



City of Topeka City Council Agenda

City Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org

June 21, 2016
6:00 PM

Mayor: Larry E. Wolgast Councilmembers

Karen A. Hiller	District No. 1	Brendan Jensen	District No. 6
Sandra Clear	District No. 2	Elaine Schwartz	District No. 7
Sylvia E. Ortiz	District No. 3	Jeff Coen	District No. 8
Tony Emerson	District No. 4	Richard Harmon	District No. 9
Michelle De La Isla	District No. 5		

City Manager: Jim Colson

Addressing the Council: No person shall address the Council during a Council Meeting, unless they have notified the City Clerk at (785)368-3940 by 5:00 P.M. on the day of any Council Meeting of their desire to speak on a specific matter on the published meeting agenda or during the public comment portion of the Council Meeting. This limitation shall not apply to items added during the course of a meeting. The Council does not take action with respect to any subject not on the agenda unless added to the agenda by a two-thirds vote of the Council.

Persons addressing the City Council will be limited to four (4) consecutive minutes of public address on a particular agenda item. Debate, question/answer dialogue or discussion between Councilmembers will not be counted towards the four (4) minute time limitation. The Chair may extend time with the unanimous consent of the Council or the Council by affirmative vote of five (5) members may extend the four (4) minute limitation.

Persons will be limited to addressing the City Council one (1) time on a particular matter unless otherwise allowed by an affirmative vote of five (5) members of the City Council.

To make arrangements for special accommodations please call 785-368-3940. A 48-hour advance notice is preferred.

The Federal Communications Commission (FCC) has adopted use of the 711 dialing code for access to Telecommunications Relay Services (TRS). TRS permits persons with a hearing or speech disability to use the telephone system via a text telephone (TTY) or other device to call persons with or without such disabilities. To reach the City Clerk's office using the TRS, please dial 711.

(Agendas are available on Thursday afternoon in the City Clerk's office, 215 SE 7th - Room 166 and on the City's web site at <http://www.topeka.org>)

CALL TO ORDER:

INVOCATION:

PLEDGE OF ALLEGIANCE:

1. MAYORAL PROCLAMATIONS:

"Summer Learning Day"
"Troy Scroggins Award"

2. PRESENTATIONS:

"None scheduled at this time."

3. ROLL CALL:

4. CONSENT AGENDA:

A. Board Appointment - Board of Mechanical Examiners Appeals

BOARD APPOINTMENT recommending the reappointment of Darryl Kopfman to the Board of Mechanical Examiners Appeals for a term ending July 1, 2018. *(Council District No. 3)*

B. Board Appointment - Topeka Board of Zoning Appeals

BOARD APPOINTMENT recommending the reappointment of Mike Morse to the Topeka Board of Zoning Appeals to fill an unexpired term ending August 1, 2019. *(Council District No. 6)*

C. Board Appointment - Downtown Business Improvement District Advisory Board

BOARD APPOINTMENT recommending the reappointment of Ken Scott to the Downtown Business Improvement District Advisory Board for a term ending July 1, 2018. *(Downtown Business Improvement District)*

D. Board Appointment - Downtown Business Improvement District Advisory Board

BOARD APPOINTMENT recommending the reappointment of Stephen Smith to the Downtown Business Improvement District Advisory Board for a term ending July 1, 2018. *(Downtown Business Improvement District)*

E. Board Appointment - Downtown Business Improvement District Advisory Board

BOARD APPOINTMENT recommending the reappointment of Daryl Craft to the Downtown Business Improvement District Advisory Board for a term ending July 1, 2018. *(Downtown Business Improvement District)*

F. Board Appointment - Washburn University Board of Regents

BOARD APPOINTMENT recommending the reappointment of Blanche Parks to the Washburn University Board of Regents for a term ending July 1, 2020. *(Council District No. 4)*

G. Resolution - The Celtic Fox - Noise Exception

A RESOLUTION introduced by Councilmember Karen Hiller granting The Celtic Fox an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. *(Council District No. 1)*

(Approval would allow for amplified music and sound during the hours of 4:00 p.m. and 1:30 a.m. on

July 9, 2016, on 8th Street between S. Kansas Avenue and Jackson Street.)

H. Resolution - The Celtic Fox - Special Event

A RESOLUTION introduced by Councilmember Karen Hiller approving a special event known as the Sunshine Reggae Fest. (Council District No. 1)

(Approval would allow the possession and consumption of alcoholic liquor on a portion of SW 8th Avenue between S. Kansas Avenue and Jackson Street in the designated barricaded area for the Sunshine Reggae Fest on July 9, 2016.)

I. Resolution - Fiesta Mexicana 2016 Parade - Noise Exception

A RESOLUTION introduced by Councilmember Sandra Clear granting Fiesta Mexicana an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. (Council District No. 2)

(City of Topeka Code Section 9.45.170, et seq., authorizes the City Council to grant noise exceptions. Approval would allow for amplified music and sound during the hours of 8:00 a.m. and 2:30 p.m. on July 9, 2016, along specified parade route.)

J. Resolution - 2016 Fiesta Mexicana - Noise Exception

A RESOLUTION introduced by Councilmember Sandra Clear, granting Fiesta Mexicana an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. (Council District No. 2)

(City of Topeka Code Section 9.45.170, et seq., authorizes the City Council to grant noise exceptions. Approval would allow for live bands and amplified music and sound during the hours of 4:00 p.m. and 11:59 p.m. on July 12-16, 2016, at specified locations.)

K. Resolution - 2016 Fiesta Mexicana - Parking Waiver

A RESOLUTION introduced by Councilmember Sandra Clear, granting a waiver to the provisions of City of Topeka Municipal Code Section 10.60.120 relating to parking on unimproved surfaces. (Council District No. 2)

(Approval would allow those individuals attending the Our Lady of Guadalupe Fiesta Mexicana event to park on unimproved surfaces at established areas during July 12-16, 2016.)

L. Resolution - 2016 Fiesta Mexicana - Special Event

A RESOLUTION introduced by Councilmember Sandra Clear, approving a special event known as 2016 Fiesta Mexicana. (Council District No. 2)

(Approval would allow for the sale, consumption and possession of alcoholic liquor on the barricaded portion of Atchison Avenue between NE Chandler and NE Lake Streets and NE Chandler Street between Greeley Street and Atchison Avenue for Our Lady of Guadalupe Fiesta Mexicana on July 12-16, 2016, between the designated hours.)

M. MINUTES of the regular meeting of June 14, 2016

N. APPLICATIONS:

5. ACTION ITEMS:

A. Public Hearing - Presbyterian Manors, Inc.

A PUBLIC HEARING concerning the use of an amount not to exceed \$5,500,000 of proceeds of

tax-exempt revenue bonds issued by the City of Wichita, Kansas, under the authority of K.S.A. 12-1740 et seq., for the purpose of financing and reimbursing the costs of buildings, building improvements, equipment, furnishings and various other expenditures at the existing facilities owned, leased and operated by Presbyterian Manors, Inc.

(The public hearing is required pursuant to the federal tax code in order to allow the execution of a certificate for the use of bond proceeds not to exceed \$5,500,000 for the purpose of capital expenditures by Presbyterian Manors, Inc.)

B. Public Hearing and Ordinance - Lauren's Bay Pond Improvement Project No. T-151011.00 - Special Assessment

A PUBLIC HEARING and AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying special assessments on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of Lauren's Bay Subdivision for Pond Improvement Project No. T-151011.00 as defined and described in Resolution No. 8317, adopted and approved March 5, 2011.

(Approval would pay the cost of the project including mitigation for two retention facilities, engineering costs, application costs and all other contingencies needed to complete the project. The final project cost is \$1,342,936.33 and will be paid 100% by the Improvement District spread over 20 years.)

C. Public Hearing and Ordinance - Kanza Education and Science Park Street Improvement Project No. T-601030.00 - Special Assessment

A PUBLIC HEARING and AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying special assessments on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of Kanza Education and Science Park for Street Improvement Project No. T-601030.00 as defined and described in Resolution No. 8487, adopted and approved January 22, 2013.

(Approval would pay the cost of paving, installing curb and gutter, grading, curb inlets, storm sewer pipes, street lighting, landscaping as well as engineering costs, application costs and all other contingencies needed to complete the project. The final project cost is \$4,407,995.63 and will be paid 100% by the Improvement District spread over 10 years.)

D. Public Hearing and Ordinance - Kanza Education and Science Park Sanitary Sewer Improvement Project No. T-401039.00 - Special Assessment

A PUBLIC HEARING and AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying special assessments on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of Kanza Education and Science Park for Sanitary Sewer Improvement Project No. T-401039.00 as defined and described in Resolution No. 8684, adopted and approved April 21, 2015.

(Approval would pay the cost of the project including sanitary sewer improvements, engineering costs, application costs and all other contingencies needed to complete the project. The final project cost is \$744,031.88 and will be paid 100% by the Improvement District spread over 10 years.)

E. Public Hearing and Ordinance - Kanza Education and Science Park Water Improvement Project No. T-281062.00 - Special Assessment

A PUBLIC HEARING and AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying special assessments on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of Kanza Education and Science Park for Water Improvement Project No. T-281062.00 as defined and described in Resolution No. 8485, adopted and approved January 22, 2013.

(Approval would pay the cost of the project including water line improvements, engineering costs, application costs and all other contingencies needed to complete the project. The final project cost is \$490,290.28 and will be paid 100% by the Improvement District spread over 10 years.)

F. Ordinance - Addressing Council Vacancies (Ordinance No. 19998)

ORDINANCE introduced by City Manager Jim Colson, concerning governing body meetings; veto; veto override; and vacancies, amending City of Topeka Code Section 2.15.020, 2.15.070 and 2.15.080, and repealing original sections.

(This ordinance was previously approved on May 10, 2016. Approval will correct an error in the number of votes necessary to fill a vacancy on the governing body.)

G. Ordinance - Expenditures - April 30-May 27, 2016

AN ORDINANCE introduced by City Manager Jim Colson, allowing and approving City expenditures for the period of April 30, 2016, through May 27, 2016, and enumerating said expenditures therein.

(Approval would authorize City expenditures in the amount of \$16,014,450.57.)

H. Ordinance - Amending Court Costs

AN ORDINANCE introduced by City Manager Jim Colson, concerning court costs and fees, amending Section 2.110.010 of the Code of the City of Topeka and specifically repealing said original section.

(Approval would comply with House Bill 2696 mandating an increase in municipal court fees for the Commission on Peace Officer Standards and Training Fund.)

I. Real Property Acquisition - 601 NW Jackson- Riverfront Park

APPROVAL of a Real Estate Purchase Agreement and Lease Agreement for the purchase of real property located at 601 NW Jackson Street, Topeka, Kansas.

