district shall be identified as an area that merits special design considerations, involving a variety of property owners and uses within a developed urban environment. The X district shall be sufficiently cohesive and substantial to achieve a common objective as identified in the comprehensive plan.

## Little Free Libraries

### 18.55.060 “F” definitions.

“Fabrication” means that part of manufacturing which relates to stamping, cutting or otherwise shaping processed materials into objects and may include the assembly of standard component parts, but does not include extracting, refining, or other initial processing of basic raw materials.

\* \* \*

“Little free libraries” are structures for the storage and donation of books or other non-perishable items made available to the general public for no remuneration, and which may be located on private property in a structure or receptacle of a limited size and volume.

“Frontage” means any lot line abutting a public street right-of-way. (Ord. 19370 § 103, 3-23-10. Code 1995 Appx. C, Art. XXXV.)

## Chapter 18.210 ACCESSORY USES

### Sections:

- [18.210.010](#) Accessory uses.
- [18.210.020](#) Permitted uses.
- [18.210.030](#) *Repealed.*
- [18.210.035](#) Home occupations.
- [18.210.040](#) Fences.

### 18.210.010 Accessory uses.

Accessory uses, buildings and land customarily associated with, and clearly incidental to, a permitted use, special use requirement or conditional use permit shall be permitted provided they are:

- (a) Located on the same lot or parcel as a principal use and commonly associated with a principal building or use.
- (b) Subordinate in area, extent and purpose to the principal building. The cumulative footprint of all accessory buildings shall not exceed 90 percent of the principal building’s footprint.

(c) Operated and maintained under the same ownership and are contributory to the comfort, convenience or necessity of the occupants, business or industry in the principal building or use served.

(d) Time of Construction. No accessory building shall be constructed or established more than 120 days prior to the time of completion of the construction or establishment of the principal building or use to which it is an accessory. (Ord. 19921 § 136, 9-23-14.)

**18.210.020 Permitted uses.**

The accessory uses, buildings and other structures permitted in each zone may include the following:

(a) In the RR-1 district:

- (1) Open or enclosed storage of farm materials and equipment.
- (2) Farm buildings, including barns, stables, sheds, toolrooms, shops, tanks, bins and silos.
- (3) Fuel storage tanks and dispensing equipment for fuels used solely for farming operations. No wholesale/retail sales of such fuels shall be allowed as an accessory use.
- (4) Wholesale and retail sales of agricultural products grown or raised upon the premises.
- (5) Roadside stands for the sale of produce grown on the premises; provided, that such a stand shall not contain more than 600 square feet of floor area, the stand is located no closer than 20 feet from the right-of-way, and access to the stand is from an entrance to the farm or residence.
- (6) Private, noncommercial antenna and supporting structure when used for amateur radio service; citizens band radio; a telecommunication device that receives only a radio frequency signal; a sole-source emitter with more than one kilowatt average output; and satellite receiving devices, provided they shall not be located in the area between the street and principal building nor within the required side yard.
- (7) Fences as regulated by TMC [18.210.040](#).
- (8) Gazebos, enclosed patios and similar buildings for passive recreational use.
- (9) Home occupations as regulated by TMC [18.210.035](#).
- (10) Private garages and carports.

(11) Private greenhouses or conservatories.

(12) Private recreational uses and facilities including but not limited to swimming pools and tennis courts, if the use of such facilities is restricted to occupants of the principal use and guests for whom no admission or membership fees are charged.

(13) Private or public utility transmission, distribution and/or collection systems; and not, however, including substations and distribution substations, pump stations, reservoirs, towers, transmission equipment buildings and similar facilitating structures.

(14) Residential accessory storage buildings for the storage of wood, lumber, lawn or gardening equipment and other materials and equipment, exclusively for the personal use of the residents of the premises, but not including a storage building for commercial purposes.

(15) Signs as regulated by Chapter [18.20](#) TMC.

(16) Statuary, arbors, trellises, flagpoles, and barbecue stoves.

(17) Structures for the shelter of household pets except kennels.

(18) Temporary construction buildings for on-site construction purposes for a period not to exceed the duration of the construction project.

(19) Little free libraries and other similar donation receptacles associated with residential uses are limited to a height of 6 feet, a width of 2 feet, and volume of 6 cubic feet, and to a height of 6 feet, width of 4 feet, and volume of 10 cubic feet when associated with non-residential uses.

(b) In the R-1, R-2, R-3, R-4, M-1 and M-1a districts: in addition to the accessory uses included in subsections (a)(6) through (a)(~~18~~19) of this section, the following shall be permitted:

## Condition of Signs

### 18.10.100 Maintenance and removal.

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(a) All signs ~~must~~ shall be maintained in good condition ~~and the owner thereof shall repair any signs when ordered to do so by the public works director, planning director or their designees.~~ (b) A sign with missing or visibly damaged face panels, exposed internal lights and related internal hardware, visible deteriorating paint and rust, or structural damage that may be hazardous to the public is not in good condition and shall ~~If any sign is not maintained in good condition so as to meet the approval of the public works director, planning director or their designees, then the public works director, planning director or their designees may order such sign to be~~ repaired or removed within a reasonable time as determined by the planning director. (Ord. 17906 § 2, 10-15-02; Code 1981 § 39-68. Code 1995 § 118-10.)

## Accessory Dwellings

In land use matrix add a row for “Dwelling, Accessory” after “Dwelling, Multiple-Family”. It is allowed in M-1, M-1a, M-2, M-3, X-1, X-2, X-3, D-1, and D-2 districts.

Add to definitions:

### 18.55.040 “D” definitions.

\* \* \*

“Dwelling, accessory” means an independent, detached dwelling unit having the defining characteristics of a “dwelling unit” but, in addition, being secondary to a primary dwelling located on the same lot of record and containing a maximum of 600 square feet, not including garage.

## Commercial Vehicles

### 18.55.030 “C” definitions.

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\* \* \*

“Commercial equipment” means any equipment or machinery used in a business, trade or industry, including liquid storage tanks exceeding 100 gallons, earth-moving equipment, trenching or pipe-laying equipment, landscaping equipment, spools of wiring/cable, portable pumps, portable generators, portable air compressors, pipes, pool cleaning equipment and supplies, and any other equipment or machinery similar in design or function. However, equipment and machinery for business use kept within an enclosed pickup truck or van; ladders, PVC pipe, or conduit attached to a truck or van via a rack; or equipment and machinery solely for personal residential use are not included.

“Commercial vehicle” means any vehicle, excluding pickup trucks, used for a business that has a height (including ladder racks and other items attached thereto) exceeding a height of 10 and one-half feet, or width (excluding mirrors) exceeding eight feet, or length exceeding 25 feet or manufacturer’s rating exceeding 12,000 pounds of gross vehicle weight. Additionally, the following types of vehicles shall all be considered commercial vehicles: flatbed, ~~or~~ stake-bed, or box trucks except those that are pickup trucks, buses, semi-trailers or tractor-trailers, dump trucks, cement mixers, wreckers, and trailers loaded with any commercial equipment or construction materials. Additionally, any vehicles, including pickup trucks, with any of the following exterior modifications shall be considered commercial vehicles: liquid storage tanks exceeding 100 gallons, aerial buckets or platforms, welding equipment, or mechanical lifts or arms for loading and unloading materials/equipment. Vehicles for transferring passengers and their personal luggage/cargo for churches, nonprofit agencies, nursing homes, retirement communities, and other similar facilities shall not be considered commercial vehicles. Recreational vehicles are not considered commercial vehicles unless used for business purposes.

## **Definition of “Park”**

### **18.55.160 “P” definitions.**

“Parcel” means a lot, or contiguous group of lots in single ownership or under single control and usually considered a unit for purposes of development.

“Park” means a tract of land ~~owned by or controlled by a governmental entity and~~ open to used by the public for open space, cultural activities, or active and passive recreational purposes. It may include the following accessory uses: swimming pools, spray parks, court and field games, shelters, preserve and natural areas, historic sites, museums, botanical gardens, arboretums, performing art or live theaters, aquariums, planetariums, wildlife preserves, dog parks, boat ramps, fishing piers, zoos, and similar facilities, including related maintenance and support facilities.



# Residential

|   |  | Approval Levels<br>● = Allowed Use<br>S = Allowed per Special Use Requirements under Chapter 18.225<br>S/C = If unable to meet Special Use Requirements, may apply for CUP.<br>C = Conditional Use Permit (CUP) approved by Governing Body |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
|---|--|--|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|---|
| # = See Definition in Chapter 18.55 Topeka Municipal Code |  | See Design Standards for "X" & "D" Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Use   | Description  | R-1/R-2/R-3 Single Family Dwelling   | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |   |
| Districts   |  |  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Residential   |  |  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Assisted Living Facility #                                | has individual living units where at least 6 persons receive                                       | C  | C                      | C                       | C                                     | ●                            | ●                            | ●                                | ●                                | ●                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | C             | C             | C             | ●                      | S                      | C                      | -                        | C               | - |
| Bed & Breakfast Home #                                    | owner-occupied home with up to 4 guest rooms   | C  | -                      | C                       | C                                     | S                            | S                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | C                    | ●             | C             | ●             | ●                      | ●                      | ●                      | C                        | C               | - |
| Bed & Breakfast Inn #                                     | single-family dwelling for up to 10 guests   | C  | -                      | C                       | C                                     | S/C                          | S/C                          | C                                | C                                | C                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | C                    | ●             | C             | ●             | ●                      | ●                      | ●                      | C                        | C               | - |
| Boarding House #  | dwelling where lodging, with or without food, for 3 <u>6</u> - 20 persons is provided              | -  | -                      | -                       | -                                     | C                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | C             | C             | C             | ●                      | ●                      | C                      | -                        | -               | - |
| Caretaker's Residence                                     |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | ●              | ●              | -              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Community Living Facility, Type I #                       | dwelling operation for short-term residential care for improving living skills                     | -  | -                      | -                       | -                                     | -                            | C                            | -                                | ●                                | ●                                | -              | ●              | ●              | ●              | ●              | -                    | -                    | -              | ●                    | -             | -             | -             | ●                      | ●                      | -                      | -                        | -               | - |
| Community Living Facility, Type II #                      | dwelling operation for residential care providing an intermediate and primary treatment setting    | -  | -                      | -                       | -                                     | -                            | -                            | -                                | C                                | ●                                | -              | ●              | ●              | ●              | ●              | -                    | -                    | -              | C                    | -             | -             | -             | ●                      | ●                      | -                      | -                        | -               | - |
| Correctional Placement Residence or Facility General #    | residential/rehabilitation facility occupied by more than 15 individuals                           | -  | -                      | -                       | -                                     | -                            | C                            | -                                | C                                | C                                | -              | -              | C              | C              | -              | C                    | C                    | -              | C                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Correctional Placement Residence or Facility Limited #    | residential/rehabilitation facility occupied by 3 to 15 individuals                                | -  | -                      | -                       | -                                     | C                            | C                            | C                                | C                                | C                                | -              | -              | -              | -              | -              | -                    | -                    | -              | C                    | -             | C             | -             | -                      | -                      | -                      | -                        | -               | - |
| Crisis Center, Type I #                                   | may include meals and merchandise to residents   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | -             | C             | -             | ●                      | C                      | C                      | -                        | -               | - |
| Crisis Center, Type II #                                  | facility used for immediate human social service functions including meals, merchandise or shelter | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | C             | -             | ●                      | C                      | C                      | -                        | -               | - |
| Dwelling, Detached Single-Family #                        |  | ●  | -                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | -                      | -                      | ●                      | -                        | ●               | ● |
| Dwelling, Attached Single-Family #                        |  | -  | -                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | -                      | -                      | ●                      | -                        | -               | - |
| Dwelling, Two-Family # (Duplex)                           |  | -  | -                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | -                      | -                      | ●                      | -                        | -               | - |
| Dwelling, Three/Four-Family                               | includes 3-4 unit row or town houses #   | -  | -                      | -                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | -                      | -                      | ●                      | -                        | -               | - |
| Dwelling, Multiple-Family #                               | structure with at least 5 units  | -  | -                      | -                       | -                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | ●              | -                    | -                    | -              | ●                    | C             | C             | ●             | ●                      | S                      | ●                      | ●                        | -               | - |
| Dwelling, Accessory #                                     | secondary to primary dwelling, not exceeding 600 sq. ft.   | -  | -                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | -                      | -                        | -               | - |
| Dwelling Units Above Ground Floor or Basement             | other than medical care & community living facility  | -  | -                      | -                       | -                                     | -                            | -                            | ●                                | ●                                | ●                                | ●              | ●              | ●              | ●              | ●              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               | - |
| Dwelling Units on main floor                              | subordinate to principal non-residential uses  | -  | -                      | -                       | -                                     | -                            | -                            | S                                | S                                | S                                | S              | S              | S              | S              | S              | -                    | -                    | -              | S                    | S             | S             | S             | S                      | S                      | S                      | -                        | -               | - |
| Group Home #  | licensed dwelling for up to 8 with disability & 1 or 2 staff                                       | ●  | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | C             | C             | ●                      | ●                      | ●                      | ●                        | -               | - |
| Group Residence, General #                                | dwelling occupied by 9 to 15 persons and at least 8 with a disability                              | -  | -                      | -                       | -                                     | C                            | C                            | -                                | C                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | -             | -             | -             | -                      | -                      | -                      | C                        | -               | - |
| Group Residence, Limited #                                | dwelling occupied by up to 10 persons, up to 8 with a disability, and up to 2 staff residents      | C  | C                      | C                       | C                                     | ●                            | ●                            | C                                | C                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | C             | -             | -             | -                      | -                      | -                      | -                        | C               | - |
| Home Care, type I #                                       | nonsecure dwelling with residential/nursing care for up to 8 care receivers                        | ●  | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | C             | C             | ●                      | ●                      | C                      | -                        | ●               | - |
| Home Care, type II #                                      | nonsecure dwelling with residential/nursing care for up to 12 care receivers                       | C  | C                      | C                       | C                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | C             | C             | C             | ●                      | ●                      | C                      | -                        | C               | - |
| Management/Leasing Facilities                             | for managing an onsite multi-family community Refer to IMC18.225                                   | -  | -                      | S/C                     | S/C                                   | S/C                          | S/C                          | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | S/C                  | ●             | ●             | ●             | S/G                    | S/C                    | S/C                    | S/C                      | -               | - |
| Medical Care Facility, type I #                           | dwelling for the personal nursing care & treatment for up to 2 persons                             | ●  | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | -             | -             | -             | -                      | -                      | -                      | ●                        | -               | - |
| Medical Care Facility, type II #                          | dwelling for the personal nursing care & treatment for more than 3 persons                         | -  | -                      | -                       | -                                     | C                            | C                            | C                                | ●                                | ●                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | ●                    | -             | -             | -             | ●                      | ●                      | -                      | -                        | -               | - |

# Residential

|   |   | <div>Approval Levels</div> <div><div>● = Allowed Use</div><div>S = Allowed per Special Use Requirements under Chapter 18.225</div><div>S/C = If unable to meet Special Use Requirements, may apply for CUP.</div><div>C = Conditional Use Permit (CUP) approved by Governing Body</div></div> |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
|---|---|---|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|
| # = See Definition in Chapter 18.55 Topeka Municipal Code |   | See Design Standards for "X" & "D" Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Use   | Description   | R-1/R-2/R-3 Single Family Dwelling  | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |
| Residential   |   | Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Mobile Home #, Manufactured Home #                        | residential structure manufactured off-site excluding "residential- design manufactured home"                                       | -   | S                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               |
| Residential-Design Manufactured Home #                    | At least 22' wide on a permanent foundation, pitched roof, and siding/ roofing materials similar to site built homes except in R-4. | ●   | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | ●                        | ●               |
| Residential Care Facility, Type I #                       | nonsecure dwelling in which residential care is provided for children and/or adults on 24-hr basis, up to 4 persons                 | ●   | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | ●             | C             | C             | ●                      | ●                      | C                      | -                        | ●               |
| Residential Care Facility, Type II #                      | nonsecure dwelling in which residential care is provided for children and/or adults on 24-hr basis, up to 10 persons                | ●   | ●                      | ●                       | ●                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | C             | C             | C             | ●                      | ●                      | C                      | -                        | ●               |
| Residential Care Facility, Type III #                     | nonsecure dwelling in which residential care is provided to children and/or adults on a 24-hour basis                               | -   | -                      | -                       | -                                     | C                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | -             | -             | -             | ●                      | -                      | -                      | -                        | -               |
| Student or Faculty Housing                                |   | -   | -                      | -                       | -                                     | ●                            | ●                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | ●              | ●                    | -             | -             | -             | ●                      | ●                      | -                      | -                        | -               |

|   |  | Approval Levels<br>• = Allowed Use<br>S = Allowed per Special Use Requirements under Chapter 18.225<br>S/C = If unable to meet Special Use Requirements, may apply for CUP.<br>C = Conditional Use Permit (CUP) approved by Governing Body |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
|---|--|--|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|---|
| # = See Definition in Chapter 18.55 Topeka Municipal Code     |  | See Design Standards for "X" & "D" Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Use   | Description  | R-1/R-2/R-3 Single Family Dwelling   | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown-Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |   |
| Commercial/Office   |  | Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Animal Care and Services type I#                              | for common household pets in an enclosed building  | -  | -                      | -                       | -                                     | -                            | -                            | S                                | S                                | S                                | -              | S              | S              | •              | S              | •                    | •                    | -              | -                    | •             | C             | C             | •                      | S                      | C                      | C                        | C               | - |
| Animal Care and Services type II#                             | services within an enclosed building   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | •              | -              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | C               | - |
| Artisan Manufacturing #                                       | Refer to TMC18.225   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | C              | C              | C              | S              | •              | •                    | •                    | -              | -                    | S             | S             | S             | •                      | S                      | C                      | S                        | -               | - |
| Auction House   |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | S              | •              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Automobile or Vehicle Carwash #                               |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | S              | S              | S              | S              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Automotive Rental Establishments                              |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | S              | •              | •              | •              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Auto Service Station, type I #                                | convenience store with gas sales   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | C              | S              | S              | S              | S              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | S                      | C                        | •               | - |
| Auto Service Station, type II #                               | excludes drive-train work  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | S              | S              | •              | S              | •                    | •                    | -              | -                    | C             | •             | •             | •                      | •                      | •                      | •                        | •               | - |
| Auto Service Station, type III #                              | includes drive-train work  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | C              | C              | S              | S              | •                    | •                    | -              | -                    | C             | C             | -             | G                      | C                      | -                      | C                        | -               | - |
| Automobile Sales & Service                                    | excludes heavy duty vehicles and type III auto services  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | S              | S              | S              | •                    | •                    | -              | -                    | C             | S             | -             | -                      | -                      | -                      | -                        | -               | - |
| Automobile, Boat, Truck, Heavy & Ag Equipment, Sales/Services | includes heavy-duty trucks, rec. vehicles, trailers and type III service                             | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | S              | -              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Automobile or Vehicle Tow Lot and Body Shop                   | not including wrecking yards or long-term storage of disabled vehicles                               | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | S              | -              | •                    | •                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Bakery (Commercial)   | including wholesale distribution   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | •              | -              | •                    | •                    | -              | -                    | -             | •             | -             | -                      | -                      | -                      | -                        | -               | - |
| Bank/Financial Institution                                    | Does not include drive in/drive throughs   | -  | -                      | -                       | -                                     | -                            | -                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Bars and Taverns-   | includes allowing a microbrewery as an accessory use.  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | G              | G              | •              | G              | •              | •                    | •                    | -              | -                    | G             | G             | •             | •                      | •                      | G                      | •                        | -               | - |
| Billboard/Panel Poster Sign # (See Section 18.25.110 TMC)     | off-premise advertising signs  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | •              | •              | •              | •                    | •                    | -              | -                    | -             | -             | -             | G                      | C                      | -                      | C                        | C               | - |
| Billboard, Modified Legal Non-Conforming Billboards           | relocation, remodeling or rebuilding of legal non-conforming billboards                              | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | C              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Body Art Service/ Tattooing, Body-Piercing                    | excludes ear-piercing only   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Brew Pub #  | includes a microbrewery as an accessory use. Microbrewery limited to 5000 barrels per year.          | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Building, Construction, & Mechanical Contractor Office        | showroom, shop & sales including plumbing, heating, air, electrical, etc.                            | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Catering  |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Check cashing/pay-day loans/title loans                       |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Drinking Establishment #                                      | includes allowing a microbrewery as an accessory use. Microbrewery limited to 5000 barrels per year. | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | C              | C              | •              | G              | •              | •                    | •                    | -              | -                    | C             | C             | •             | •                      | •                      | •                      | •                        | -               | - |
| Drive through establishments/facilities                       | Refer to TMC18.225   | -  | -                      | -                       | -                                     | -                            | -                            | S                                | S                                | S                                | S              | S              | S              | S              | S              | S                    | S                    | -              | -                    | S             | S             | S             | S                      | S                      | S                      | S                        | -               | - |
| Funeral Home, Mortuary # without Crematorium                  | Includes the display and sale of related products  | -  | -                      | -                       | -                                     | -                            | -                            | •                                | •                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Funeral Home, Mortuary # with Crematorium                     | Includes the display and sale of related products  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | C                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | -             | -             | •             | •                      | •                      | -                      | -                        | -               | - |
| Grave Monuments & Markers                                     | includes display but not stone engraving or cutting.   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | -             | -             | -             | •                      | •                      | •                      | •                        | -               | - |
| Gun Ranges, Indoor  |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | C              | -              | S                    | S                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               | - |
| Health Services #, Clinic #, Health Care Facility #           | May include a pharmacy as part of the facility   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | •                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Home Improvement & Building Supply                            | outdoor display, storage, retail merchandise, outdoor display limited to only C-4 & I see TMC18.225. | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Labor Pools #   |  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | -              | •                    | •                    | -              | -                    | -             | -             | •             | -                      | -                      | -                      | -                        | -               | - |
| Hospital #  | institution providing inpatient health services, medical or surgical care, and related facilities    | -  | -                      | -                       | -                                     | -                            | -                            | -                                | C                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               | - |
| Hotel #, Motel #  | commercial establishment providing sleeping rooms for overnight guests                               | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | -              | -                    | -             | C             | C             | •                      | •                      | C                      | C                        | -               | - |

|  |   | Approval Levels<br>● = Allowed Use<br>S = Allowed per Special Use Requirements under Chapter 18.225<br>S/C = If unable to meet Special Use Requirements, may apply for CUP.<br>C = Conditional Use Permit (CUP) approved by Governing Body |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
|--|---|--|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|---|
| # = See Definition in Chapter 18.55 Topeka Municipal Code  |   | See Design Standards for "X" & "D" Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Use  | Description   | R-1/R-2/R-3 Single Family Dwelling   | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |   |
| Commercial/Office  |   | Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |   |
| Lawn/Garden Centers  | landscape materials, lawn & garden equipment and supplies   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | -                      | -                      | -                      | -                        | -               |   |
| Liquor Sales, Packaged Goods                               |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | ●                        | -               | - |
| Manufactured Housing & Accessory Structure Sales           |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | ●              | -              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               |   |
| Medical Equipment  | Hearing aids, eyeglasses, prosthesis stores, etc.   | -  | -                      | -                       | -                                     | -                            | -                            | ●                                | ●                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | ●                    | ●             | ●             | -             | ●                      | ●                      | -                      | -                        | -               |   |
| Mobile Retail Vendors #                                    | Refer to TMC 18.225 mobile retail vendors   | S  | S                      | S                       | S                                     | S                            | S                            | S                                | S                                | S                                | S              | S              | S              | S              | S              | S                    | S                    | S              | S                    | S             | S             | S             | S                      | S                      | S                      | S                        | S               |   |
| Office #, Professional Office #                            | includes medical offices  | -  | -                      | -                       | -                                     | -                            | -                            | ●                                | ●                                | ●                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | ●              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | ●                        | -               |   |
| Oil/Gas Well Drilling                                      |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | C                    | C                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | C                        | -               |   |
| Parking, Surface Lot - As a stand alone Principal Use      | temporary storage of vehicles as a principal use  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | ●              | ●              | ●              | ●                    | ●                    | ●              | ●                    | C             | C             | C             | ●                      | ●                      | ●                      | ●                        | -               |   |
| Parking, Surface Lot, in association with a Principal Use. | temporary storage of vehicles as in association with a principal use  | C  | C                      | C                       | C                                     | S/C                          | S/C                          | S/C                              | S/C                              | S/C                              | S/C            | ●              | ●              | ●              | ●              | ●                    | ●                    | ●              | C                    | C             | C             | ●             | ●                      | ●                      | ●                      | C                        | C               |   |
| Parking Garage, (Multi-Level)                              | temporary storage of vehicles as a principal use  | -  | -                      | -                       | -                                     | -                            | C                            | -                                | C                                | C                                | C              | C              | ●              | ●              | ●              | ●                    | ●                    | ●              | C                    | C             | C             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Patio/Garden, Hardware                                     |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Pawn Shops/Second Hand Shops                               | For outdoor display, see Retail Merchandise Outdoor Display   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Personal Services #  | including beauty & barber shops, laundromats, dry-cleaning, tailors, tanning salons, etc.   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Pet Shops  |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | C              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Pharmacy # & Drugstores                                    | retail sales of drugs, prosthesis, rehabilitation equipment & medicine. Does not include drive throughs                                       | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Printing/ Copy Center                                      |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | ●                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | -             | -             | ●                      | ●                      | -                      | -                        | -               |   |
| Radio & TV Broadcasting/ Recording Studio                  |   | -  | -                      | -                       | -                                     | -                            | -                            | ●                                | ●                                | ●                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | -             | -             | ●                      | ●                      | -                      | -                        | -               |   |
| Rental Establishment                                       | general equipment and domestic items  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | ●              | -              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               |   |
| Restaurant, Family Dining, carry-out # (Delicatessen)      | limited to 50 seats and no drive-throughs in C-1.   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | C                      | ●                        | -               |   |
| Restaurant, drive-in/drive through #                       | Refer to TMC 18.225 for drive throughs  | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | S              | S              | S              | S              | S                    | S                    | -              | -                    | S             | S             | S             | -                      | S                      | -                      | S                        | -               |   |
| Retail Merchandise, Outdoor Display                        | See TMC 18.225 Retail Merchandise outdoor display, no truck bodies or cargo containers used for storage in any district except in I-1 and I-2 | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | S              | -              | S                    | ●                    | -              | -                    | S             | S             | S             | -                      | S                      | S                      | S                        | -               |   |
| Retail Sales/Service #                                     | sale and repair of items having a low intensity   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Gun Sales and Service                                      |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Theaters #   | enclosed structure used for performances for admitted audiences   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | C             | -             | ●             | ●                      | ●                      | C                      | ●                        | -               |   |
| Tobacco Shop   | Includes Tobacco & Smoke Shop/Hookah Houses/E cigarettes Shop/cigar shops   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | ●                    | ●             | ●             | ●             | ●                      | ●                      | ●                      | -                        | -               |   |
| Truck Stop #   |   | -  | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | C              | C              | -              | ●              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                        | -               |   |