(Approval would acquire property at 601 NW Jackson Street as part of the Great Overland Station and riverfront park project.)

J. Resolution - "Home of Harry W. Colmery" Signs

RESOLUTION introduced by City Manager Jim Colson, requesting the Kansas Department of Transportation to install "Home of Harry W. Colmery, Author of the GI Bill" signs on the interstate highway around the city limits and retain the existing "Home of Ron Evans" signs.

(Approval would initiate a request of the Kansas Department of Transportation to install signs at Interstate and State Highway approaches to the city limits.)

6. NON-ACTION ITEMS:

A. Discussion - Elmhurst Neighborhood Conservation District (NCD16/1)

DISCUSSION on the Elmhurst Neighborhood Conservation District. (NCD 16/1) (Council District No. 6)

B. Discussion - Use of Excess 2004-2016 Countywide Sales Tax Funds

DISCUSSION of potential uses for the excess funds from the 2004-2016 Countywide Half Cent

Sales Tax and continuation of Public Works budget item from the June 15, 2016 Budget Committee Meeting.

7. ANNOUNCEMENTS:

PRELIMINARY AGENDA

(The City Clerk will provide a brief summary of items on the next scheduled Council meeting agenda. Also during this time, the City Manager and Governing Body Members may offer comments regarding City business and announce upcoming events.)

8. PUBLIC COMMENT:

9. EXECUTIVE SESSION:

Executive Sessions are closed meetings held in accordance with the provisions of the Kansas Open Meetings Act.

(Executive sessions will be scheduled as needed and may include topics such as personnel matters, considerations of acquisition of property for public purposes, potential or pending litigation in which the city has an interest, employer-employee negotiations and any other matter provided for in K.S.A. 75-4319.)

10. ADJOURNMENT:

meeting in September of each year, to serve as a member of the board of regents for the ensuing year.
Council nominations not required.

BUDGETARY IMPACT:

There would be no budgetary impact to the City.

SOURCE OF FUNDING:

Not Applicable.



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Karen Hiller **DOCUMENT #:**
SECOND PARTY/SUBJECT: Katie Turner **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Karen Hiller granting The Celtic Fox an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. (*Council District No. 1*)

(*Approval would allow for amplified music and sound during the hours of 4:00 p.m. and 1:30 a.m. on July 9, 2016, on 8th Street between S. Kansas Avenue and Jackson Street.*)

POLICY ISSUE:

City of Topeka Code Section 9.45.170, et seq., authorizes the City Council to grant noise exceptions. Approval grants a noise exception to The Celtic Fox for the Sunshine Reggae Fest on July 9, 2016.

STAFF RECOMMENDATION:

Staff is recommending the Governing Body move to approve the resolution.

BACKGROUND:

The Celtic Fox is requesting the noise exception due to amplified music and sound during specified date and time.

BUDGETARY IMPACT:

There is no budgetary impact to the City.

SOURCE OF FUNDING:

Not Applicable

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO.

2
3 A RESOLUTION introduced by Councilmember Karen Hiller granting The Celtic
4 Fox an exception to the provisions of City of Topeka Code
5 Section 9.45.150, et seq. concerning noise prohibitions.
6

7 WHEREAS, City of Topeka Code Section 9.45.150, et seq. makes it
8 unlawful for any person to make, continue or cause to be made or continued any
9 loud, unnecessary or unusual noise or any noise which either annoys, disturbs,
10 injures or endangers the comfort, repose, health or safety or others within the
11 limits of the city; and

12 WHEREAS, City of Topeka Code Section 9.45.170, et seq. authorizes the
13 City Council to grant exceptions to the prohibitions of this code section upon
14 request and a showing that the proposed activity does not offend the spirit of the
15 findings of City of Topeka Code Section 9.45.150, et seq.; and

16 WHEREAS, The Celtic Fox has requested that they be granted an
17 exception to the provisions of City of Topeka Code Section 9.45.150, et seq. for
18 the purposes, dates and times described herein, and

19 WHEREAS, upon review of the application of The Celtic Fox the Council
20 of the City of Topeka does hereby find that the requested activity does not offend
21 the spirit of the findings of City of Topeka Code Section 9.45.150, et seq.

22 NOW, THEREFORE, BE IT RESOLVED by the Council of the City of
23 Topeka that The Celtic Fox is hereby granted an exception from the provisions of
24 City of Topeka Code Section 9.45.150, et seq. for their Sunshine Reggae Fest
25 located at 8th Street between Kansas Avenue and Jackson Street during the
26 hours of 4:00 p.m. and 1:30 a.m. on July 9, 2016.

28 ADOPTED and APPROVED by the Governing Body_____.

30 CITY OF TOPEKA, KANSAS

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35 ATTEST:

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39 Brenda Younger, City Clerk

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June 21, 2016**

DATE: June 21, 2016
CONTACT PERSON: Councilmember Hiller **DOCUMENT #:**
SECOND PARTY/SUBJECT: The Celtic Fox **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Karen Hiller approving a special event known as the Sunshine Reggae Fest. (Council District No. 1)

(Approval would allow the possession and consumption of alcoholic liquor on a portion of SW 8th Avenue between S. Kansas Avenue and Jackson Street in the designated barricaded area for the Sunshine Reggae Fest on July 9, 2016.)

POLICY ISSUE:

Pursuant to state law, the Governing Body must approve any special event where alcoholic liquor will be served and consumed on designated public streets, alleys, and sidewalks when a temporary permit has been issued by the Kansas Division of Alcohol Beverage Control (ABC).

STAFF RECOMMENDATION:

Staff recommends the Governing Body move to approve the resolution.

BACKGROUND:

Streets and alleys within the boundaries of the event shall be closed to motor vehicle traffic. The traffic engineer and the chief of police or their designees shall determine the streets and alleys to be closed and the closing times. Pursuant to K.S.A. 41-719 and 41-2645, the sponsor shall ensure that the area in which alcoholic liquor is possessed or consumed is clearly marked by signs, a posted map or other means ("Designated Barricaded Area").

BUDGETARY IMPACT:

There is no budgetary impact to the City.

SOURCE OF FUNDING:

Not Applicable

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO. _____

2
3 A RESOLUTION introduced by Councilmember Karen Hiller, approving a special event
4 known as Sunshine Reggae Festival to be held on July 9, 2016.

5
6 BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF TOPEKA,
7 KANSAS, that:

8 Section 1. Pursuant to state law, alcoholic liquor may be consumed at a special
9 event to be held on designated public streets, alleys, and sidewalks when a temporary
10 permit has been issued by the Kansas Division of Alcohol Beverage Control (ABC) and the
11 governing body has approved the event as required by K.S.A. 41-719 and 41-2645 and
12 amendments thereto.

13 Section 2. Having considered the request of the sponsor of the Sunshine Reggae
14 Festival to allow the possession and consumption of alcoholic liquor, the governing body
15 hereby approves the event to be held on July 9, 2016, between the hours of 4:00 p.m. and
16 1:30 a.m. provided the sponsor secures a temporary permit from ABC and complies with all
17 state laws and ordinances regulating alcoholic liquor.

18 Section 3. The following streets/alleys shall be closed to motor vehicle traffic
19 during the dates and times identified in Section 2: a portion of 8th Street between Kansas
20 Avenue and Jackson Avenue. Pursuant to K.S.A. 41-719 and 41-2645, the sponsor shall
21 ensure that the area in which alcoholic liquor is possessed or consumed is clearly marked
22 by signs, a posted map or other means ("Designated Barricaded Area").

23 Section 4. Event attendees may purchase, possess and consume alcoholic
24 beverages within the Designated Barricaded Area. Pursuant to K.S.A. 41-719, no alcoholic
25 liquor may be removed from Designated Barricaded Area or consumed inside vehicles
26 while on public streets or alleys at the event.

Section 5. This Resolution shall take effect and be in force after its approval by the governing body.

ADOPTED and APPROVED by the Governing Body on _____.

CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk



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DATE: June 21, 2016
CONTACT PERSON: Sandra Clear **DOCUMENT #:**
SECOND PARTY/SUBJECT: Alicia Guerrero-Chavez **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Sandra Clear granting Fiesta Mexicana an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. (*Council District No. 2*)

(*City of Topeka Code Section 9.45.170, et seq., authorizes the City Council to grant noise exceptions. Approval would allow for amplified music and sound during the hours of 8:00 a.m. and 2:30 p.m. on July 9, 2016, along specified parade route.*)

POLICY ISSUE:

Fiesta Mexicana has requested that a noise exception be granted for their parade to take place during specified date and time.

STAFF RECOMMENDATION:

Staff is recommending the Governing Body move to approve the resolution.

BACKGROUND:

Fiesta Mexicana is requesting the noise exception due to amplified music and sound at the event.

BUDGETARY IMPACT:

There is no budgetary impact to the City.

SOURCE OF FUNDING:

Not Applicable

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO. _____
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3 A RESOLUTION introduced by Councilmember Sandra Clear granting Our Lady
4 Guadalupe/Fiesta Mexicana an exception to the provisions of
5 City of Topeka Code Section 9.45.150, et seq. concerning
6 noise prohibitions.
7

8 WHEREAS, City of Topeka Code Section 9.45.150, et seq. makes it
9 unlawful for any person to make, continue or cause to be made or continued any
10 loud, unnecessary or unusual noise or any noise which either annoys, disturbs,
11 injures or endangers the comfort, repose, health or safety or others within the
12 limits of the city; and

13 WHEREAS, City of Topeka Code Section 9.45.170, et seq. authorizes the
14 City Council to grant exceptions to the prohibitions of this code section upon
15 request and a showing that the proposed activity does not offend the spirit of the
16 findings of City of Topeka Code Section 9.45.150, et seq.; and

17 WHEREAS, Our Lady Guadalupe/Fiesta Mexicana has requested that it
18 be granted an exception to the provisions of City of Topeka Code Section
19 9.45.150, et seq. for the purposes, dates and times described herein, and

20 WHEREAS, upon review of the application of Our Lady Guadalupe/Fiesta
21 Mexicana the Council of the City of Topeka does hereby find that the requested
22 activity does not offend the spirit of the findings of City of Topeka Code Section
23 9.45.150, et seq.

24 NOW, THEREFORE, BE IT RESOLVED by the Council of the City of
25 Topeka that Our Lady Guadalupe/Fiesta Mexicana is hereby granted an
26 exception from the provisions of City of Topeka Code Section 9.45.150, et seq.

27 during their Parade and Fun Run located along the approved route during the
28 hours of 8:00 a.m. and 2:30 p.m. on July 9, 2016.