|   |  | Approval Levels<br>● = Allowed Use<br>\$ = Allowed per Special Use Requirements under Chapter 18.225<br>S/C = If unable to meet Special Use Requirements, may apply for CUP.<br>C = Conditional Use Permit (CUP) approved by Governing Body |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                        |                          |                 |   |
|---|--|---|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|------------------------|--------------------------|-----------------|---|
| # = See Definition in Chapter 18.55 Topeka Municipal Code |  | See Design Standards for "X" & "D" Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                        |                          |                 |   |
| Use   | Description  | R-1/R-2/R-3 Single Family Dwelling  | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-4 Downtown Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |   |
| Industrial  |  | Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                        |                          |                 |   |
| Airport   | including landing strips & heliports   | C   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | C                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Agriculture #   | agricultural activity and the production, storage, processing of agricultural products   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | ●               | ● |
| Agricultural Product Sales & Storage                      | storage & retail sales of raw food material, fertilizers, pesticides, and similar products for crop/livestock production   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Automobile Wrecking and/or Salvage Yards #                | Refer to TMC 5.135   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | C                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Bottling Works  |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | ●             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Contractor Yards  |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | C             | C             | ●                      | ●                      | -                      | -                      | ●                        | -               | - |
| Heliport  | heliport only  | C   | -                      | -                       | -                                     | -                            | -                            | -                                | C                                | C                                | -              | -              | -              | -              | -              | -                    | -                    | -              | ●                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Landfill, Demolition #                                    |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | C                    | \$                   | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Landfill, Sanitary #                                      |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | C                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Laundry, Commercial #; Dry- Cleaning, Dyeing              |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Machinery and Equipment Repair and Restoration            |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | ●             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Manufacturing/Processing Type I #                         | few if any off-site impacts  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | ●             | -             | -                      | -                      | -                      | -                      | ●                        | -               | - |
| Manufacturing/Processing Type II #                        | up to medium off-site impacts  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | C             | -             | -                      | -                      | -                      | -                      | C                        | -               | - |
| Manufacturing/Processing Type III #                       | potential for significant off-site impacts   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | C                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Microbrewery # <u>Micro- Alcohol Production#</u>          | in X & D Districts limited to 5,000-barrels per year. Taprooms allowed in C-5, X-3 & D-1Refer to TMC 18.225.   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | \$            | \$            | G                      | \$                     | \$                     | \$                     | \$                       | -               | - |
| Publishing Establishments and Distribution                |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Raw Material Extraction                                   | extraction, processing, storage, and sale of these materials   | C   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | C                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | C               | - |
| Recycling Depot   | collection, storage, & processing of recyclables   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | \$                   | \$                   | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Research Lab #, Testing or Development Laboratory         | facility for scientific investigation or engineering & development   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | ●                                | -                                | ●              | ●              | ●              | ●              | ●              | ●                    | ●                    | -              | -                    | C             | ●             | C             | ●                      | ●                      | -                      | -                      | -                        | -               | - |
| Railroad Facilities                                       |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Self-Storage, type I #                                    | Indoor storage with indoor access  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | C              | \$             | \$             | -              | ●                    | ●                    | -              | -                    | C             | \$            | -             | -                      | -                      | -                      | -                      | P                        | -               | - |
| Self-Storage, type II (allows boat/RVs) #                 | Indoor and outdoor   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | C             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Small Wind Energy System                                  | Non-residential use only   | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | C              | C              | C              | G              | C                    | C                    | C              | C                    | C             | C             | C             | C                      | C                      | C                      | C                      | C                        | C               | C |
| Storage of non-merchandise, outdoor                       | in C-4 and I-1 see Retail Merchandise Outdoor Display. See 18.225 Outdoor storage of non-merchandise. No truck bodies or cargo containers used for storage except in I-1/I-2 | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | S/C                  | S/C                  | -              | -                    | -             | C             | C             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Tower, Communication #, Transmission Tower #              | ground-mounted free-standing structure transmitting or receiving tv, radio, & microwave frequencies Refer to TMC 18.20   | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | C              | C              | \$             | \$             | \$                   | \$                   | C              | C                    | -             | -             | -             | ●                      | C                      | C                      | C                      | C                        | -               |   |
| Towers, Receiving and Commercial Broadcasting             | For radio and television Refer to TMC 18.20  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | C                                | C                                | -              | -              | -              | C              | -              | C                    | -                    | -              | C                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Truck/Freight/Bus-Terminal                                | in C-5 bus terminal only   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | ●              | -                    | -             | -             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Bus Terminal  |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | ●              | -                    | -             | -             | -             | -                      | ●                      | -                      | -                      | -                        | -               | - |
| Warehouse #, Storage #, Distribution Facilities;          | structure for storing goods, wares, and merchandise. For accessory truck bodies/cargo containers refer to TMC 18.210.20 Accessory Uses.                                      | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | ●             | C             | -                      | -                      | -                      | -                      | -                        | -               | - |
| Welding, Tinsmithing & Machine Shop                       |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | ●                    | ●                    | -              | -                    | -             | ●             | -             | -                      | -                      | -                      | -                      | -                        | -               | - |

|   |  | <b>Approval Levels</b><br>• = Allowed Use<br>\$ = Allowed per Special Use Requirements under Chapter 18.225<br>\$/C = If unable to meet Special Use Requirements, may apply for CUP.<br>C = Conditional Use Permit (CUP) approved by Governing Body |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
|---|--|---|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|
| # = See Definition in Chapter 18.55 Topeka Municipal Code   |  | See Design Standards for "X" & "D" Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Use   | Description  | R-1/R-2/R-3 Single Family Dwelling  | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |
|   |  | Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Civic, Cultural and Recreational  |  |   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Art and Portrait Galleries  | Framing and sales of pictures and frames must be subordinate to the principal use  | -   | -                      | -                       | -                                     | -                            | -                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Artist Studios  |  | -   | -                      | -                       | -                                     | -                            | -                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Cemetery #  | See standards in Chapter 18.225 TMC  | C   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | C                        | C               |
| Class "A" & "B" Clubs #   | as licensed by state alcohol beverage control board (e.g. ELKS)  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | •              | •              | •              | •              | •                    | •                    | •              | -                    | •             | •             | •             | •                      | •                      | •                      | C                        | C               |
| Club or Lodge, Private # (excludes Class "A" & "B" Clubs)   | organization for social, educational, or recreational purposes. Not licensed by the State.   | -   | -                      | -                       | -                                     | -                            | -                            | •                                | •                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | -              | •                    | •             | •             | •             | •                      | •                      | C                      | C                        | -               |
| Common Open space # (within a development and for its occupants)  | natural areas and passive recreational facilities only   | •   | •                      | •                       | •                                     | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Community Center #  | building open to the public for recreational and/or educational activities   | C   | C                      | C                       | C                                     | C                            | C                            | •                                | •                                | •                                | C              | •              | •              | •              | •              | •                    | •                    | -              | •                    | •             | •             | •             | •                      | •                      | •                      | C                        | •               |
| Cultural Facility #, Museum # Library   |  | C   | C                      | C                       | C                                     | C                            | C                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | -                    | •             | •             | •             | •                      | •                      | •                      | C                        | C               |
| Day Care Facility, Type I #   | dwelling unit where care is provided for up to 12 children and/or adults   | \$  | \$                     | \$                      | \$                                    | \$                           | \$                           | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | •                    | •             | •             | •             | •                      | •                      | \$                     | \$                       | -               |
| Day Care Facility, Type II # (Includes Child Cares and Pre- Schools)*   | structure where care is provided for children and/or adults. <u>Refer to TMC 18.225.</u>   | C   | C                      | C                       | C                                     | \$                           | \$                           | \$                               | \$                               | \$                               | \$             | \$             | \$             | \$             | \$             | C                    | -                    | •              | \$                   | \$            | \$            | \$            | •                      | \$                     | C                      | C                        | -               |
| Fairgrounds   |  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | C              | -              | C                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | C                        | C               |
| Farmers' Market #   | Conditional Uses in R & M Districts are limited to 2.5-acre or larger sites  | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | •              | •              | •              | •              | •                    | •                    | C              | C                    | C             | C             | •             | •                      | •                      | •                      | •                        | C               |
| Gardens, Community Type I #   | No permanent sales   | \$  | \$                     | \$                      | \$                                    | \$                           | \$                           | \$                               | \$                               | \$                               | \$             | \$             | \$             | \$             | \$             | \$                   | \$                   | \$             | \$                   | \$            | \$            | \$            | \$                     | \$                     | \$                     | •                        | \$              |
| Gardens, Community Type II #  | Sales/Non-Type I Standards   | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | \$             | \$             | \$             | \$             | \$             | \$                   | \$                   | C              | C                    | C             | C             | C             | C                      | C                      | C                      | •                        | C               |
| Golf Course #, Country Club #   |  | \$/C  | \$/C                   | \$/C                    | \$/C                                  | \$/C                         | \$/C                         | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | \$/C                     | •               |
| Government Services, Type I   | government administrative offices and services   | C   | C                      | C                       | C                                     | C                            | C                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | C                        | C               |
| Government Services, Type II  | police, fire, and ambulance stations   | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | •              | •              | •              | •              | •                    | •                    | •              | C                    | •             | •             | •             | •                      | •                      | •                      | C                        | C               |
| Open Spaces #   |  | •   | •                      | •                       | •                                     | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Private Residential Recreational Facility (allows clubhouses; "Recreation, Indoor Type I"; and "Recreation, Outdoor Type I" uses) | located within a residential project and only for its residents and their guests   | •   | •                      | •                       | •                                     | •                            | •                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Park #  | owned or controlled by public  | •   | •                      | •                       | •                                     | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Public Utility Facilities, Type I # (See Section 18.50.100(c)(1) of Topeka Municipal Code)  | non-major facilities are exempt from zoning use restrictions   | •   | •                      | •                       | •                                     | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Public Utility Facilities, Type II # (See Section 18.50.100(c)(1)(i,ii,iii) of Topeka Municipal Code)                             | major facilities including: pump stations, towers, treatment plants, etc.  | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | C              | C              | C              | €              | •                    | •                    | C              | C                    | C             | C             | C             | C                      | C                      | C                      | C                        | C               |
| Reception, Conference, and Assembly Facilities  | <u>For Conditional Uses Refer to TMC 18.225 for standards.</u>   | C   | -                      | C                       | C                                     | C                            | C                            | C                                | •                                | •                                | C              | •              | •              | •              | •              | •                    | •                    | •              | C                    | C             | C             | C             | •                      | •                      | C                      | C                        | -               |
| Recreation, Indoor Type I # (lower intensity recreational uses)   | indoor pools, fitness clubs, skating rinks, gyms, dancing, martial arts, etc.  | -   | -                      | -                       | -                                     | -                            | -                            | C                                | •                                | •                                | C              | •              | •              | •              | •              | •                    | •                    | •              | C                    | C             | C             | •             | •                      | C                      | •                      | -                        | -               |
| Recreation, Indoor Type II # (higher intensity recreational uses)   | pool & billiard halls, bowling alleys, arcades, indoor amusement parks, etc.   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | C              | C              | •              | €              | •                    | •                    | -              | -                    | C             | -             | •             | •                      | C                      | •                      | -                        | -               |
| Recreation, Outdoor Type I # (low intensity recreational uses)  | tennis, basketball & shuffle board courts, pools, golf courses, horse shoes, etc. <u>in conjunction with a residential community</u> | \$  | \$                     | \$                      | \$                                    | \$                           | \$                           | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | •               |
| Recreation, Outdoor Type II # (medium intensity recreation uses)  | batting cages, dog parks, miniature golf, driving ranges, model airplanes airfields, riding academies, etc.                          | C   | C                      | C                       | C                                     | C                            | C                            | C                                | C                                | C                                | C              | C              | •              | •              | •              | •                    | •                    | •              | C                    | C             | •             | •             | •                      | •                      | •                      | C                        | C               |

|   |  | <div>Approval Levels</div> <div>• = Allowed Use</div> <div>\$ = Allowed per Special Use Requirements under Chapter 18.225</div> <div>\$/C = If unable to meet Special Use Requirements, may apply for CUP.</div> <div>C = Conditional Use Permit (CUP) approved by Governing Body</div> |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
|---|--|---|------------------------|-------------------------|---------------------------------------|------------------------------|------------------------------|----------------------------------|----------------------------------|----------------------------------|----------------|----------------|----------------|----------------|----------------|----------------------|----------------------|----------------|----------------------|---------------|---------------|---------------|------------------------|------------------------|------------------------|--------------------------|-----------------|
| # = See Definition in Chapter 18.55 Topeka Municipal Code       |  | See Design Standards for "X" & "D" Districts  |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Use   | Description  | R-1/R-2/R-3 Single Family Dwelling  | R-4 Manufactured Homes | M-1 Two Family Dwelling | M-1a Limited Multiple Family Dwelling | M-2 Multiple Family Dwelling | M-3 Multiple Family Dwelling | O&I-1 - Office And Institutional | O&I-2 - Office And Institutional | O&I-3 - Office And Institutional | C-1 Commercial | C-2 Commercial | C-3 Commercial | C-4 Commercial | C-5 Commercial | I-1 Light Industrial | I-2 Heavy Industrial | U-1 University | MS-1 Medical Service | X-1 Mixed Use | X-2 Mixed Use | X-3 Mixed Use | D-1 Downtown Mixed Use | D-2 Downtown Mixed Use | D-3 Downtown Mixed Use | RR-1 Residential Reserve | OS-1 Open Space |
| Civic, Cultural and Recreational                                |  | Districts   |                        |                         |                                       |                              |                              |                                  |                                  |                                  |                |                |                |                |                |                      |                      |                |                      |               |               |               |                        |                        |                        |                          |                 |
| Recreation, Outdoor Type III # (high intensity recreation uses) | go kart tracks, horse and auto race tracks, drag strips, amusement and motorized kiddie parks; and sport stadiums, complexes and arenas, outdoor concert, music, performance, and theater venues, etc. | C   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | C              | -              | C                    | C                    | C              | -                    | -             | •             | C             | •                      | C                      | •                      | C                        | C               |
| Religious Assembly #  | Refer to TMC 18.225  | \$/C  | \$/C                   | \$/C                    | \$/C                                  | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | C             | C             | •                      | C                      | •                      | \$                       | -               |
| RV Short-Term Campgrounds #                                     | has at least 24 campsites  | -   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | •              | •              | •              | •                    | •                    | -              | -                    | -             | -             | -             | •                      | -                      | -                      | C                        | C               |
| Schools #, Public or Private Educational Facility #             | elementary school # and secondary school #   | •   | •                      | •                       | •                                     | •                            | •                            | •                                | •                                | •                                | •              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | •                        | -               |
| School, Business and Vocational School #                        | includes technical colleges and training academies   | -   | -                      | -                       | -                                     | -                            | -                            | -                                | •                                | •                                | -              | •              | •              | •              | •              | •                    | •                    | •              | •                    | •             | •             | •             | •                      | •                      | •                      | -                        | -               |
| Youth Camps   | retreats for scouting, etc   | C   | -                      | -                       | -                                     | -                            | -                            | -                                | -                                | -                                | -              | -              | -              | -              | -              | -                    | -                    | -              | -                    | -             | -             | -             | -                      | -                      | -                      | C                        | C               |

# Density Dimensional Standards - RR, R, M Districts

| Density and Dimensional Standards - All Other Districts |                                  |                                  |                                    |                                    |                                    |                               |                                 |   |                                      |                                      |
|---|----------------------------------|----------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------|---------------------------------|---|--------------------------------------|--------------------------------------|
|   |                                  | RR1 Residential Reserve District | R1 Single Family Dwelling District | R2 Single Family Dwelling District | R3 Single Family Dwelling District | R4 Manufactured Home District | M1 Two Family Dwelling District | M1a Limited Multiple Family Dwelling District | M2 Multiple Family Dwelling District | M3 Multiple Family Dwelling District |
| Standards   | Notes                            | Districts                        |                                    |                                    |                                    |                               |                                 |   |                                      |                                      |
| Lot Standards   |                                  |                                  |                                    |                                    |                                    |                               |                                 |   |                                      |                                      |
| Minimum Lot Area (sq. ft.)                              | New Lots [3,7,14]                | 20 acs                           | 6,500                              | 5,000                              | 4,000                              | 30,000                        | 4,500                           | 4,500   | 7,500                                | 7,500                                |
| Maximum Building Coverage                               | % of lot area                    | 10                               | 45                                 | 50                                 | 50                                 | 50                            | 50                              | 50  | 60                                   | 60                                   |
| Minimum Lot Width (ft.)                                 | 2-4 units per lot                | 300                              | 60                                 | 40                                 | 40                                 | 40                            | 50                              | 50  | 50                                   | 50                                   |
| Maximum Density   | Dwelling units/acre              | —                                | —                                  | —                                  | —                                  | —                             | 6                               | 10  | 15                                   | 30                                   |
| Principal Buildings                                     |                                  |                                  |                                    |                                    |                                    |                               |                                 |   |                                      |                                      |
| Minimum Setbacks (ft.) [1][2]                           | Front [4]                        | 30                               | 30                                 | 25                                 | 4; 15                              | 25                            | 25                              | 25  | 25                                   | 25                                   |
|   | Side [5][6]                      | 7                                | 7                                  | 5                                  | 0                                  | 5                             | 5                               | 5   | 5                                    | 5                                    |
|   | Rear                             | 30                               | 30                                 | 25                                 | 10                                 | 25                            | 25                              | 25  | 25                                   | 25                                   |
| Maximum Height (ft.)                                    |                                  | 42                               | 42                                 | 42                                 | 42                                 | 42                            | 42                              | 45  | 50                                   | 160                                  |
| Minimum Number of Lots in District                      |                                  | —                                | —                                  | —                                  | —                                  | 10                            | —                               | —   | —                                    | —                                    |
| Accessory Buildings (Detached)                          |                                  |                                  |                                    |                                    |                                    |                               |                                 |   |                                      |                                      |
| Minimum Setbacks (ft.) [1][2]<br>[12][13]               | Front [8]                        | 30                               | 30                                 | 25                                 | 15                                 | 25                            | 25                              | 25  | 25                                   | 25                                   |
|   | Side[5] [9]                      | 3                                | 3                                  | 3                                  | 3                                  | 3                             | 3                               | 3   | 3                                    | 3                                    |
|   | Rear                             | 5                                | 5                                  | 5                                  | 5                                  | 5                             | 5                               | 5   | 5                                    | 5                                    |
|   | From other buildings [10]        | 6                                | 6                                  | 6                                  | 6                                  | 6                             | 6                               | 6   | 6                                    | 6                                    |
| Maximum Accessory Building Coverage Ratio               | % of principal building coverage | 90                               | 90                                 | 90                                 | 90                                 | 90                            | 90                              | 90  | 90                                   | 90                                   |
| Maximum Height (ft.)                                    | [11]                             | 15-20                            | 15-20                              | 15-20                              | 15-20                              | 15-20                         | 15-20                           | 15-20   | 15-20                                | 15-20                                |
| Minimum Garage Entry Setback (ft.)                      | front entry                      | 20                               | 20                                 | 20                                 | 20                                 | 20                            | 20                              | 20  | 20                                   | 20                                   |
| Minimum Garage Entry Setback (ft.)                      | rear entry (from alley)          | 10                               | 10                                 | 10                                 | 10                                 | 10                            | 10                              | 10  | 10                                   | 10                                   |
| Minimum Garage Entry Setback (ft.)                      | side entry (from alley)          | 5                                | 5                                  | 5                                  | 5                                  | 5                             | 5                               | 5   | 5                                    | 5                                    |
| Maintenance Accessory Building                          | Maximum size (sq. ft.)           | —                                | —                                  | —                                  | —                                  | —                             | —                               | —   | 400                                  | 400                                  |
|   | Maximum #                        | —                                | —                                  | —                                  | —                                  | —                             | —                               | —   | 1                                    | 1                                    |

## Notes:

[1] If the recorded plat of subdivision provides greater setbacks, the provisions of the plat shall prevail.

[2] The side yard of a corner lot and rear yard of a double frontage lots shall conform to the minimum front yard requirements of its district.

[3] In "RR-1" District, the minimum lot size is 20 acres unless the lots meets minimum compliance with Subdivision Regulations.



# Density Dimensional Standards - RR, R, M Districts

[4] In the "R-3" District - First number represents front setback when an attached garage is designed for side entry. Second number represents front setback when attached garage is designed for front entry.

[5] In "R-3" District - District allows 0' side yard setback on one side; 10' on other side with a minimum of 10' between principal buildings. Accessory buildings for a zero lot line dwelling shall not be located in the required 10-foot side yard.

[6] For single family attached dwellings in "M" Districts, a 0 ft. side yard setback is allowed along the lot line separating the two units; a 5 ft setback is required on the other lot line.

[7] In "M-1" and "M-1a" Districts, the minimum lot area of 4,500 sq. ft. is "per unit".

[8] Accessory structures shall not be located within a required front yard or beyond the front face of the principal structure, whichever is more restrictive. However, a minimum setback of 20 feet from all street rights-of-way shall be provided for roadside stands, garages and carports. If, in the judgment of the planning director, construction of a roadside stand, garage or carport is compatible with the neighborhood, in respect to availability of land for public sidewalks, right-of-way needs, and the location of structures within the block, then such construction may occur with revised minimum setback(s) as determined by the planning director.

[9] An unenclosed carport located less than 6 feet from the principal building may extend to within 3 feet of a side-yard **side property line**.

[10] Setback from Principal Building. No portion of an accessory building, except for a carport, shall be located closer than six feet to the principal building or another accessory building on the same lot. However, an unenclosed breezeway may be extended between the principal structure and the accessory structure for the purpose of providing a covered walkway. In no event shall the construction of a covered walkway or a detached carport located next to another building be deemed to join the principal and accessory structures into one principal structure.

[11] Maximum Height. Accessory buildings and structures shall not exceed 15 feet when the principal building is one-story or 20 feet when the principal building is two-stories or more.

[12] Reverse Corner Lot. On a reversed corner lot in a residential district, and within 15 feet of any adjacent property to the rear in a residential district, no detached accessory building or portion thereof located in a required rear yard shall be closer to the side lot line abutting the street than a distance equal to the least depth which would be required under this division for the front yard on such adjacent property to the rear. Further, in the above instance, all such accessory buildings shall meet the minimum side yard requirements of such adjacent property which coincides with the side lot line or portion thereof of property in any residential district.

[13] Attached Accessory Buildings. Attached accessory buildings, except for side yards for carports as outlined above, shall be located pursuant to the requirements for principal buildings. Attached garages and carports shall be located on a lot so that a minimum 20-foot-length "aisle" between the building and the street right-of-way line is provided.

[14] The minimum lot area in the "R-4" District is the combined area needed for 10 contiguous lots

# Density Dimensional Standards - O, C Districts

| Density and Dimensional Standards - All Other Districts |                         |                                      |                                      |                                      |                        |                        |                        |                        |                        |
|---|-------------------------|--------------------------------------|--------------------------------------|--------------------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|
|   |                         | O&I1 Office & Institutional District | O&I2 Office & Institutional District | O&I3 Office & Institutional District | C1 Commercial District | C2 Commercial District | C3 Commercial District | C4 Commercial District | C5 Commercial District |
| Standards   | Notes                   | Districts                            |                                      |                                      |                        |                        |                        |                        |                        |
| Lot Standards   |                         |                                      |                                      |                                      |                        |                        |                        |                        |                        |
| Minimum Lot Area (sq. ft.)                              |                         | 7,500                                | 7,500                                | 7,500                                | 7,500                  | 10,000                 | 10,000                 | 10,000                 | None                   |
| Maximum Building Coverage                               | % of lot area           | 40                                   | 50                                   | 60                                   | 40                     | 50                     | 60                     | 60                     | 100                    |
| Minimum Lot Width (ft.)                                 |                         | 50                                   | 50                                   | 50                                   | 50                     | 50                     | 50                     | 50                     | 25                     |
| Principal Buildings                                     |                         |                                      |                                      |                                      |                        |                        |                        |                        |                        |
| Setbacks (ft.) [1,2,3]                                  | Front                   | 25                                   | 25                                   | 25                                   | 25                     | 25                     | 25                     | 25                     | 0                      |
|   | Side                    | 7                                    | 7                                    | 10                                   | 10                     | 10                     | 10                     | 10                     | 0                      |
|   | Rear                    | 25                                   | 25                                   | 25                                   | 25                     | 25                     | 25                     | 25                     | 0                      |
| Maximum Building Size (sq. ft.)                         | Ground floor area       | 7,500                                | 20,000                               | —                                    | 10,000                 | 50,000                 | —                      | —                      | —                      |
| Maximum Height (ft.) [5-6]                              |                         | 42                                   | 60                                   | 75                                   | 35                     | 50                     | 70                     | 70                     | None                   |
| Accessory Buildings (Detached)                          |                         |                                      |                                      |                                      |                        |                        |                        |                        |                        |
| Setbacks (ft.) [1,2]                                    | Front [4]               | 25                                   | 25                                   | 25                                   | 25                     | 25                     | 25                     | 25                     | 0                      |
|   | From other buildings    | 6                                    | 6                                    | 6                                    | 6                      | 6                      | 6                      | 6                      | 6                      |
| Minimum Garage Entry Setback (ft.)                      | rear entry (from alley) | 10                                   | 10                                   | 10                                   | 10                     | 10                     | 10                     | 10                     | 10                     |
| Minimum Garage Entry Setback (ft.)                      | side entry (from alley) | 5                                    | 5                                    | 5                                    | 5                      | 5                      | 5                      | 5                      | 5                      |
| Maximum Height (ft.) [6]                                |                         | —                                    | —                                    | —                                    | —                      | —                      | —                      | —                      | —                      |
| Maintenance Accessory Building                          | Maximum size (sq. ft.)  | 400                                  | 400                                  | 400                                  | 400                    | 600                    | 600                    | 600                    | 600                    |

## Notes:

[1] If the recorded plat of subdivision provides greater setbacks, the provisions of the plat shall prevail.

[2] The side yard of a corner lot and rear yard of a double frontage lots shall conform to the minimum front yard requirements of the district.

[3] During site plan review, side yard setbacks may be reduced to 0 feet where the buildings are attached along a common lot line.

[4] Accessory structures shall not be located within a required front yard or beyond the front face of the principal structure, whichever is more restrictive. However, a minimum setback of 20 feet from all street rights-of-way shall be provided for garages and carports. If, in the judgment of the planning director, construction of a garage or carport is compatible with the neighborhood, in respect to availability of land for public sidewalks, right-of-way needs, and the location of structures within the block, then such construction may occur with revised minimum setback(s) as determined by the planning director.