29 ADOPTED and APPROVED by the Governing Body _____.
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31 CITY OF TOPEKA, KANSAS
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35 Larry E. Wolgast, Mayor

36 ATTEST:

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39 _____
40 Brenda Younger, City Clerk
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June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Sandra Clear **DOCUMENT #:**
SECOND PARTY/SUBJECT: Alicia Guerrero-Chavez **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Sandra Clear, granting Fiesta Mexicana an exception to the provisions of City of Topeka Code Section 9.45.150, et seq., concerning noise prohibitions. (*Council District No. 2*)

(*City of Topeka Code Section 9.45.170, et seq., authorizes the City Council to grant noise exceptions. Approval would allow for live bands and amplified music and sound during the hours of 4:00 p.m. and 11:59 p.m. on July 12-16, 2016, at specified locations.*)

POLICY ISSUE:

Fiesta Mexicana has requested that a noise exception be granted for the annual event to take place during specified date and time.

STAFF RECOMMENDATION:

Staff is recommending the Governing Body move to approve the resolution.

BACKGROUND:

Fiesta Mexicana is requesting the noise exception due to live bands and amplified music and sound at the event.

BUDGETARY IMPACT:

There is no budgetary impact to the City.

SOURCE OF FUNDING:

Not Applicable

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO. _____
2

3 A RESOLUTION introduced by Councilmember Sandra Clear granting Our Lady
4 Guadalupe/Fiesta Mexicana an exception to the provisions of
5 City of Topeka Code Section 9.45.150, et seq. concerning
6 noise prohibitions.
7

8 WHEREAS, City of Topeka Code Section 9.45.150, et seq. makes it
9 unlawful for any person to make, continue or cause to be made or continued any
10 loud, unnecessary or unusual noise or any noise which either annoys, disturbs,
11 injures or endangers the comfort, repose, health or safety or others within the
12 limits of the city; and

13 WHEREAS, City of Topeka Code Section 9.45.170, et seq. authorizes the
14 City Council to grant exceptions to the prohibitions of this code section upon
15 request and a showing that the proposed activity does not offend the spirit of the
16 findings of City of Topeka Code Section 9.45.150, et seq.; and

17 WHEREAS, Our Lady Guadalupe/Fiesta Mexicana has requested that it
18 be granted an exception to the provisions of City of Topeka Code Section
19 9.45.150, et seq. for the purposes, dates and times described herein, and

20 WHEREAS, upon review of the application of Our Lady Guadalupe/Fiesta
21 Mexicana the Council of the City of Topeka does hereby find that the requested
22 activity does not offend the spirit of the findings of City of Topeka Code Section
23 9.45.150, et seq.

24 NOW, THEREFORE, BE IT RESOLVED by the Council of the City of
25 Topeka that Our Lady Guadalupe/Fiesta Mexicana is hereby granted an
26 exception from the provisions of City of Topeka Code Section 9.45.150, et seq.

27 during the Fiesta Mexicana at specified location during the hours of 4:00 p.m.
28 and 11:59 p.m. on July 12-16, 2016.

29 ADOPTED and APPROVED by the Governing Body _____.

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31 CITY OF TOPEKA, KANSAS

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Larry E. Wolgast, Mayor

36 ATTEST:

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Brenda Younger, City Clerk

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June 21, 2016**

DATE: June 21, 2016
CONTACT PERSON: Councilmember Sandra Clear **DOCUMENT #:**
SECOND PARTY/SUBJECT: Our Lady of Guadalupe Church **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Sandra Clear, granting a waiver to the provisions of City of Topeka Municipal Code Section 10.60.120 relating to parking on unimproved surfaces. (*Council District No. 2*)

(*Approval would allow those individuals attending the Our Lady of Guadalupe Fiesta Mexicana event to park on unimproved surfaces at established areas during July 12-16, 2016.*)

POLICY ISSUE:

Approval would grant a waiver for those individuals attending the Fiesta Mexicana to park on unimproved surfaces at established areas for the period of July 12-16, 2016.

STAFF RECOMMENDATION:

Staff recommends the Governing Body move to approve the resolution.

BACKGROUND:

Topeka Municipal Code Section 10.60.120 relating to parking on unimproved surfaces authorizes the City Council to waive the provisions of this code section for specified properties and identified community events or activities designated by the Council for periods of time not to exceed two (2) weeks.

Our Lady of Guadalupe Fiesta Mexicana is requesting a waiver to allow attendees to park on unimproved surfaces for specified areas for the period of July 12-16, 2016.

BUDGETARY IMPACT:

There would be no budgetary impact to the City.

SOURCE OF FUNDING:

Not applicable.

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO. _____
2

3 A RESOLUTION introduced by Councilmember Sandra Clear granting a waiver to the
4 provisions of City of Topeka Code § 10.60.120 relating to parking on
5 unimproved surfaces.
6

7 WHEREAS, City of Topeka Code § 10.60.120, relating to parking on unimproved
8 surfaces, authorizes the City Council to waive the provisions of this code section for
9 specified properties and identified community events or activities designated by the
10 Council for periods of time not to exceed two (2) weeks; and

11 WHEREAS, Our Lady of Guadalupe Fiesta Mexicana has requested that it be
12 granted a waiver from the provisions of City of Topeka Code § 10.60.120 for the
13 purposes and subject to the conditions described herein.

14 NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Topeka
15 that the provisions of subsection (a) of City of Topeka Code § 10.60.120 relating to
16 parking on unimproved surfaces are hereby waived for the period of July 12, 2016
17 through July 16, 2016, for the following described area:

18 1. An area bordered by the BNSF (Burlington Northern Santa Fe) Railway
19 tracks on the south, north from the Branner Bridge over the BNSF Railway tracks along
20 Branner Street to Seward Avenue then north from Seward Avenue to Division Street on
21 Chandler Street on the west, Division Street on the north, and Grattan Street on the
22 east.

23 2. An area between Chandler Street to Hancock Street and from 4th Street to
24 the BNSF Railway tracks on the north.
25

26 ADOPTED and APPROVED by the Governing Body _____.

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28 CITY OF TOPEKA, KANSAS

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Larry E. Wolgast, Mayor

34 ATTEST:

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Brenda Younger, City Clerk



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Councilmember Sandra Clear **DOCUMENT #:**
SECOND PARTY/SUBJECT: Our Lady of Guadalupe Church **PROJECT #:**
CATEGORY/SUBCATEGORY 020 Resolutions / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

A RESOLUTION introduced by Councilmember Sandra Clear, approving a special event known as 2016 Fiesta Mexicana. (Council District No. 2)

(Approval would allow for the sale, consumption and possession of alcoholic liquor on the barricaded portion of Atchison Avenue between NE Chandler and NE Lake Streets and NE Chandler Street between Greeley Street and Atchison Avenue for Our Lady of Guadalupe Fiesta Mexicana on July 12-16, 2016, between the designated hours.)

POLICY ISSUE:

Approval allows the barricaded portion of Atchison Avenue between Chandler and NE Lake Streets and NE Chandler Street between Greeley Street and Atchison Avenue to be closed to motor vehicle traffic for a special event, allowing special event attendees to buy, possess and consume alcoholic beverages in the specific area designated by the State of Kansas Division of Alcohol Beverage Control.

STAFF RECOMMENDATION:

Staff recommends the Governing Body move to approve the resolution.

BACKGROUND:

Vendors holding the appropriate license from the State of Kansas to sell alcoholic liquor may in accordance with all state laws and municipal ordinances sell alcoholic liquor in the specific area designated by the Division of Alcohol Beverage Control within the barricaded portion of Atchison Avenue between Chandler and NE Lake Streets and NE Chandler Street between Greeley Street and Atchison Avenue for Our Lady of Guadalupe Fiesta Mexicana on July 12 through 16, 2016, between the hours of 4:00 p.m. and 11:59 p.m.

BUDGETARY IMPACT:

There is no budgetary impact to the City.

SOURCE OF FUNDING:

Not applicable.

ATTACHMENTS:

Description

Resolution

1 RESOLUTION NO. _____

2
3 A RESOLUTION introduced by Councilmember Sandra Clear, approving a special
4 event known as the 2016 Fiesta Mexicana.

5
6 BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF TOPEKA,
7 KANSAS, that:

8 Section 1. Pursuant to state law, alcoholic liquor may be consumed at a special
9 event to be held on designated public streets, alleys, and sidewalks when a temporary
10 permit has been issued by the Kansas Division of Alcohol Beverage Control (ABC) and the
11 governing body has approved the event as required by K.S.A. 41-719 and 41-2645 and
12 amendments thereto.

13 Section 2. Having considered the request of the sponsor of the 2016 Our Lady of
14 Guadalupe Fiesta Mexicana to allow the possession and consumption of alcoholic liquor,
15 the governing body hereby approves the event to be held on July 12 through 16, 2016,
16 between the hours of 4:00 p.m. and 11:59 p.m. provided the sponsor secures a temporary
17 permit from ABC and complies with all state laws and ordinances regulating alcoholic
18 liquor.

19 Section 3. The following streets/alleys shall be closed to motor vehicle traffic
20 during the dates and times identified in Section 2: a portion of Atchison Avenue between
21 Chandler and NE Lake Streets and NE Chandler Street between Greeley Street and
22 Atchison Avenue. Pursuant to K.S.A. 41-719 and 41-2645, the sponsor shall ensure that
23 the area in which alcoholic liquor is possessed or consumed is clearly marked by signs, a
24 posted map or other means ("Designated Barricaded Area").

25 Section 4. Event attendees may purchase, possess and consume alcoholic
26 beverages within the Designated Barricaded Area. Pursuant to K.S.A. 41-719, no alcoholic

27 liquor may be removed from Designated Barricaded Area or consumed inside vehicles
28 while on public streets or alleys at the event.

29 Section 5. This Resolution shall take effect and be in force after its approval by
30 the governing body.

31 ADOPTED and APPROVED by the Governing Body on _____.

32 CITY OF TOPEKA, KANSAS

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Larry E. Wolgast, Mayor

38 ATTEST:

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Brenda Younger, City Clerk



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Brandon Kauffman, Director of Finance
DOCUMENT #:
SECOND PARTY/SUBJECT: Presbyterian Manors, Inc
PROJECT #:
CATEGORY/SUBCATEGORY 007 Contracts and Amendments / 018 Other
CIP PROJECT: No
ACTION OF COUNCIL:
JOURNAL #:
PAGE #:

DOCUMENT DESCRIPTION:

A PUBLIC HEARING concerning the use of an amount not to exceed \$5,500,000 of proceeds of tax-exempt revenue bonds issued by the City of Wichita, Kansas, under the authority of K.S.A. 12-1740 et seq., for the purpose of financing and reimbursing the costs of buildings, building improvements, equipment, furnishings and various other expenditures at the existing facilities owned, leased and operated by Presbyterian Manors, Inc.

(The public hearing is required pursuant to the federal tax code in order to allow the execution of a certificate for the use of bond proceeds not to exceed \$5,500,000 for the purpose of capital expenditures by Presbyterian Manors, Inc.)