# Density Dimensional Standards - O, C Districts

~~[5] (i) In "C-5" District, no building hereafter erected or structurally altered shall exceed a height at the street line which is greater than the width of the street times a factor of three. An additional height of six feet may be added for each one foot the building or structure is set back from the front property line or street line. The street line shall mean the right-of-way line or property line at the front of the lot, lots or building site. On corner lots, and where the widths of the two intersecting streets are varied, the larger street width shall be used to determine the height of any building or structure.~~

~~(ii) Exception. Within the state zoning area, as defined by K.S.A. 75-3630, the height of structures and buildings shall be regulated in accordance with the following provisions: no building shall exceed a height at the street line of six stories or 75 feet, but above the height permitted at the street line three feet may be added to the height of the building for each one foot that the building or portion thereof is set back from all sides of the lot, except that the cubical contents of such building shall not exceed the cubical contents of a prism having a base equal to the area of the lot and a height equal to two times the width of the street; provided, however, that a tower with a base not to exceed 20 percent of lot area not to have any side greater than 60 feet nor to have any wall closer than 20 feet to any lot line, may be constructed without reference to the above limitations. Any applicable provisions of Chapter 18.225 TMC shall apply to buildings erected in this district.~~

~~[5] Height restrictions of Airport Overlay District may be more restrictive.~~

~~[6] Height shall not exceed the height of its principal structure.~~

# Density Dimensional Standards - Other Districts

| Density and Dimensional Standards - All Other Districts |                                  |                               |                               |                       |                                |                       |                       |                       |                                |                      |                      |
|---|----------------------------------|-------------------------------|-------------------------------|-----------------------|--------------------------------|-----------------------|-----------------------|-----------------------|--------------------------------|----------------------|----------------------|
|   |                                  | I-1 Light Industrial District | I-2 Heavy Industrial District | U Univeristy District | MS-1 Medical Services District | X1 Mixed Use District | X2 Mixed Use District | X3 Mixed Use District | D1 Downtown District * See #17 | D2 Downtown District | D3 Downtown District |
| Standards   | Notes                            | Districts                     |                               |                       |                                |                       |                       |                       |                                |                      |                      |
| Lot Standards   |                                  |                               |                               |                       |                                |                       |                       |                       |                                |                      |                      |
| Minimum Lot Area (sq. ft.)                              | New lots                         | 10,000                        | 10,000                        | None                  | None                           | None                  | None                  | None                  | None                           | None                 | None                 |
| Maximum Density   | Dwelling units/acre              | —                             | —                             | —                     | 15                             | 12                    | 12                    | 29                    | —                              | —                    | —                    |
| Maximum Building Coverage                               | % of lot area                    | 85                            | 85                            | —                     | 80                             | 75                    | 75                    | 100                   | 100                            | 75                   | 100                  |
| Minimum Lot Width (ft.)                                 |                                  | 50                            | 50                            | —                     | 50                             | 50                    | 50                    | 25                    | 25                             | 50                   | 50                   |
| Setbacks (ft.) [1,2,7,10]                               | Front [5]                        | 0                             | 0                             | —                     | 25                             | 0 - 15                | 0 - 25                | 0 - 10                | 0                              | 0                    | 0                    |
|   | Side [4,7,10]                    | 0                             | 0                             | —                     | 5;10                           | 0 - 8                 | 10                    | 0                     | 0                              | 0                    | 0                    |
|   | Rear [4,10]                      | 0                             | 0                             | —                     | 25                             | 0 - 25                | 25                    | 10                    | 0                              | 0                    | 0                    |
| Maximum Height (ft.) [3,6,8, 16]                        |                                  | 70                            | None                          | —                     | 160                            | 40                    | 50                    | 50                    | see #16                        | 50                   | 60                   |
| Accessory Buildings (Detached)                          |                                  |                               |                               |                       |                                |                       |                       |                       |                                |                      |                      |
| Maximum Accessory Building Coverage Ratio               | % of principal building coverage | —                             | —                             | —                     | 90                             | 90                    | 90                    | 90                    | —                              | —                    | —                    |
| Setbacks (ft.) [1,2]                                    | Front [9,11]                     | —                             | —                             | —                     | 25                             | 0 - 15                | 0- 25                 | 0 -10                 | —                              | —                    | —                    |
|   | Side [10,14,15]                  |                               |                               |                       | 3                              | 3                     | 3                     | 3                     | —                              | —                    | —                    |
|   | Rear [10,14]                     |                               |                               |                       | 5                              | 5                     | 5                     | 5                     | —                              | —                    | —                    |
|   | From other buildings [12]        | —                             | —                             | —                     | 6                              | 6                     | 6                     | 6                     | —                              | —                    | —                    |
| Minimum Garage Entry Setback (ft.)                      | front entry [9]                  | —                             | —                             | —                     | 20                             | 20                    | 20                    | 20                    | —                              | —                    | —                    |
| Minimum Garage Entry setback (ft.)                      | rear entry (from alley)          | —                             | —                             | —                     | 10                             | 10                    | 10                    | 10                    | —                              | —                    | —                    |
| Minimum Garage Entry Setback (ft.)                      | side entry (from alley)          | —                             | —                             | —                     | 5                              | 5                     | 5                     | 5                     | —                              | —                    | —                    |
| Maximum Height (ft.) [3,13]                             |                                  | —                             | —                             | —                     | 15-20                          | 15-20                 | 15-20                 | 15-20                 | —                              | —                    | —                    |

## Notes:

- [1] If the recorded plat of subdivision provides greater setbacks, the provisions of the plat shall prevail.
- [2] The side yard of a corner lot and rear yard of a double frontage lots shall conform to the minimum front yard requirements of the district.
- [3] Height restrictions of Airport Overlay District may be more restrictive.
- [4] "I" Districts: 10' rear or 7' side yard setback where that yard abuts any residential dwelling district.
- [5]"I" Districts: Where the frontage along one side of the street in that block abuts a residential district, then, the front yard requirements of the residential district shall apply.
- [6] "U" District : Minimum yard requirements and maximum height shall be in accordance with the approved Master Development Plan.
- [7] "MS-1" District: The side setbacks are 5' for buildings up to 50' in height and 10' for buildings taller than 50' in height.

# Density Dimensional Standards - Other Districts

[8] "MS-1" District: Any other building or structure that is not a hospital shall not exceed a height of 100 feet; however, if located within 150 feet of the boundary of the district, it shall not exceed a height of 50

[9] "X" Districts: Setbacks with a range are determined at the discretion of the Planning Director.

[10] "X-2" District: Side and rear yard setbacks may be reduced if not abutting residential uses, as determined at the discretion of the Planning Director.

[11] Accessory structures shall not be located within a required front yard or beyond the front face of the principal structure, whichever is more restrictive. However, a minimum setback of 20 feet from all street rights-of-way shall be provided for roadside stands, garages and carports. If, in the judgment of the planning director, construction of a roadside stand, garage or carport is compatible with the neighborhood, in respect to availability of land for public sidewalks, right-of-way needs, and the location of structures within the block, then such construction may occur with revised minimum setback(s) as determined by the planning director. If more restrictive than provided above, setbacks as set forth by plats of subdivision shall apply to any and all accessory structures.

[12] Setback from Principal Building. No portion of an accessory building, except for a carport, shall be located closer than six feet to the principal building or another accessory building on the same lot. However, an unenclosed breezeway may be extended between the principal structure and the accessory structure for the purpose of providing a covered walkway. In no event shall the construction of a covered walkway or a detached carport located next to another building be deemed to join the principal and accessory structures into one principal structure.

[13] Maximum Height. In the "MS-1", "X", and "D-2" districts accessory buildings and structures shall not exceed 15 feet when the principal building is one-story or 20 feet when the principal building is two-

[14] The Accessory building (detached) side and rear setbacks only applies to residential uses in the "X" and "MS-1" Districts.

[15] An unenclosed carport located less than 6 feet from the principal building may extend to within 3 feet of a side yard-side property line

[16] (i) In "C-5"- "D-1" District, no building hereafter erected or structurally altered shall exceed a height at the street line which is greater than the width of the street Right-of-Way times a factor of three. An additional height of six feet may be added for each one foot the building or structure is set back from the front property line or street line. The street line shall mean the right-of-way line or property line at the front of the lot, lots or building site. On corner lots, and where the widths of the two intersecting streets are varied, the larger street width shall be used to determine the height of any building or structure.

(ii) Exception. Within the state zoning area, as defined by K.S.A. 75-36320, the height of structures and buildings shall be regulated in accordance with the following provisions: no building shall exceed a height at the street line of six stories or 75 feet, but above the height permitted at the street line three feet may be added to the height of the building for each one foot that the building or portion thereof is set back from all sides of the lot, except that the cubical contents of such building shall not exceed the cubical contents of a prism having a base equal to the area of the lot and a height equal to two times the width of the street; provided, however, that a tower with a base not to exceed 20 percent of lot area not to have any side greater than 60 feet nor to have any wall closer than 20 feet to any lot line, may be constructed without reference to the above limitations. Any applicable provisions of Chapter 18.225 TMC shall apply to buildings erected in this district.

[17] "D-1" District: Refer to *Downtown Topeka Urban Design Guidelines*.