POLICY ISSUE:

Holding the public hearing would allow the use of \$5,500,000 million in Health Care Facilities Revenue Bonds for the purpose of capital improvements to healthcare facilities for Presbyterian Manors, Inc.

STAFF RECOMMENDATION:

Staff recommends the Governing Body conduct the public hearing.

BACKGROUND:

In 1995, 11 cities, including the City of Topeka, authorized the City of Wichita to issue revenue bonds. The proceeds of which were used to benefit the various Presbyterian Manor retirement care facilities located in these cities, including the City of Topeka. In 2013, the City of Topeka and the City of Wichita amended the interlocal agreement and authorized the issuance of \$110 million in revenue bonds.

Presbyterian Manor is now requesting the ability to use up to \$5,500,000 of the 2013 bond proceeds of tax-exempt revenue for the purpose of financing and reimbursing the costs of building, building improvements, equipment, furnishings, and other capital expenditures at existing facilities.

BUDGETARY IMPACT:

The City is not liable for the revenue bonds.

SOURCE OF FUNDING:

Not applicable.

ATTACHMENTS:

Description

Memo - Gilmore & Bell, PC

Public Hearing Notice

1995 Interlocal Agreement



MEMORANDUM

TO: City of Topeka, Kansas
CC: Presbyterian Manors, Inc.
FROM: Gilmore & Bell, P.C.
RE: PMI's Request to Host TEFRA Hearing
DATE: June 7, 2016

Presbyterian Manors, Inc. ("PMI") has requested that the City of Topeka, Kansas (the "City") hold a public hearing regarding the use of proceeds of bonds issued by the City of Wichita, Kansas and authorize the use of such proceeds to finance capital improvements at the PMI community in the City.

Wichita has acted as issuer of bonds on behalf of PMI since 1990 to finance improvements to PMI communities throughout Kansas. Having a single issuer enables PMI to have an integrated financing structure, which benefits PMI and all the communities due to improved borrowing costs. Recently, Wichita issued its Health Care Facilities Revenue Bonds (Presbyterian Manors, Inc.), Series IV, 2013, (the "Series 2013 Bonds") the proceeds of which were used to finance and refinance capital improvements at many of PMI's long-term care communities in Kansas. To enable Wichita to be the issuer of bonds on PMI's behalf, the City has entered into an Interlocal Cooperation Agreement with the City of Wichita, which was extended in 2013 to ensure the Interlocal Cooperation Agreement would remain in place through maturity of the Series 2013 Bonds.

PMI has determined that it will have funds related to certain assets financed and refinanced with the proceeds of the tax-exempt portion of the Series 2013 Bonds. To maintain the tax-exemption on the Series 2013 Bonds, the federal tax code requires PMI to use such funds to either redeem a proportionate amount of tax-exempt Series 2013 Bonds or finance capital expenditures. PMI has elected to use such funds to finance capital expenditures at its communities in Kansas, including the community in the City, which requires complying with certain requirements of the federal tax code as if the proceeds were derived from the actual issuance of bonds. The federal tax code requires that a public hearing be held in each jurisdiction where tax-exempt bond proceeds will be spent and that upon conclusion of the public hearing, the governing body or highest elected official in the jurisdiction approve the issuance of the bonds.

To comply with these federal tax code requirements, PMI is requesting that the City hold a public hearing and authorize the Mayor to execute a certificate authorizing the use of the proceeds of the sale in the City. A notice of public hearing was published in the *Topeka Capital Journal* on June 6, 2016. Costs of publishing the notice in the official City newspaper and any related fees of counsel to the City will be paid for by PMI.

If additional information can be provided to assist with your consideration of this request, please let us know.

(Published in Topeka Capital Journal June 6, 2016)

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that at 6:00 PM, on June 21, 2016 in the City Council Chambers, 214 E. 8th, Topeka, Kansas 66603, the governing body of the City of Topeka, Kansas (the "City") will hold a public hearing concerning the use of an amount not to exceed \$5,500,000 of proceeds of tax-exempt revenue bonds issued by the City of Wichita, Kansas (the "Issuer"), under the authority of K.S.A. 12-1740 *et seq.*, all or a portion of the proceeds will be used for the purpose of financing and reimbursing the costs of buildings, building improvements, equipment, furnishings and various other capital expenditures at the existing facilities owned, leased and operated by Presbyterian Manors, Inc. ("PMI") in the State of Kansas, including, roof replacement, remodel of home health office, renovations of independent living, assistant living, and nursing units, and miscellaneous capital improvements at the campus of PMI located in the City, at 4712 SW Sixth, Topeka, Kansas 66606-2284.

The hearing will be open to the public. All interested persons may attend the hearing and will have an opportunity to express their views with respect to the issuance of the bonds. Written comments with respect to the facilities may also be submitted to the undersigned prior to the hearing. Additional information regarding the facilities may be obtained in advance of the hearing from the undersigned.

DATED this 6th day of June, 2016.

Topeka, Kansas

/s/ Brenda Younger

Brenda Younger, City Clerk

ATTORNEY AT LAW
JAMES S. SMITH
GENERAL AGENT

KANSAS SECURED TITLE
AND ABSTRACT CO., INC.
2010 SW TYLER
P. O. BOX 1774
TOPEKA, KANSAS 66601-1774

18033

AUG 10 12 02 PM '95

INTERLOCAL COOPERATION AGREEMENT

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JOAN...

This Interlocal Cooperation Agreement, made pursuant to the Interlocal Cooperation Act, K.S.A. 12-2901, et seq., as amended (the "Interlocal Cooperation Act"), is entered into by and between the City of Wichita, Kansas (hereinafter referred to as the "Issuer"), and the City of Topeka, Kansas (hereinafter referred to as "Participant"), authorizing the City of Wichita, Kansas to issue certain Health Care Facilities Refunding Revenue Bonds in one or more series pursuant to K.S.A. 12-1740 to 12-1749d, inclusive, and K.S.A. 10-116a, all as amended (collectively the "Act") for the purposes and in the aggregate amounts set forth herein.

WHEREAS, in addition to the City of Topeka, Kansas, other participating cities, including the City of Emporia, Kansas, the City of Newton, Kansas, the City of Salina, Kansas, the City of Hutchinson, Kansas, the City of Ft. Scott, Kansas, the City of Arkansas City, Kansas, the City of Kansas City, Kansas and the City of Dodge City, Kansas (hereinafter collectively referred to as the "Previous Participants") for the purpose of issuing certain City of Wichita, Kansas, Health Care Facilities Refunding and Improvement Revenue Bonds, Series IX-A, 1990, Series IX-B, 1990 and Series IX-C, 1990 (Presbyterian Manors, Inc.) dated December 1, 1990, certain City of Wichita, Kansas, Health Care Facilities Refunding Revenue Bonds, Series V, 1993 (Presbyterian Manors, Inc.) dated October 1, 1993, certain City of Wichita, Kansas, Health Care Facilities Improvement Revenue Bonds, Series I, 1994 (Presbyterian Manors, Inc.) dated February 1, 1994, certain City of Wichita, Kansas, Health Care Facilities Refunding Revenue Bonds, Series IV, 1994 (Presbyterian Manors, Inc.) dated June 1, 1994 and certain City of Wichita, Kansas, Health Care Facilities Refunding Revenue Bonds, Series XIII, 1994 (Presbyterian Manors, Inc.) dated November 1, 1994; and

WHEREAS, it is possible that other participating cities, including the City of Clay Center, Kansas, the City of Parsons, Kansas and the City of Sterling, Kansas (hereinafter collectively referred to as "Prospective Participants"), may issue health care facilities refunding and/or improvement revenue bonds pursuant to the Act for the purposes of refunding certain outstanding bonds and constructing improvements and additions to existing facilities (the Previous Participants, Prospective Participants and the City are collectively referred to herein as the "Participants"); and

WHEREAS, pursuant to the Act, all cities and counties in the State of Kansas are authorized to issue revenue bonds, the proceeds of which may be used for the purpose of paying all or part of the cost of purchasing, acquiring, constructing, reconstructing, improving, equipping, furnishing, repairing, enlarging or remodeling facilities for agricultural, commercial, hospital,

industrial, natural resources, recreational development and manufacturing purposes; and

WHEREAS, pursuant to the Act, any city or county which has issued revenue bonds under the provisions of the Act are further authorized to issue refunding revenue bonds in the manner prescribed by and subject to the provisions of K.S.A. 10-116(a) of the Act; and

WHEREAS, in accordance with the provisions of K.S.A. 12-1741a, the Issuer has authority to issue such revenue bonds to finance facilities located outside its boundaries as specifically provided therein; and

WHEREAS, certain of the Prospective Participants have previously issued, pursuant to the Act, certain revenue bonds for the purposes of financing facilities which have been or are now leased to Presbyterian Manors, Inc.; and

WHEREAS, the Interlocal Cooperation Act permits local governmental units to make the most efficient use of their powers by enabling them to cooperate with other localities, persons, associations and corporations on a basis of mutual advantage and thereby to provide services and facilities in a manner and pursuant to forms of governmental organization that will accord best with geographic, economic, population and other factors influencing the needs and development of local communities; and

WHEREAS, each of the Participants is a "public agency" as such term is defined in K.S.A. 12-2903(a); and

WHEREAS, Presbyterian Manors, Inc., a Kansas not-for-profit corporation, currently leases and operates numerous healthcare facilities located throughout the State of Kansas, as well as its corporate offices located in the City of Wichita, Kansas; and

WHEREAS, Presbyterian Manors, Inc. has requested that all the Participants cooperate with one another and the Issuer to facilitate the refunding of certain outstanding bonds previously issued by certain of the Participants pursuant to the Act, and to provide funds for constructing certain new facilities, as well as improvements and additions to existing facilities located within the boundaries of the respective Participants, in order to secure to the Participants and to Presbyterian Manors, Inc. the economic and other benefits to be derived through the orderly and efficient financing of facilities and refunding of outstanding indebtedness issued for the purposes of financing certain facilities leased by the respective Participants to Presbyterian Manor, Inc.; and

WHEREAS, pursuant to the Interlocal Cooperation Act, the Participant is authorized and empowered to enter into this

Interlocal Cooperation Agreement and its governing body has duly authorized the execution and delivery on its behalf of this Interlocal Cooperation Agreement for the purpose of establishing the relationships and respective duties and obligations of the parties hereto in accordance with the Act.

NOW, THEREFORE, in consideration of the premises set forth herein, and of the mutual benefits to the Participants and the Issuer which shall accrue by virtue of this Interlocal Cooperation Agreement, the parties hereto agree as follows:

Section 1. This Agreement shall remain in full force and effect until the principal of and interest on all revenue bonds and all sums of money with respect thereto have been paid in full or provision made for the payment thereof in accordance with the provisions of said bonds, and the indentures and related agreements authorizing and securing payment of said bonds such that the bonds shall be deemed paid thereunder; provided, however, that in no event shall the term of this Agreement extend past 11:59 p.m. on December 1, 2030.