# DOWNTOWN TOPEKA

## D-1 & D-3 SIGN STANDARDS



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# 1 INTRODUCTION



## 2 SIGN TYPES



WALL SIGNS



PAINTED EXTERIOR WALL SIGNS



AWNING SIGNS

## 2 SIGN TYPES



WINDOW SIGNS

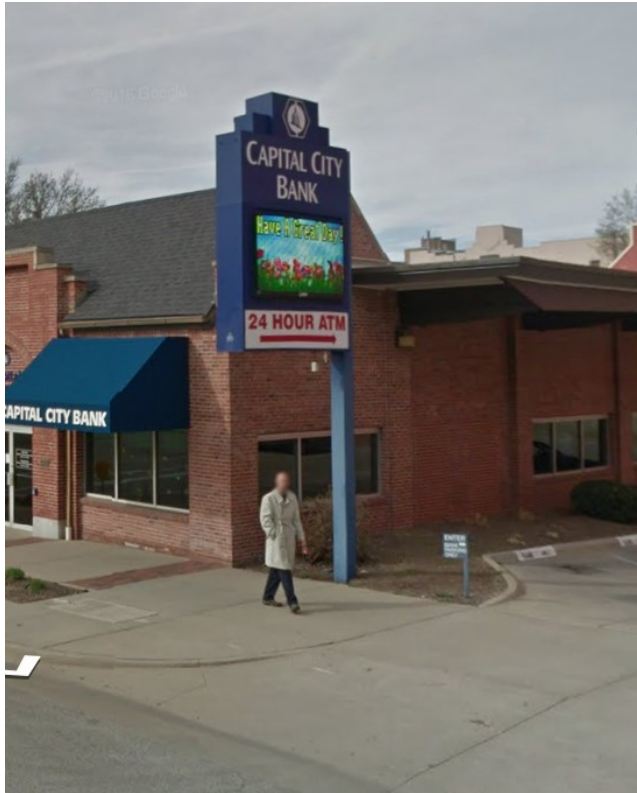


PROJECTING SIGNS

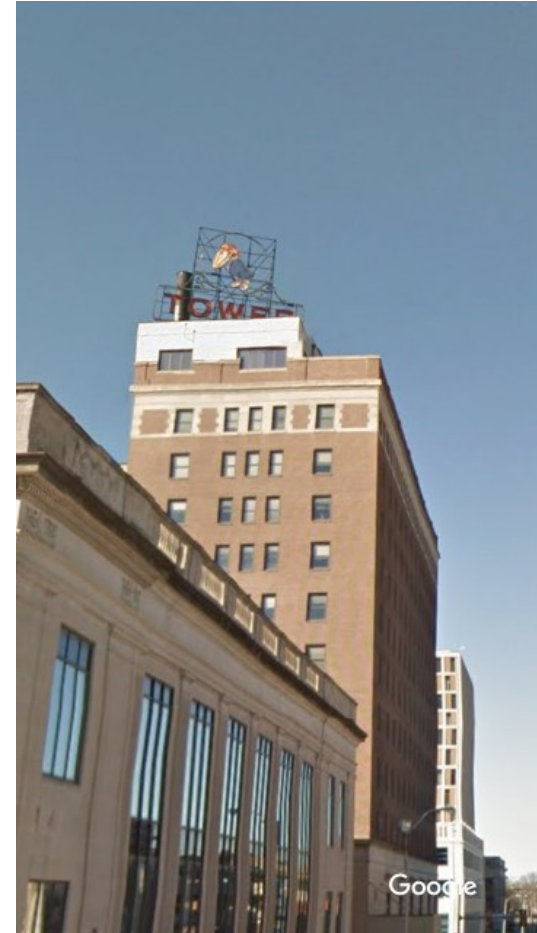


GROUND SIGNS

## 2 SIGN TYPES



GROUND SIGNS FUNCTIONING AS  
PROJECTING SIGNS

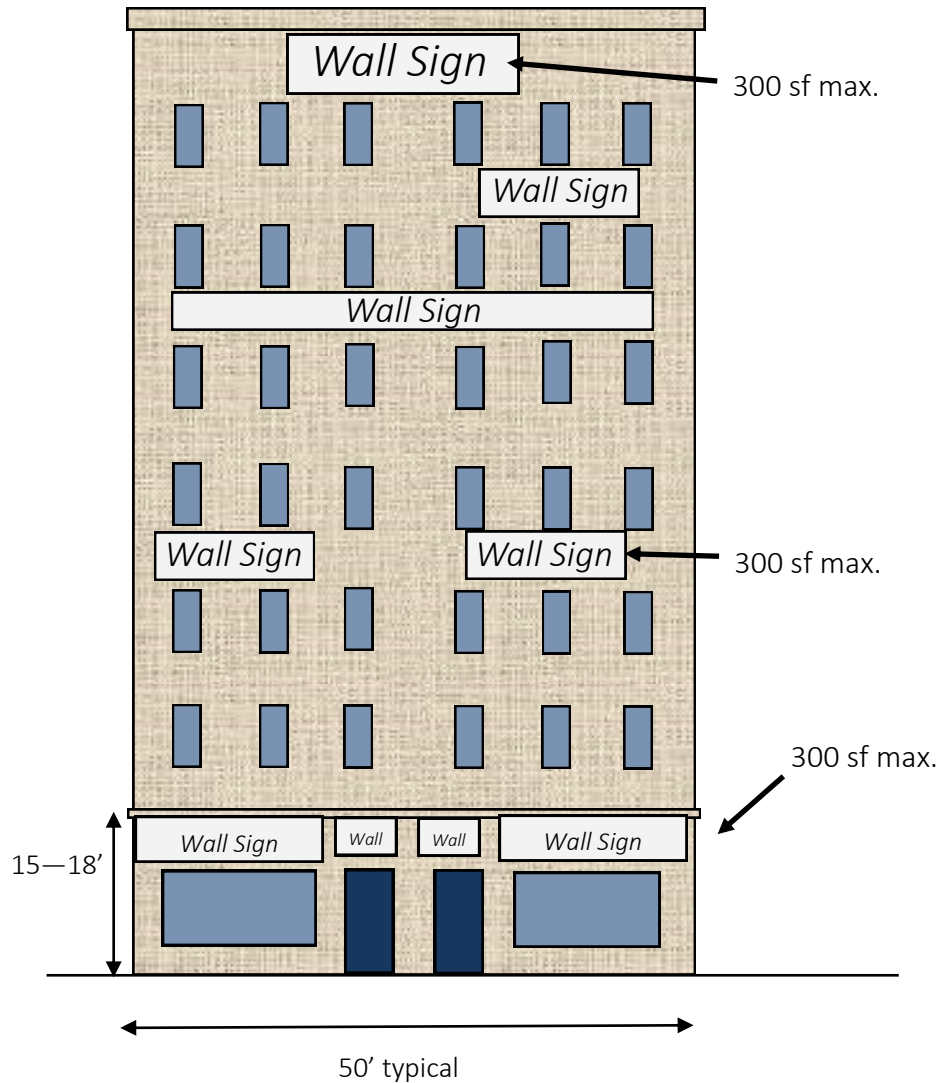


ROOF SIGNS

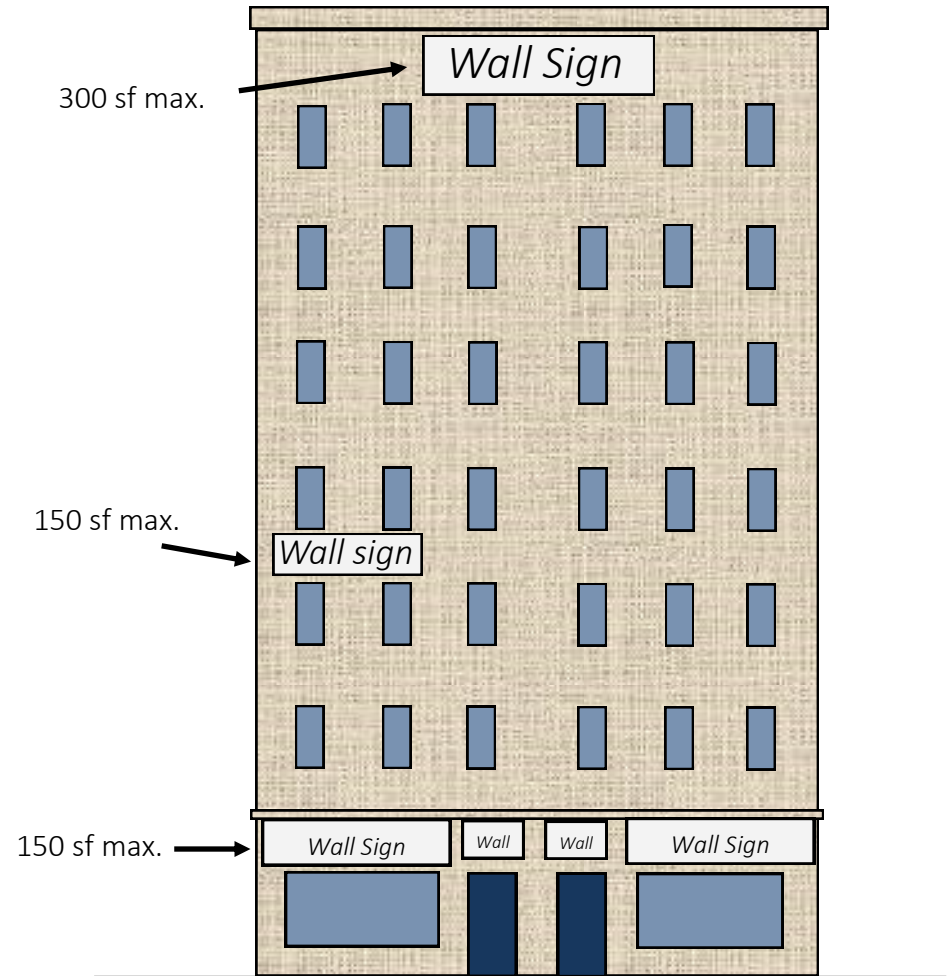


# 3 STANDARDS

## WALL SIGNS



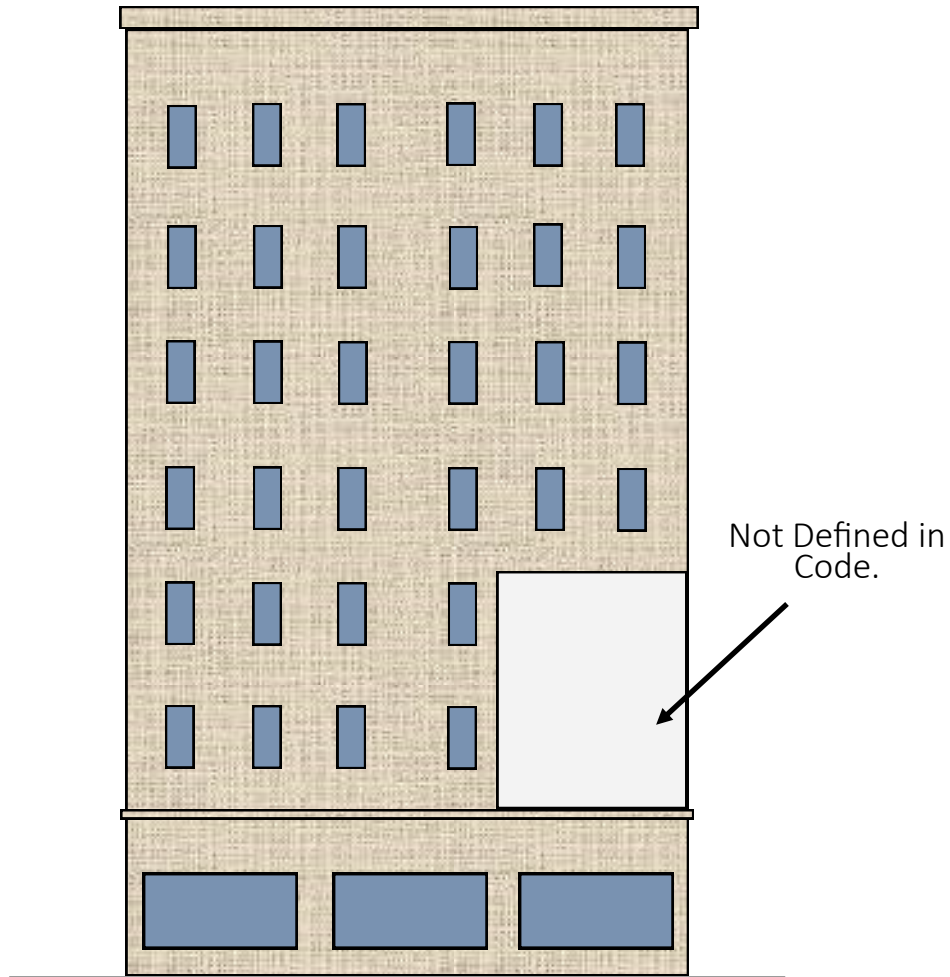
Current C-5 Standards



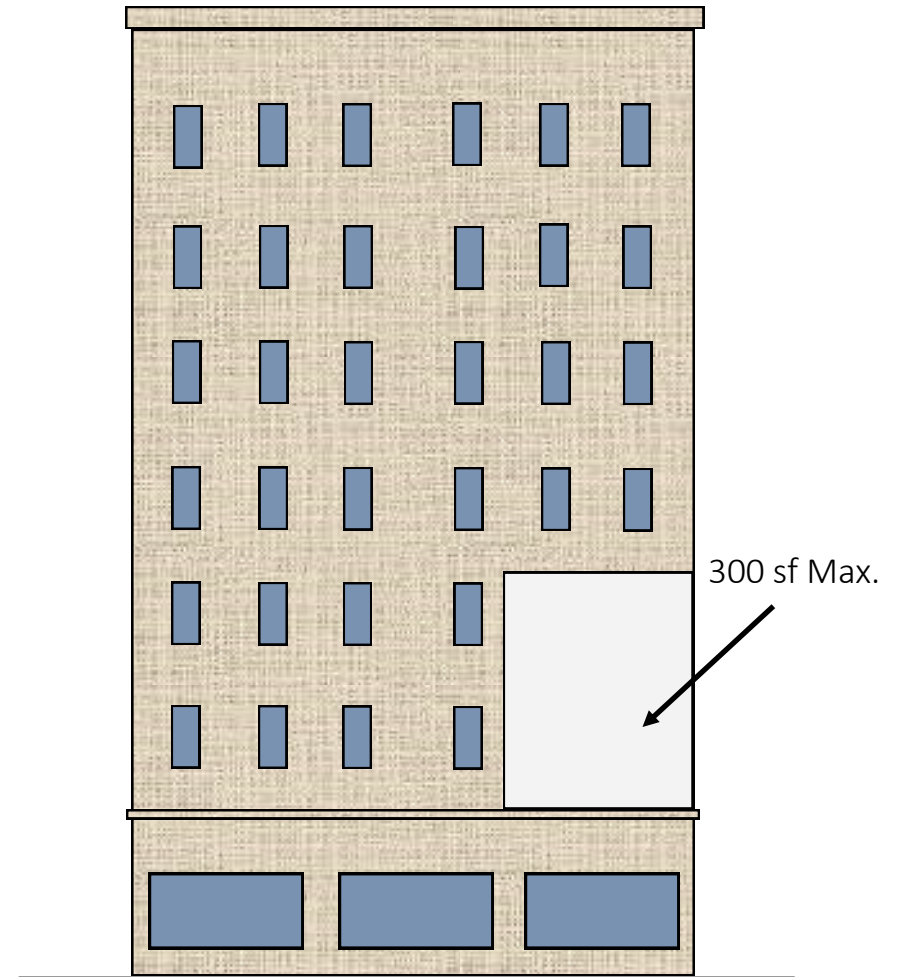
Proposed D-1 & D-3 Standards

# 3 STANDARDS

PAINTED EXTERIOR WALL SIGNS



Current C-5 Standards

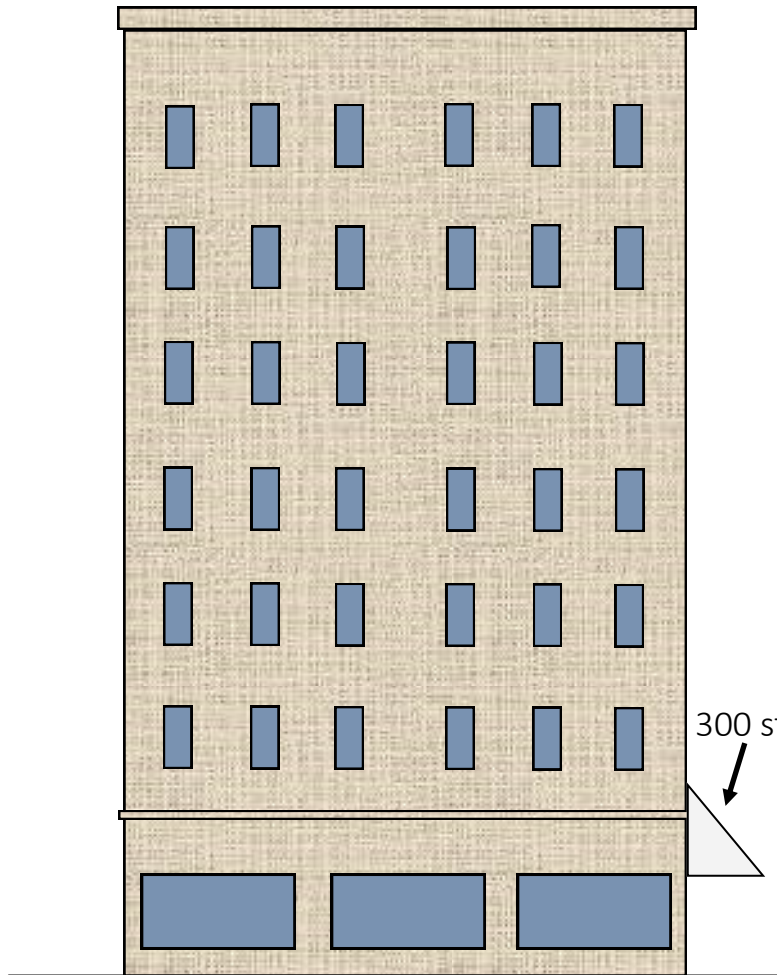


Proposed D-1 & D-3 Standards

On front of building,  
regulated as Wall Sign.