Section 2. The Participant hereby covenants and agrees that:

(a) The City of Wichita, Kansas, as issuer shall authorize and issue its revenue bonds pursuant to the Act for the purpose of refunding outstanding bonds and to provide funds for constructing improvements and additions to existing facilities located within the boundaries of the Participant for commercial purposes to be leased to Presbyterian Manors, Inc., all in accordance with the Act.

(b) All bonds issued by Issuer shall recite therein that said bonds are issued by Issuer on behalf of and with the consent and approval of the Participant, and pursuant to the provisions of this Interlocal Cooperation Agreement.

(c) Subject to the prior approval of Participant of the specific documents entered into on its behalf, the Issuer is authorized to execute and deliver on behalf of the Participant, indentures of trust, leases and such other documents and agreements as the governing body of the Issuer may determine to be necessary or desirable to secure payment of the bonds issued by Issuer and to evidence Issuer's security interests in the facilities financed through issuance of such bonds and such other revenues or property which may from time to time be pledged to secure payment of said bonds.

(d) The Issuer is further authorized to execute and deliver such other documents, agreements or certificates, as may be approved by respective Participant and as shall be necessary to implement and carry out the intention of this Interlocal Cooperation Agreement.

Section 3. The Participant hereby authorizes the Issuer to engage in any and all acts and to exercise all of the authority and powers conferred upon the Participant by the Act and by the Interlocal Cooperation Act with respect to any property located within the Participant's boundaries and its authority to issue revenue bonds pursuant to the Act.

Section 4. Issuer covenants and agrees that it will take no action under and pursuant to the terms of this Interlocal Cooperation Agreement which would result in the abatement of ad valorem taxes levied by Participant on or with respect to facilities leased to Presbyterian Manors, Inc., without the express prior written approval of such Participant in accordance with the provisions of K.S.A. 12-1741a and 12-1741b. Issuer further covenants that any payments in lieu of taxes received by the Issuer with respect to facilities located within the boundaries of the Participant shall upon receipt be forthwith allocated and transmitted to the Participant in accordance with the provisions of K.S.A. 12-1742.

Section 5. During the term of this Agreement, the Issuer shall maintain a written record which shall allocate the amount of bonds issued by the Issuer hereunder among the respective Participants in accordance with the amount of proceeds of such bonds utilized to redeem outstanding bonds and to provide additional facilities within the jurisdiction of each Participant. In no event may the total amount of bonds allocated to the Participant exceed the total amount of bonds authorized by such Participant pursuant to this Agreement or a letter of intent or inducement resolution duly approved by its governing body. Participant hereby reserves the right to increase the amount of authorized bonds which may be allocated to it hereunder by adoption of either an additional letter of intent or inducement resolution.

Section 6. It is expressly understood and agreed that the Participant shall not be liable in any manner for the payment of any revenue bonds hereafter issued for Presbyterian Manors, Inc. by the Issuer, and that the authority and designation herein contained shall not relieve Presbyterian Manors, Inc. of its obligations to comply with any applicable ordinances of the Participant.

Section 7. It is not anticipated that the Issuer or the Participant will incur any significant operating or other expenses in connection with the implementation of this Interlocal Cooperation Agreement. The Participant hereby finds and determines

that it is not necessary to provide for the financing or budget of any such expenditures in association herewith.

Section 8. This Interlocal Cooperation Agreement shall be in full force and effect upon execution by the parties hereto and shall not be dependent upon the other Participants entering into similar agreements.

Section 9. If one or more provisions of this Agreement are hereafter found void or unenforceable as provisions contrary to the law, the remaining provisions shall nevertheless continue in full force and effect, and only such provisions as are specifically found invalid shall be null and without effect.

THIS INTERLOCAL COOPERATION AGREEMENT WAS EXECUTED AND
DELIVERED this 31st day of July, 1995.

CITY OF WICHITA, KANSAS

Attest:

By: Bob Knight
Bob Knight, Mayor

Pat Burnett
Pat Burnett, Deputy City Clerk

"ISSUER"

(Seal)



CITY OF TOPEKA, KANSAS

By: *Harry Felker*
Harry Felker, Mayor
"PARTICIPANT"

ATTEST:

Iris Walker
Iris Walker, City Clerk
(Seal)

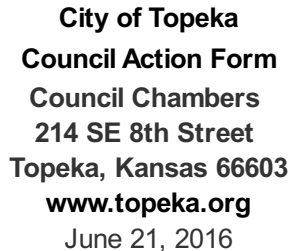


ATTORNEY GENERAL'S APPROVAL

The above and foregoing Interlocal Cooperation Agreement is in proper form and compatible with the laws of the State of Kansas and is hereby approved pursuant to K.S.A. 12-2904(f), as amended, this 8th day of August, 1995.

CARLA STOVALL
Attorney General of the State
of Kansas

By: Carla J. Stovall
Attorney General



June 21, 2016

Special assessments districts are supposed to pay for the improvement costs through the tax rolls; however, in

the event that they do not, the City would still make the annual bond payments through property taxes.

The final project cost is \$1,342,936.33 and will be paid 100% by the improvement district spread over 20 years. The district consists of 806 Units (lots) to be assessed at \$1,666.17 per unit. Parcels receive from 4 to 1 units based upon their proximity to the pond. A parcel with 4 units will be assessed \$6,664.70, with 3 units will be \$4,998.52, with 2 units will be \$3,332.35, and a parcel with 1 unit will be \$1,666.17.

These costs do not include the interest on bond payments, which will be assessed once the bonds are issued in August.

SOURCE OF FUNDING:

Special assessment payments are the primary source of funding, in the event they are not paid, the debt service fund would pay through ad valorem taxes.

ATTACHMENTS:

Description

Ordinance

Public Hearing Notice - Metro News June 6, 2016

Map

Sample Letter to Parcel Owners

Resolution No. 8317

Repair and Maintenance Agreement

Project Documents (Petition, Project Budget and Fact Sheet)

(Published in the Topeka Metro News on _____)

ORDINANCE NO. _____

AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying a special assessment on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of Lauren's Bay, for Improvement Project No. T-151011.00, as defined and described in Resolution No. 8317 adopted and approved March 15, 2011.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

Section 1. For the purpose of paying the cost of Improvement Project No. T-151011.00, in the City of Topeka, Shawnee County, Kansas, the Governing Body, pursuant to K.S.A. 12-6a01 *et seq.*, hereby levies and assesses a special assessment on all lots and pieces of ground liable therefore. Said assessments are computed as follows:

A. GENERAL NATURE OF IMPROVEMENT:

To repair existing pond at Lots 6 & 8, Block A, Lauren's Bay Villas Subdivision, and Lot 9, Block F, Lauren's Bay Estates, including completed Division of Water Resources breaching, dredging silt deposits, repairing or replacing existing dam, permitting with Division of Water Resources and United States Corps of Engineers, landscaping, perimeter sidewalk, five cutback parking stalls, engineering and all other contingencies required for a complete project.

B. IMPROVEMENT DISTRICT:

Lauren's Bay Subdivision

Block A; Lots 1 through 14 (3 units per lot)

Block B; Lots 1 through 15 (3 units per lot)

Block C; Lots 1 through 7 (3 units per lot)

Block C; Lots 13 through 16 (3 units per lot)

Block C; Lots 17 through 25 (4 units per lot)

Lauren's Bay Subdivision No. 2

Block A; Lots 1 through 3 (3 units per lot)

Lauren's Bay Estates

Block A; Lots 1 through 4 (3 units per lot)

Block B; Lots 1 through 14 (3 units per lot)

Block B; Lots 15 through 28 (2 units per lot)

Block C; Lots 1 through 9 (2 units per lot)

43 Block D; Lots 1 through 5 (2 units per lot)
 44 Block E; Lots 1 through 9 (2 units per lot)
 45 Block E; Lots 12 through 23 (1 unit per lot)
 46 Block E; Lots 25 through 37 (1 unit per lot)
 47 Block F; Lots 1 through 8 (4 units per lot)
 48 Block F; Lots 10 through 18 (4 units per lot)
 49 Block G; Lots 1 through 3 (3 units per lot)
 50 Block G; Lots 4 through 6 (2 units per lot)
 51 Block H; Lots 1 through 3 (3 units per lot)
 52 Block H; Lots 4 through 13 (2 units per lot)
 53 Block H; Lots 14 through 23 (3 units per lot)
 54 Block I; Lots 3 through 6 (2 units per lot)
 55 Block I; Lots 7 through 15 (1 unit per lot)
 56 Block J; Lots 1 through 8 (2 units per lot)
 57 Block J; Lots 9 through 17 (1 unit per lot)
 58 Block J; Lot 18 through 22 (2 units per lot)
 59 Block K; Lot 1 (2 units per lot)
 60 Block K; Lots 2 through 8 (1 unit per lot)
 61 Block K; Lots 9 through 11 (2 units per lot)
 62 Block M; Lots 1 through 16 (2 units per lot)
 63 Block M; Lots 45 through 58 (1 unit per lot)
 64 Block M; Lots 60 through 72 (1 unit per lot)
 65 Block M; Lots 74 through 79 (1 unit per lot)
 66 Block T; Lots 1 through 9 (1 unit per lot)
 67
 68 *Lauren's Bay Estates No. 2*
 69 Block A; Lots 1 through 7 (2 units per lot)
 70
 71 *Lauren's Bay Villas Subdivision*
 72 Block A; Lots 1 through 2 (4 units per lot)
 73 Block A; Portion of Lot 6 as described above (4 units)
 74 Block A; Lots 7 through 15 (3 units per lot)
 75 Block B; Lots 1 through 7 (3 units per lot)
 76 Block C; Lots 1 through 8 (3 units per lot)
 77 Block D; Lots 1 through 5 (3 units per lot)
 78 Block D; Lots 6 through 10 (2 units per lot)
 79
 80 *Lauren's Bay Villas No. 2*
 81 Block B; Lots 1 through 6 (2 units per lot)
 82
 83 *Lauren's Bay Villas No. 3*
 84 Block A; Lots 1 through 4 (4 units per lot)
 85
 86 *Wanamaker Meadows Subdivision*
 87 Block A; Lots 2 through 14 (1 unit per lot)
 88 Block B; Lots 1 through 27 (1 unit per lot)

Brian's Addition Subdivision 3

Block C; Lots 1 through 4 (1 unit per lot)

Block D; Lots 1 through 5 (1 unit per lot)

Block E; Lots 1 through 5 (1 unit per lot)

C. METHOD OF ASSESSMENT:

On a unit basis for all lots or individual dwelling sites which are included in the improvement district. Portions of lots less than a full lot shall be calculated on a square footage basis. This project consists of 806 units.

D. TOTAL COST & APPORTIONMENT OF COSTS:

FINAL PROJECT COST = \$1,342,936.33

100 % by the owners of property within the Improvement District.

Section 2. The several amounts are apportioned, levied and assessed against each of said lots and pieces of ground according to the benefits to be derived by reason of the aforesaid improvements as follows:

IMPROVEMENT PROJECT NO. T-151011.00

<u>Legal Description</u>	<u>Assessment</u>
--------------------------	-------------------

<i>Subdivision</i>	<i>Block</i>	<i>Lot</i>	<i>Cost</i>
LAUREN'S BAY ESTATES	A	1	\$4,998.52
LAUREN'S BAY ESTATES	A	2	\$4,998.52
LAUREN'S BAY ESTATES	A	3	\$4,998.52
LAUREN'S BAY ESTATES	A	4	\$4,998.52
LAUREN'S BAY ESTATES	B	1	\$4,998.52
LAUREN'S BAY ESTATES	B	2	\$4,998.52
LAUREN'S BAY ESTATES	B	3	\$4,998.52
LAUREN'S BAY ESTATES	B	4	\$4,998.52
LAUREN'S BAY ESTATES	B	5	\$4,998.52

LAUREN'S BAY ESTATES	B	6	\$4,998.52
LAUREN'S BAY ESTATES	B	7	\$4,998.52
LAUREN'S BAY ESTATES	B	8	\$4,998.52
LAUREN'S BAY ESTATES	B	9	\$4,998.52
LAUREN'S BAY ESTATES	B	10	\$4,998.52
LAUREN'S BAY ESTATES	B	11	\$4,998.52
LAUREN'S BAY ESTATES	B	12	\$4,998.52
LAUREN'S BAY ESTATES	B	13	\$4,998.52
LAUREN'S BAY ESTATES	B	14	\$4,998.52
LAUREN'S BAY ESTATES	B	15	\$3,332.35
LAUREN'S BAY ESTATES	B	16	\$3,332.35
LAUREN'S BAY ESTATES	B	17	\$3,332.35
LAUREN'S BAY ESTATES	B	18	\$3,332.35
LAUREN'S BAY ESTATES	B	19	\$3,332.35
LAUREN'S BAY ESTATES	B	20	\$3,332.35
LAUREN'S BAY ESTATES	B	21	\$3,332.35
LAUREN'S BAY ESTATES	B	22	\$3,332.35
LAUREN'S BAY ESTATES	B	23	\$3,332.35
LAUREN'S BAY ESTATES	B	24	\$3,332.35
LAUREN'S BAY ESTATES	B	25	\$3,332.35
LAUREN'S BAY ESTATES	B	26	\$3,332.35
LAUREN'S BAY ESTATES	B	27	\$3,332.35
LAUREN'S BAY ESTATES	B	28	\$3,332.35
LAUREN'S BAY ESTATES	C	1	\$3,332.35
LAUREN'S BAY ESTATES	C	2	\$3,332.35

LAUREN'S BAY ESTATES	C	3	\$3,332.35
LAUREN'S BAY ESTATES	C	4	\$3,332.35
LAUREN'S BAY ESTATES	C	5	\$3,332.35
LAUREN'S BAY ESTATES	C	6	\$3,332.35
LAUREN'S BAY ESTATES	C	7	\$3,332.35
LAUREN'S BAY ESTATES	C	8	\$3,332.35
LAUREN'S BAY ESTATES	C	9	\$3,332.35
LAUREN'S BAY ESTATES	D	1	\$3,332.35
LAUREN'S BAY ESTATES	D	2	\$3,332.35
LAUREN'S BAY ESTATES	D	3	\$3,332.35
LAUREN'S BAY ESTATES	D	4	\$3,332.35
LAUREN'S BAY ESTATES	D	5	\$3,332.35
LAUREN'S BAY ESTATES	E	1	\$3,332.35
LAUREN'S BAY ESTATES	E	2	\$3,332.35
LAUREN'S BAY ESTATES	E	3	\$3,332.35
LAUREN'S BAY ESTATES	E	4	\$3,332.35
LAUREN'S BAY ESTATES	E	5	\$3,332.35
LAUREN'S BAY ESTATES	E	6	\$3,332.35
LAUREN'S BAY ESTATES	E	7	\$3,332.35
LAUREN'S BAY ESTATES	E	8	\$3,332.35
LAUREN'S BAY ESTATES	E	9	\$3,332.35
LAUREN'S BAY ESTATES	E	12	\$1,666.17
LAUREN'S BAY ESTATES	E	13	\$1,666.17
LAUREN'S BAY ESTATES	E	14	\$1,666.17
LAUREN'S BAY ESTATES	E	15	\$1,666.17
LAUREN'S BAY ESTATES	E	16	\$1,666.17

LAUREN'S BAY ESTATES	E	17	\$1,666.17
LAUREN'S BAY ESTATES	E	18	\$1,666.17
LAUREN'S BAY ESTATES	E	19	\$1,666.17
LAUREN'S BAY ESTATES	E	20	\$1,666.17
LAUREN'S BAY ESTATES	E	21	\$1,666.17
LAUREN'S BAY ESTATES	E	22	\$1,666.17
LAUREN'S BAY ESTATES	E	23	\$1,666.17
LAUREN'S BAY ESTATES	E	25	\$1,666.17
LAUREN'S BAY ESTATES	E	26	\$1,666.17
LAUREN'S BAY ESTATES	E	27	\$1,666.17
LAUREN'S BAY ESTATES	E	28	\$1,666.17
LAUREN'S BAY ESTATES	E	29	\$1,666.17
LAUREN'S BAY ESTATES	E	30	\$1,666.17
LAUREN'S BAY ESTATES	E	31	\$1,666.17
LAUREN'S BAY ESTATES	E	32	\$1,666.17
LAUREN'S BAY ESTATES	E	33	\$1,666.17
LAUREN'S BAY ESTATES	E	34	\$1,666.17
LAUREN'S BAY ESTATES	E	35	\$1,666.17
LAUREN'S BAY ESTATES	E	36	\$1,666.17
LAUREN'S BAY ESTATES	E	37	\$1,666.17
LAUREN'S BAY ESTATES	F	1	\$6,664.70
LAUREN'S BAY ESTATES	F	2	\$6,664.70
LAUREN'S BAY ESTATES	F	3	\$6,664.70
LAUREN'S BAY ESTATES	F	4	\$6,664.70
LAUREN'S BAY ESTATES	F	5	\$6,664.70

LAUREN'S BAY ESTATES	F	6	\$6,664.70
LAUREN'S BAY ESTATES	F	7	\$6,664.70
LAUREN'S BAY ESTATES	F	8	\$6,664.70
LAUREN'S BAY ESTATES	F	10	\$6,664.70
LAUREN'S BAY ESTATES	F	11	\$6,664.70
LAUREN'S BAY ESTATES	F	12	\$6,664.70
LAUREN'S BAY ESTATES	F	13	\$6,664.70
LAUREN'S BAY ESTATES	F	14	\$6,664.70
LAUREN'S BAY ESTATES	F	15	\$6,664.70
LAUREN'S BAY ESTATES	F	16	\$6,664.70
LAUREN'S BAY ESTATES	F	17	\$6,664.70
LAUREN'S BAY ESTATES	F	18	\$6,664.70
LAUREN'S BAY ESTATES	G	1	\$4,998.52
LAUREN'S BAY ESTATES	G	2	\$4,998.52
LAUREN'S BAY ESTATES	G	3	\$4,998.52
LAUREN'S BAY ESTATES	G	4	\$3,332.35
LAUREN'S BAY ESTATES	G	5	\$3,332.35
LAUREN'S BAY ESTATES	G	6	\$3,332.35
LAUREN'S BAY ESTATES	H	1	\$4,998.52
LAUREN'S BAY ESTATES	H	2	\$4,998.52
LAUREN'S BAY ESTATES	H	3	\$4,998.52
LAUREN'S BAY ESTATES	H	4	\$3,332.35
LAUREN'S BAY ESTATES	H	5	\$3,332.35
LAUREN'S BAY ESTATES	H	6	\$3,332.35
LAUREN'S BAY ESTATES	H	7	\$3,332.35

LAUREN'S BAY ESTATES	H	8	\$3,332.35
LAUREN'S BAY ESTATES	H	9	\$3,332.35
LAUREN'S BAY ESTATES	H	10	\$3,332.35
LAUREN'S BAY ESTATES	H	11	\$3,332.35
LAUREN'S BAY ESTATES	H	12	\$3,332.35
LAUREN'S BAY ESTATES	H	13	\$3,332.35
LAUREN'S BAY ESTATES	H	14	\$4,998.52
LAUREN'S BAY ESTATES	H	15	\$4,998.52
LAUREN'S BAY ESTATES	H	16	\$4,998.52
LAUREN'S BAY ESTATES	H	17	\$4,998.52
LAUREN'S BAY ESTATES	H	18	\$4,998.52
LAUREN'S BAY ESTATES	H	19	\$4,998.52
LAUREN'S BAY ESTATES	H	20	\$4,998.52
LAUREN'S BAY ESTATES	H	21	\$4,998.52
LAUREN'S BAY ESTATES	H	22	\$4,998.52
LAUREN'S BAY ESTATES	H	23	\$4,998.52
LAUREN'S BAY ESTATES	I	3	\$3,332.35
LAUREN'S BAY ESTATES	I	4	\$3,332.35
LAUREN'S BAY ESTATES	I	5	\$3,332.35
LAUREN'S BAY ESTATES	I	6	\$3,332.35
LAUREN'S BAY ESTATES	I	7	\$1,666.17
LAUREN'S BAY ESTATES	I	8	\$1,666.17
LAUREN'S BAY ESTATES	I	9	\$1,666.17
LAUREN'S BAY ESTATES	I	10	\$1,666.17
LAUREN'S BAY ESTATES	I	11	\$1,666.17