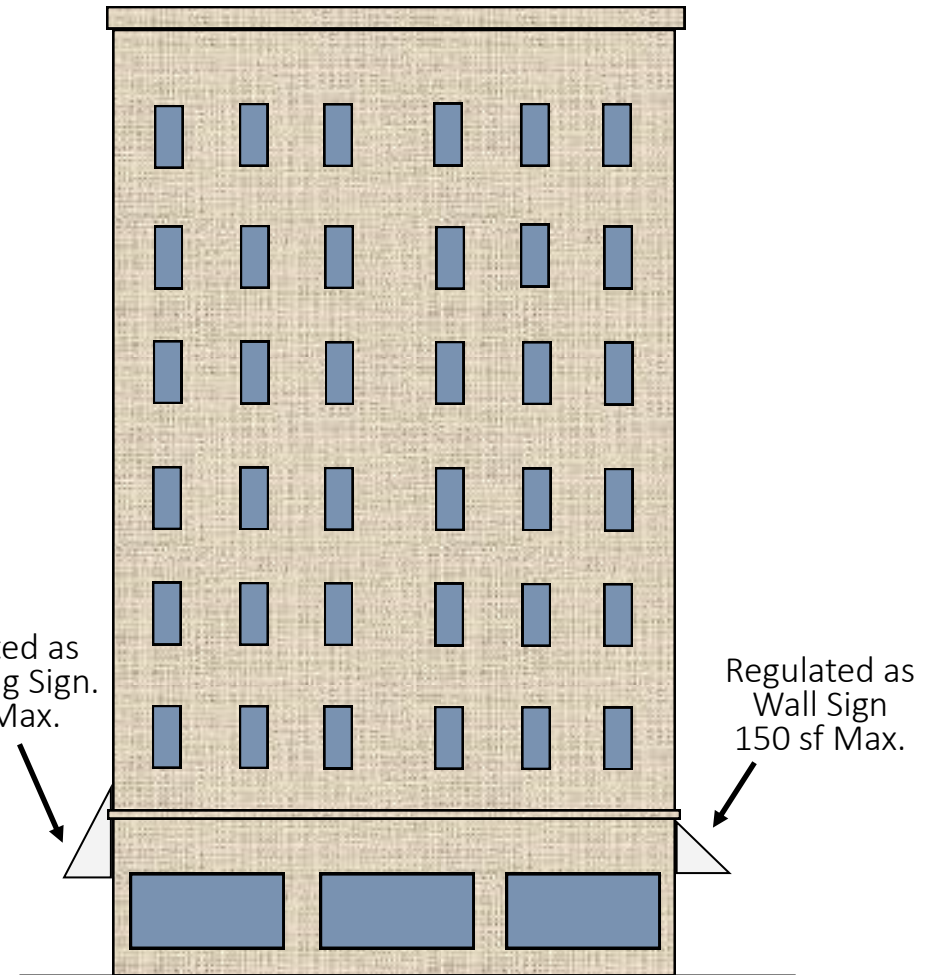
# 3 STANDARDS

## AWNING SIGNS



Current C-5 Standards

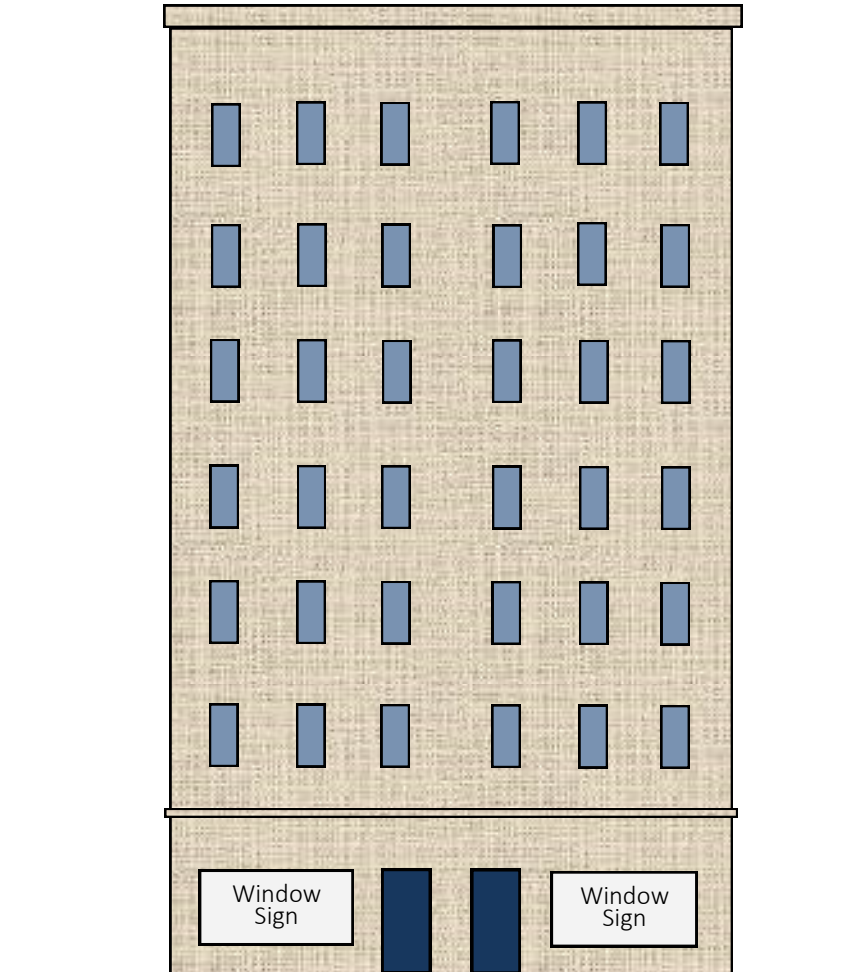
Regulated as  
Projecting Sign.  
75 sf Max.



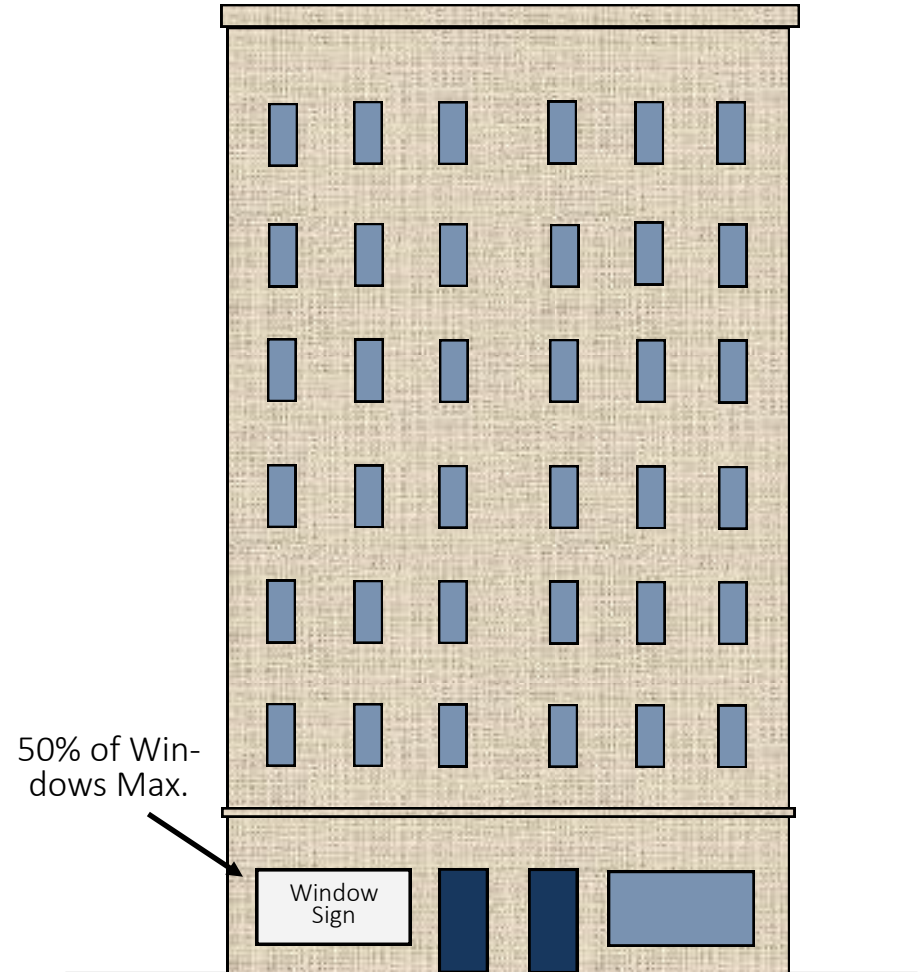
Proposed D-1 & D-3 Standards

# 3 STANDARDS

## WINDOW SIGNS



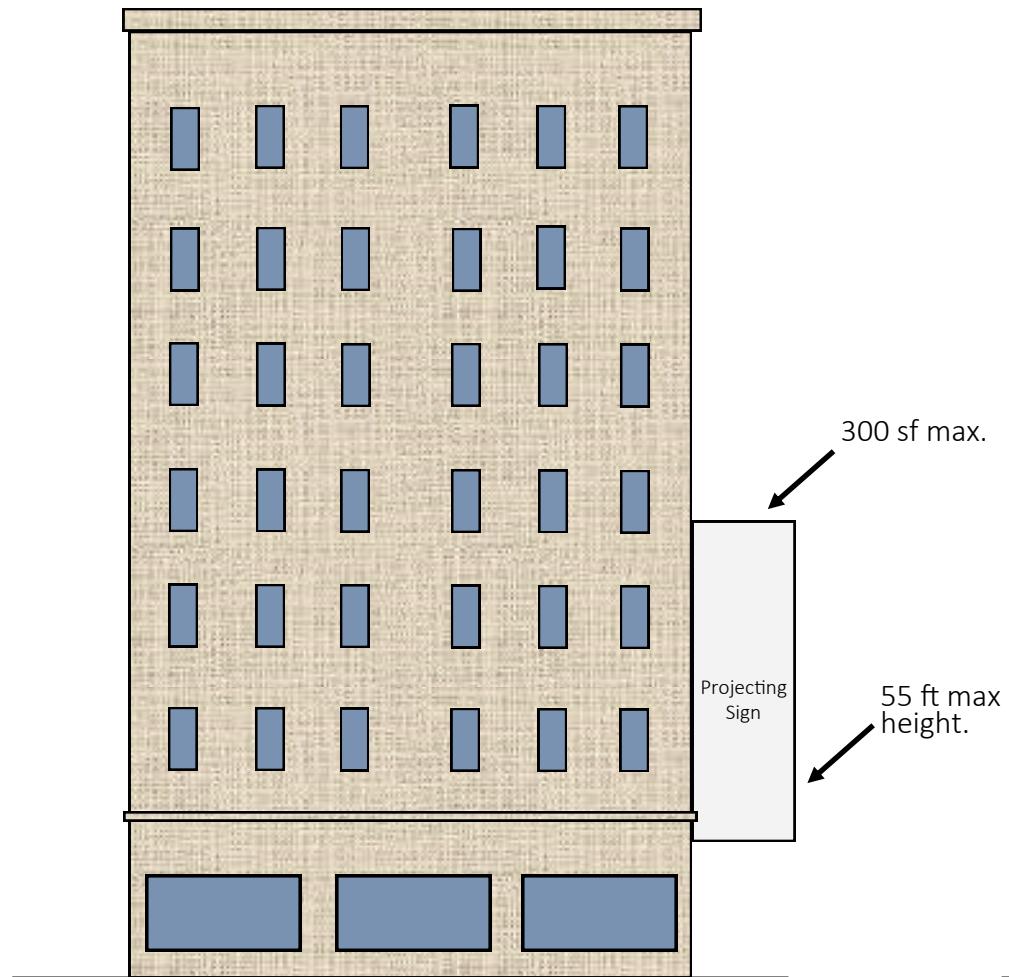
Current C-5 Standards  
Not Defined in Code.



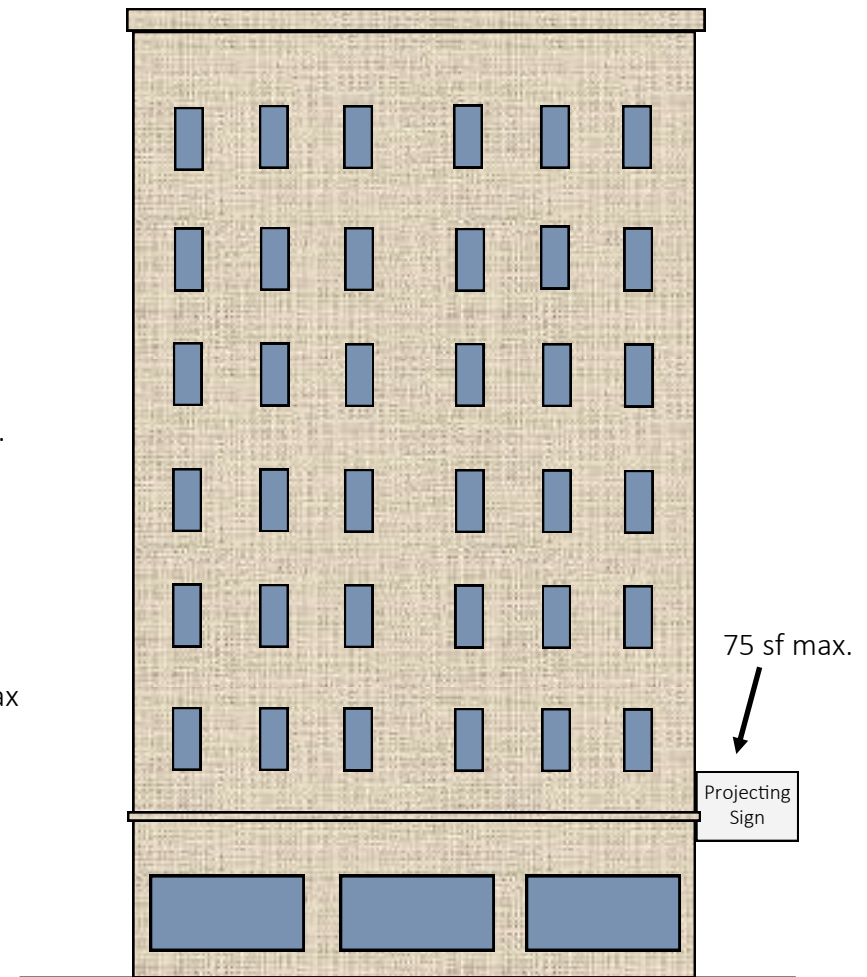
Proposed D-1 & D-3 Standards

# 3 STANDARDS

## PROJECTING SIGNS



Current C-5 Standards

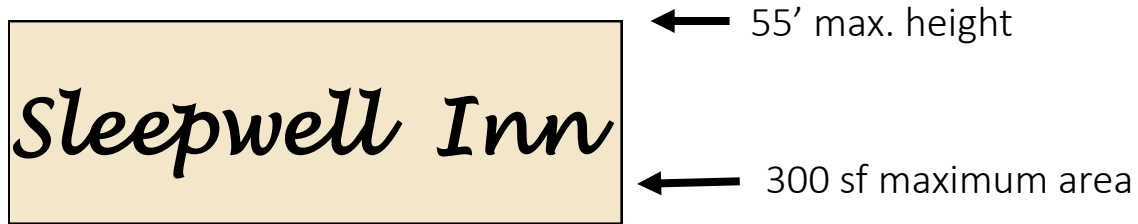


Proposed D-1 & D-3 Standards

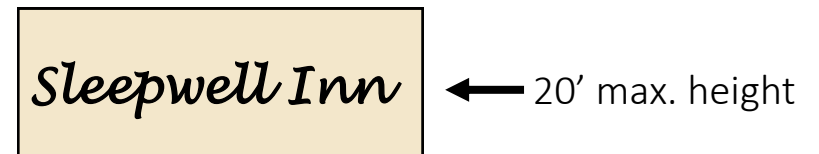


# 3 STANDARDS

GROUND SIGNS



Maximum Area  
= .75 sf per lf street frontage, not  
to exceed 150 sf



Current C-5 Standards

Proposed D-1 & D-3 Standards

# 3 STANDARDS

## GROUND SIGNS



Current C-5 Standards

Quantity: No Limit



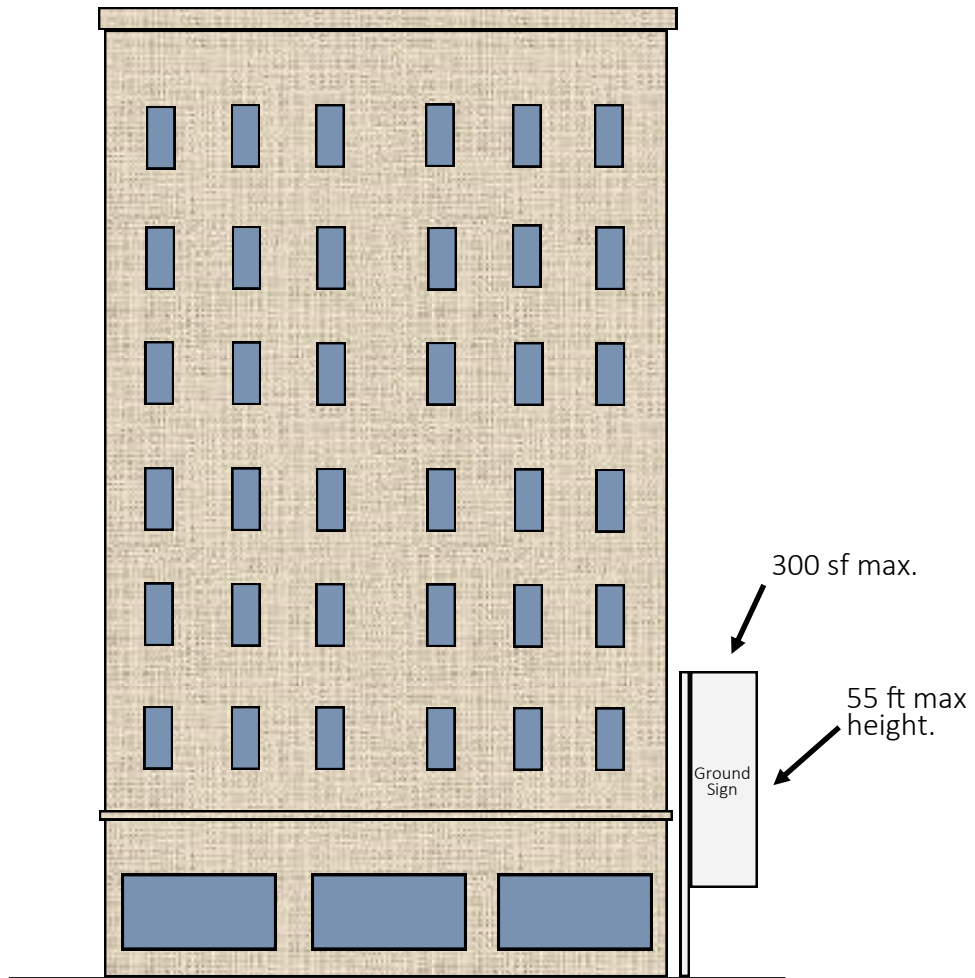
Proposed D-1 & D-3 Standards

Quantity:

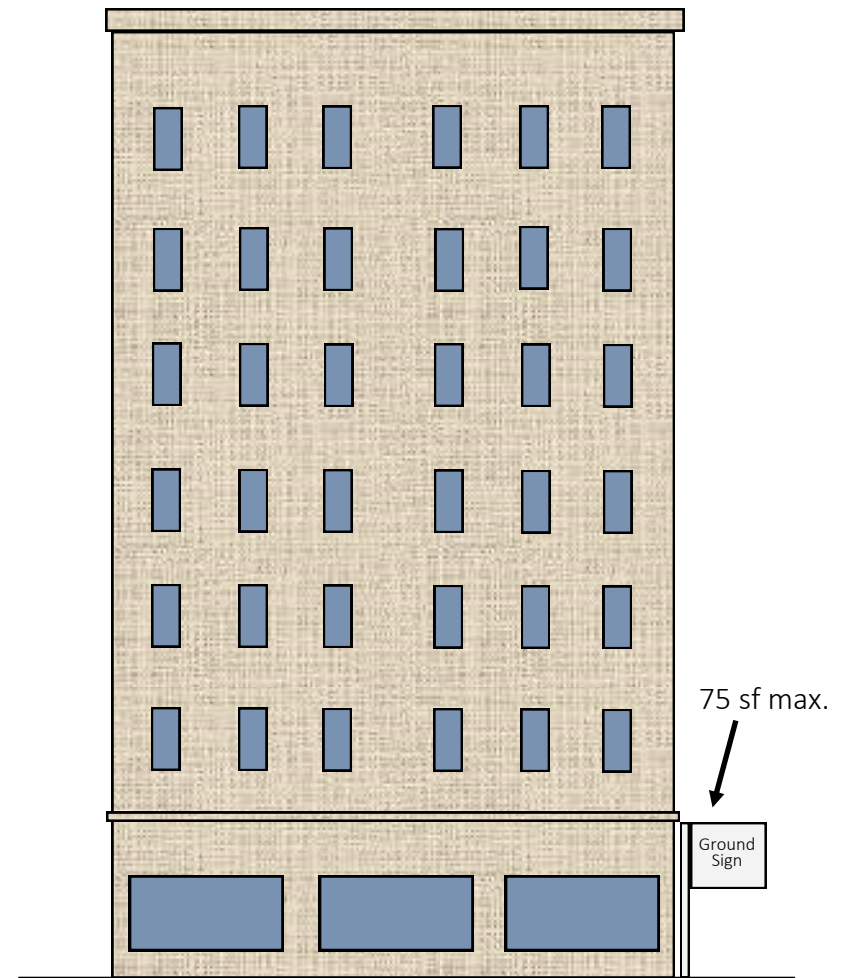
- 1 per street frontage, 2 maximum or 1 oriented to both fronting streets
- Additional directional ground signs also permitted

# 3 STANDARDS

GROUND SIGNS THAT FUNCTION  
LIKE PROJECTING SIGNS



Current C-5 Standards



Proposed D-1 & D-3 Standards

# 3 STANDARDS

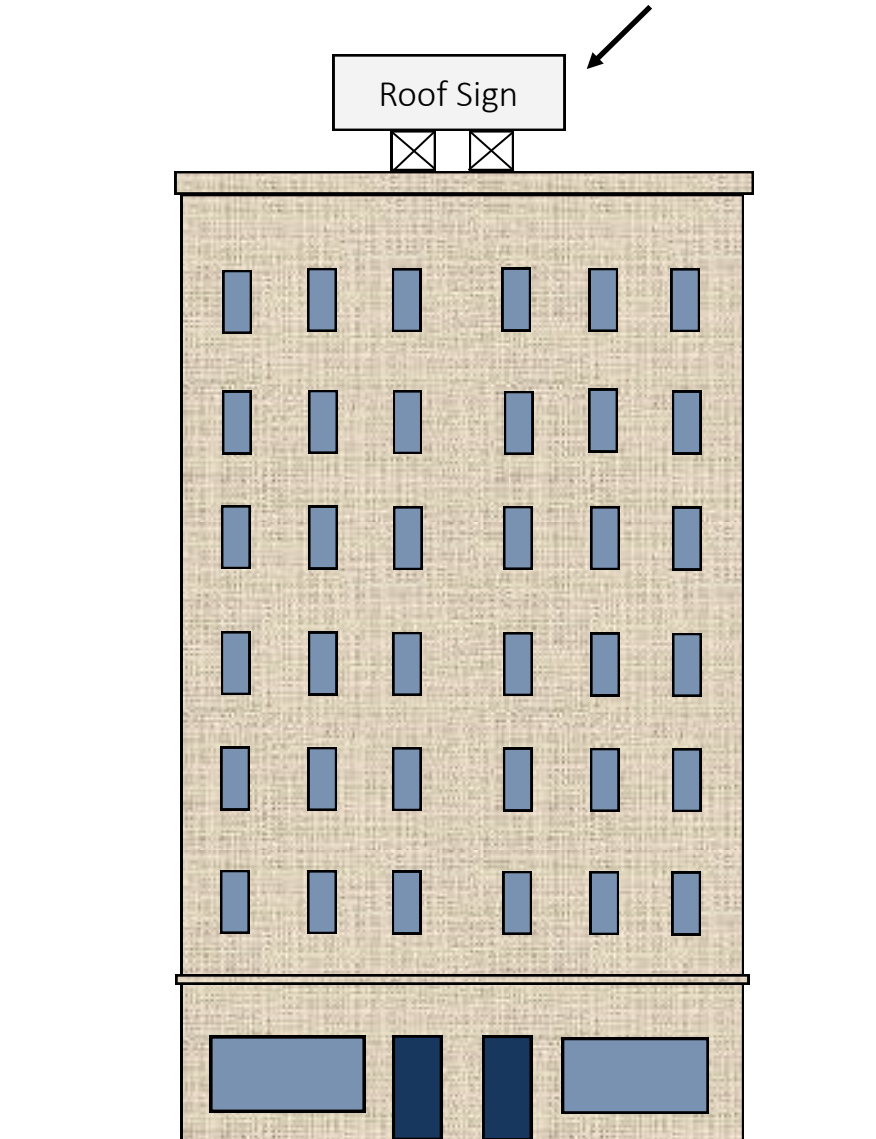
## ROOF SIGNS

Currently Not Permitted



Current C-5 Standards

300 sf Max.  
25% of Building Height  
Max.



Proposed D-1 & D-3 Standards





**City of Topeka**  
**Council Action Form**  
**Council Chambers**  
**214 SE 8th Street**  
**Topeka, Kansas 66603**  
**[www.topeka.org](http://www.topeka.org)**  
March 21, 2017

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|                              |                       |                    |
|------------------------------|-----------------------|--------------------|
| <b>DATE:</b>                 | <b>March 21, 2017</b> |                    |
| <b>CONTACT PERSON:</b>       | <b>Jacque Russell</b> | <b>DOCUMENT #:</b> |
| <b>SECOND PARTY/SUBJECT:</b> |                       | <b>PROJECT #:</b>  |
| <b>CATEGORY/SUBCATEGORY</b>  |                       |                    |
| <b>CIP PROJECT:</b>          | <b>No</b>             |                    |
| <b>ACTION OF COUNCIL:</b>    |                       | <b>JOURNAL #:</b>  |
|                              |                       | <b>PAGE #:</b>     |

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**DOCUMENT DESCRIPTION:**

**DISCUSSION** regarding the process for the recruitment of a City Manager.

*(The discussion will be facilitated by Doug Thomas, Strategic Government Resources.)*

**POLICY ISSUE:**

The extent of Governing Body involvement in the recruitment process for the City Manager position.

**STAFF RECOMMENDATION:**

Discussion item only.

**BACKGROUND:**

Through the Request for Proposal process Strategic Government Solutions was selected to provide executive recruitment services for the recruitment of the vacant City Manager position.

**BUDGETARY IMPACT:**

Not to exceed \$27,000 including expenses.

**SOURCE OF FUNDING:**

General Fund