LAUREN'S BAY ESTATES	I	12	\$1,666.17
LAUREN'S BAY ESTATES	I	13	\$1,666.17
LAUREN'S BAY ESTATES	I	14	\$1,666.17
LAUREN'S BAY ESTATES	I	15	\$1,666.17
LAUREN'S BAY ESTATES	J	1	\$3,332.35
LAUREN'S BAY ESTATES	J	2	\$3,332.35
LAUREN'S BAY ESTATES	J	3	\$3,332.35
LAUREN'S BAY ESTATES	J	4	\$3,332.35
LAUREN'S BAY ESTATES	J	5	\$3,332.35
LAUREN'S BAY ESTATES	J	6	\$3,332.35
LAUREN'S BAY ESTATES	J	7	\$3,332.35
LAUREN'S BAY ESTATES	J	8	\$3,332.35
LAUREN'S BAY ESTATES	J	9	\$1,666.17
LAUREN'S BAY ESTATES	J	10	\$1,666.17
LAUREN'S BAY ESTATES	J	11	\$1,666.17
LAUREN'S BAY ESTATES	J	12	\$1,666.17
LAUREN'S BAY ESTATES	J	13	\$1,666.17
LAUREN'S BAY ESTATES	J	14	\$1,666.17
LAUREN'S BAY ESTATES	J	15	\$1,666.17
LAUREN'S BAY ESTATES	J	16	\$1,666.17
LAUREN'S BAY ESTATES	J	17	\$1,666.17
LAUREN'S BAY ESTATES	J	18	\$3,332.35
LAUREN'S BAY ESTATES	J	19	\$3,332.35
LAUREN'S BAY ESTATES	J	20	\$3,332.35
LAUREN'S BAY ESTATES	J	21	\$3,332.35

LAUREN'S BAY ESTATES	J	22	\$3,332.35
LAUREN'S BAY ESTATES	K	1	\$3,332.35
LAUREN'S BAY ESTATES	K	2	\$1,666.17
LAUREN'S BAY ESTATES	K	3	\$1,666.17
LAUREN'S BAY ESTATES	K	4	\$1,666.17
LAUREN'S BAY ESTATES	K	5	\$1,666.17
LAUREN'S BAY ESTATES	K	6	\$1,666.17
LAUREN'S BAY ESTATES	K	7	\$1,666.17
LAUREN'S BAY ESTATES	K	8	\$1,666.17
LAUREN'S BAY ESTATES	K	9	\$3,332.35
LAUREN'S BAY ESTATES	K	10	\$3,332.35
LAUREN'S BAY ESTATES	K	11	\$3,332.35
LAUREN'S BAY ESTATES	M	1	\$3,332.35
LAUREN'S BAY ESTATES	M	2	\$3,332.35
LAUREN'S BAY ESTATES	M	3	\$3,332.35
LAUREN'S BAY ESTATES	M	4	\$3,332.35
LAUREN'S BAY ESTATES	M	5	\$3,332.35
LAUREN'S BAY ESTATES	M	6	\$3,332.35
LAUREN'S BAY ESTATES	M	7	\$3,332.35
LAUREN'S BAY ESTATES	M	8	\$3,332.35
LAUREN'S BAY ESTATES	M	9	\$3,332.35
LAUREN'S BAY ESTATES	M	10	\$3,332.35
LAUREN'S BAY ESTATES	M	11	\$3,332.35
LAUREN'S BAY ESTATES	M	12	\$3,332.35
LAUREN'S BAY ESTATES	M	13	\$3,332.35

LAUREN'S BAY ESTATES	M	14	\$3,332.35
LAUREN'S BAY ESTATES	M	15	\$3,332.35
LAUREN'S BAY ESTATES	M	16	\$3,332.35
LAUREN'S BAY ESTATES	M	45	\$1,666.17
LAUREN'S BAY ESTATES	M	46	\$1,666.17
LAUREN'S BAY ESTATES	M	47	\$1,666.17
LAUREN'S BAY ESTATES	M	48	\$1,666.17
LAUREN'S BAY ESTATES	M	49	\$1,666.17
LAUREN'S BAY ESTATES	M	50	\$1,666.17
LAUREN'S BAY ESTATES	M	51	\$1,666.17
LAUREN'S BAY ESTATES	M	52	\$1,666.17
LAUREN'S BAY ESTATES	M	53	\$1,666.17
LAUREN'S BAY ESTATES	M	54	\$1,666.17
LAUREN'S BAY ESTATES	M	55	\$1,666.17
LAUREN'S BAY ESTATES	M	56	\$1,666.17
LAUREN'S BAY ESTATES	M	57	\$1,666.17
LAUREN'S BAY ESTATES	M	58	\$1,666.17
LAUREN'S BAY ESTATES	M	60	\$1,666.17
LAUREN'S BAY ESTATES	M	61	\$1,666.17
LAUREN'S BAY ESTATES	M	62	\$1,666.17
LAUREN'S BAY ESTATES	M	63	\$1,666.17
LAUREN'S BAY ESTATES	M	64	\$1,666.17
LAUREN'S BAY ESTATES	M	65	\$1,666.17
LAUREN'S BAY ESTATES	M	66	\$1,666.17
LAUREN'S BAY ESTATES	M	67	\$1,666.17

LAUREN'S BAY ESTATES	M	68	\$1,666.17
LAUREN'S BAY ESTATES	M	69	\$1,666.17
LAUREN'S BAY ESTATES	M	70	\$1,666.17
LAUREN'S BAY ESTATES	M	71	\$1,666.17
LAUREN'S BAY ESTATES	M	72	\$1,666.17
LAUREN'S BAY ESTATES	M	74	\$1,666.17
LAUREN'S BAY ESTATES	M	75	\$1,666.17
LAUREN'S BAY ESTATES	M	76	\$1,666.17
LAUREN'S BAY ESTATES	M	77	\$1,666.17
LAUREN'S BAY ESTATES	M	78	\$1,666.17
LAUREN'S BAY ESTATES	M	79	\$1,666.17
LAUREN'S BAY ESTATES	T	1	\$1,666.17
LAUREN'S BAY ESTATES	T	2	\$1,666.17
LAUREN'S BAY ESTATES	T	3	\$1,666.17
LAUREN'S BAY ESTATES	T	4	\$1,666.17
LAUREN'S BAY ESTATES	T	5	\$1,666.17
LAUREN'S BAY ESTATES	T	6	\$1,666.17
LAUREN'S BAY ESTATES	T	7	\$1,666.17
LAUREN'S BAY ESTATES	T	8	\$1,666.17
LAUREN'S BAY ESTATES	T	9	\$1,666.17
LAUREN'S BAY ESTATES NO 2	A	1	\$3,332.35
LAUREN'S BAY ESTATES NO 2	A	2	\$3,332.35
LAUREN'S BAY ESTATES NO 2	A	3	\$3,332.35
LAUREN'S BAY ESTATES NO 2	A	4	\$3,332.35
LAUREN'S BAY ESTATES NO 2	A	5	\$3,332.35

LAUREN'S BAY ESTATES NO 2	A	6	\$3,332.35
LAUREN'S BAY ESTATES NO 2	A	7	\$3,332.35
LAUREN'S BAY SUBDIVISION	C	1	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	2	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	3	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	4	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	5	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	6	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	7	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	13	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	14	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	15	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	16	\$4,998.52
LAUREN'S BAY SUBDIVISION	C	17	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	18	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	19	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	20	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	21	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	22	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	23	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	24	\$6,664.70
LAUREN'S BAY SUBDIVISION	C	25	\$6,664.70
LAUREN'S BAY SUBDIVISION	B	1	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	2	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	3,4	\$9,997.04

LAUREN'S BAY SUBDIVISION	B	5	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	6	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	7,8	\$7,497.78
LAUREN'S BAY SUBDIVISION	B	8,9	\$7,497.78
LAUREN'S BAY SUBDIVISION	B	10	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	11	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	12	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	13	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	14	\$4,998.52
LAUREN'S BAY SUBDIVISION	B	15	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	1,2	\$9,997.04
LAUREN'S BAY SUBDIVISION	A	3	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	4	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	5	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	6	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	7	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	8	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	9	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	10	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	11	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	12	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	13	\$4,998.52
LAUREN'S BAY SUBDIVISION	A	14	\$4,998.52
LAUREN'S BAY SUBDIVISION NO 2	A	1	\$4,998.52
LAUREN'S BAY SUBDIVISION NO 2	A	2	\$4,998.52

LAUREN'S BAY SUBDIVISION NO 2	A	3	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	A	1	\$6,664.70
LAUREN'S BAY VILLAS SUBDIVISION	A	2	\$6,664.70
LAUREN'S BAY VILLAS SUBDIVISION	A	6	\$6,664.70
LAUREN'S BAY VILLAS SUBDIVISION	A	7,8	\$9,997.04
LAUREN'S BAY VILLAS SUBDIVISION	A	9	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	A	10	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	A	11-14	\$19,994.09
LAUREN'S BAY VILLAS SUBDIVISION	A	15	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	B	1-6	\$29,991.13
LAUREN'S BAY VILLAS SUBDIVISION	B	7	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	C	1-5	\$24,992.61
LAUREN'S BAY VILLAS SUBDIVISION	C	6	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	C	7	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	C	8	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	D	1	\$1,666.17
LAUREN'S BAY VILLAS SUBDIVISION	D	1	\$3,332.35
LAUREN'S BAY VILLAS SUBDIVISION	D	2	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	D	3-4	\$9,997.04
LAUREN'S BAY VILLAS SUBDIVISION	D	5	\$4,998.52
LAUREN'S BAY VILLAS SUBDIVISION	D	6	\$3,332.35
LAUREN'S BAY VILLAS SUBDIVISION	D	7	\$3,332.35
LAUREN'S BAY VILLAS SUBDIVISION	D	8	\$3,332.35
LAUREN'S BAY VILLAS SUBDIVISION	D	9	\$3,332.35
LAUREN'S BAY VILLAS SUBDIVISION	D	10	\$3,332.35

LAUREN'S BAY VILLAS NO 2	B	1	\$3,332.35
LAUREN'S BAY VILLAS NO 2	B	2	\$3,332.35
LAUREN'S BAY VILLAS NO 2	B	3	\$3,332.35
LAUREN'S BAY VILLAS NO 2	B	4-5	\$4,165.44
LAUREN'S BAY VILLAS NO 2	B	5-6	\$5,381.61
LAUREN'S BAY VILLAS NO 3	A	1	\$6,664.70
LAUREN'S BAY VILLAS NO 3	A	2	\$6,664.70
LAUREN'S BAY VILLAS NO 3	A	3	\$6,664.70
LAUREN'S BAY VILLAS NO 3	A	4	\$6,664.70
BRIANS ADDITION NO 3	C	1	\$1,666.17
BRIANS ADDITION NO 3	C	2	\$1,666.17
BRIANS ADDITION NO 3	C	3	\$1,666.17
BRIANS ADDITION NO 3	C	4	\$1,666.17
BRIANS ADDITION NO 3	D	1	\$1,666.17
BRIANS ADDITION NO 3	D	2	\$1,666.17
BRIANS ADDITION NO 3	D	3	\$1,666.17
BRIANS ADDITION NO 3	D	4	\$1,666.17
BRIANS ADDITION NO 3	D	5	\$1,666.17
BRIANS ADDITION NO 3	E	1	\$1,666.17
BRIANS ADDITION NO 3	E	2	\$1,666.17
BRIANS ADDITION NO 3	E	3	\$1,666.17
BRIANS ADDITION NO 3	E	4	\$1,666.17
BRIANS ADDITION NO 3	E	5	\$1,666.17
WANAMAKER MEADOWS	A	2	\$1,666.17
WANAMAKER MEADOWS	A	3	\$1,666.17

WANAMAKER MEADOWS	A	4	\$1,666.17
WANAMAKER MEADOWS	A	5	\$1,666.17
WANAMAKER MEADOWS	A	6	\$1,666.17
WANAMAKER MEADOWS	A	7	\$1,666.17
WANAMAKER MEADOWS	A	8	\$1,666.17
WANAMAKER MEADOWS	A	9	\$1,666.17
WANAMAKER MEADOWS	A	10	\$1,666.17
WANAMAKER MEADOWS	A	11	\$1,666.17
WANAMAKER MEADOWS	A	12	\$1,666.17
WANAMAKER MEADOWS	A	13	\$1,666.17
WANAMAKER MEADOWS	A	14	\$1,666.17
WANAMAKER MEADOWS	B	1	\$1,666.17
WANAMAKER MEADOWS	B	2	\$1,666.17
WANAMAKER MEADOWS	B	3	\$1,666.17
WANAMAKER MEADOWS	B	4	\$1,666.17
WANAMAKER MEADOWS	B	5	\$1,666.17
WANAMAKER MEADOWS	B	6	\$1,666.17
WANAMAKER MEADOWS	B	7	\$1,666.17
WANAMAKER MEADOWS	B	8	\$1,666.17
WANAMAKER MEADOWS	B	9	\$1,666.17
WANAMAKER MEADOWS	B	10	\$1,666.17
WANAMAKER MEADOWS	B	11	\$1,666.17
WANAMAKER MEADOWS	B	12	\$1,666.17
WANAMAKER MEADOWS	B	13	\$1,666.17
WANAMAKER MEADOWS	B	14	\$1,666.17

WANAMAKER MEADOWS	B	15	\$1,666.17
WANAMAKER MEADOWS	B	16	\$1,666.17
WANAMAKER MEADOWS	B	17	\$1,666.17
WANAMAKER MEADOWS	B	18	\$1,666.17
WANAMAKER MEADOWS	B	19	\$1,666.17
WANAMAKER MEADOWS	B	20	\$1,666.17
WANAMAKER MEADOWS	B	21	\$1,666.17
WANAMAKER MEADOWS	B	22	\$1,666.17
WANAMAKER MEADOWS	B	23	\$1,666.17
WANAMAKER MEADOWS	B	24	\$1,666.17
WANAMAKER MEADOWS	B	25	\$1,666.17
WANAMAKER MEADOWS	B	26	\$1,666.17
WANAMAKER MEADOWS	B	27	\$1,666.17

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114 Section 3. Such assessments with accrued interest are hereby levied concurrent
115 with general property taxes and shall be payable in twenty (20) equal annual installments;
116 the first installment to be payable at the time of the first payment of the general property
117 taxes, following the publication of this ordinance.

118 Section 4. All assessments shall bear interest in an amount not to exceed the
119 legal rate established by law.

120 Section 5. The owner of any property so assessed may at any time prior to 30
121 days from the date of publication of this ordinance, pay the whole of the assessment
122 against any lot or parcel with interest accrued to the date of payment, to the City Treasurer.

123

Section 6. Assessments not paid prior to the date provided in Section 5 hereof. shall be certified, together with interest accrued, or to accrue, by the City Clerk to the County Clerk, and collected in the same manner as other taxes.

Section 7. This ordinance shall take effect and be in force from and after its passage, approval and publication in the official city newspaper.

PASSED and APPROVED by the Governing Body _____.

CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk

(Published in The Topeka Metro News June 6, 2016)

NOTICE OF PUBLIC HEARING

LAUREN'S BAY VILLAS SUBDIVISION AND LAUREN'S BAY ESTATES POND REPAIR AND IMPROVEMENT PROJECT NO. T-151011.00

Notice is hereby given that there will be a special meeting of the City Council of the City of Topeka, Shawnee County, Kansas, held on **June 21, 2016, at 6:00 P.M.**, in the Council Chamber 214 E. 8th, for the purpose of hearing any and all complaints that may be made as to the validity and fairness of the assessments on file in the office of the Clerk, on all lots, parcels and pieces of ground liable for the cost of improvement, same being **Pond Repair and Improvement Project No. T-151011.00, authorized by Resolution of Advisability and Authorization No 8317, adopted and approved March 15, 2011.**

GENERAL NATURE OF IMPROVEMENT:

To repair exiting pond at Lots 6 and 8, Block A, Lauren's Bay Villas Subdivision, and Lot 9, Block F, Lauren's Bay Estates, including completed Division of Water Resources breaching, dredging silt deposits, repairing or replacing existing dam, permitting with Division of Water Resources and Untied States Corps of Engineers, landscaping, perimeter, sidewalk, five cutback parking stalls, engineering and all other contingencies required for a complete project.

IMPROVEMENT DISTRICT:

Lauren's Bay Subdivision

Block A; Lots 1 through 14

Block C; Lots 1 through 7

Block B; Lots 1 through 15

Block C; Lots 13 through 25

Lauren's Bay Subdivision No. 2

Block A; Lots 1 through 3

Lauren's Bay Estates

Block A; Lots 1 through 4

Block C; Lots 1 through 9

Block E; Lots 1 through 9

Block E; Lots 25 through 37

Block F; Lots 10 through 18

Block H; Lots 1 through 23

Block J; Lots 1 through 22

Block M; Lots 1 through 16

Block M; Lots 60 through 72

Block T; Lots 1 through 9

Block B; Lots 1 through 28

Block D; Lots 1 through 5

Block E; Lots 12 through 23

Block F; Lots 1 through 8

Block G; Lots 1 through 6

Block I; Lots 3 through 15

Block K; Lots 1 through 11

Block M; Lots 45 through 58

Block M; Lots 74 through 79

Lauren's Bay Estates No. 2

Block A; Lots 1 through 7

Laurens's Bay Villas Subdivision

Block A; Lots 1 through 2

Block A; The portion of Lot 6 which is described in Deed Book 004460, Page 0143, at the office of the Shawnee County Register of Deeds, also described as: Beginning at the southeast corner of Lot 7; thence, along the easterly line of Lot 6, on Azimuth 170 degrees 30 minutes 26 seconds 25.98 feet; thence continuing on said line, on a curve to the left having a radius of 355.00 feet and an arc length 36.36 feet and central angle 05 degrees 52 minutes 06 seconds; thence Azimuth 257 degrees 05 minutes 31 seconds 155.06 feet, thence Azimuth 340 degrees 46 minutes 57 seconds 72.56 feet, thence Azimuth 80 degrees 30 minutes 26 seconds 165.18 feet, to the point of beginning.

Block A; Lots 7 through 15

Block B; Lots 1 through 7

Block C; Lots 1 through 8

Block D; Lots 1 through 10

Lauren's Bay Villas No. 2

Block B; Lots 1 through 6

Lauren's Bay Villas No. 3

Block A; Lots 1 through 4

Wanamaker Meadows Subdivision

Block A; Lots 2 through 14

Block B; Lots 1 through 27

Brian's Addition Subdivision 3

Block C; Lots 1 through 4

Block D; Lots 1 through 5

Block E; Lots 1 through 5

METHOD OF ASSESSMENT:

On a unit basis for all lots or individual dwelling sites which are included in the improvement district. Portions of lots less than a full lot shall be calculated on a square footage basis. This project consists of 806 units apportioned as follows:

Lauren's Bay Subdivision

Block A; Lots 1 through 14 (3 units per lot)

Block B; Lots 1 through 15 (3 units per lot)

Block C; Lots 1 through 7 (3 units per lot)

Block C; Lots 13 through 16 (3 units per lot)

Block C; Lots 17 through 25 (4 units per lot)

Lauren's Bay Subdivision No. 2

Block A; Lots 1 through 3 (3 units per lot)

Lauren's Bay Estates

Block A; Lots 1 through 4 (3 units per lot)
Block B; Lots 1 through 14 (3 units per lot)
Block B; Lots 15 through 28 (2 units per lot)
Block C; Lots 1 through 9 (2 units per lot)
Block D; Lots 1 through 5 (2 units per lot)
Block E; Lots 1 through 9 (2 units per lot)
Block E; Lots 12 through 23 (1 unit per lot)
Block E; Lots 25 through 37 (1 unit per lot)
Block F; Lots 1 through 8 (4 units per lot)
Block F; Lots 10 through 18 (4 units per lot)
Block G; Lots 1 through 3 (3 units per lot)
Block G; Lots 4 through 6 (2 units per lot)
Block H; Lots 1 through 3 (3 units per lot)
Block H; Lots 4 through 13 (2 units per lot)
Block H; Lots 14 through 23 (3 units per lot)
Block I; Lots 3 through 6 (2 units per lot)
Block I; Lots 7 through 15 (1 unit per lot)
Block J; Lots 1 through 8 (2 units per lot)
Block J; Lots 9 through 17 (1 unit per lot)
Block J; Lot 18 through 22 (2 units per lot)
Block K; Lot 1 (2 units per lot)
Block K; Lots 2 through 8 (1 unit per lot)
Block K; Lots 9 through 11 (2 units per lot)
Block M; Lots 1 through 16 (2 units per lot)
Block M; Lots 45 through 58 (1 unit per lot)
Block M; Lots 60 through 72 (1 unit per lot)
Block M; Lots 74 through 79 (1 unit per lot)
Block T; Lots 1 through 9 (1 unit per lot)

Lauren's Bay Estates No. 2

Block A; Lots 1 through 7 (2 units per lot)

Lauren's Bay Villas Subdivision

Block A; Lots 1 through 2 (4 units per lot)
Block A; Portion of Lot 6 as described above (4 units)
Block A; Lots 7 through 15 (3 units per lot)
Block B; Lots 1 through 7 (3 units per lot)
Block C; Lots 1 through 8 (3 units per lot)
Block D; Lots 1 through 5 (3 units per lot)
Block D; Lots 6 through 10 (2 units per lot)

Lauren's Bay Villas No. 2

Block B; Lots 1 through 6 (2 units per lot)

Lauren's Bay Villas No. 3

Block A; Lots 1 through 4 (4 units per lot)

Wanamaker Meadows Subdivision

Block A; Lots 2 through 14 (1 unit per lot)

Block B; Lots 1 through 27 (1 unit per lot)

Brian's Addition Subdivision 3

Block C; Lots 1 through 4 (1 unit per lot)

Block D; Lots 1 through 5 (1 unit per lot)

Block E; Lots 1 through 5 (1 unit per lot)

TOTAL COST & APPORTIONMENT OF COSTS:

Total Cost = \$1,342,936.33

806 Units in Improvement District

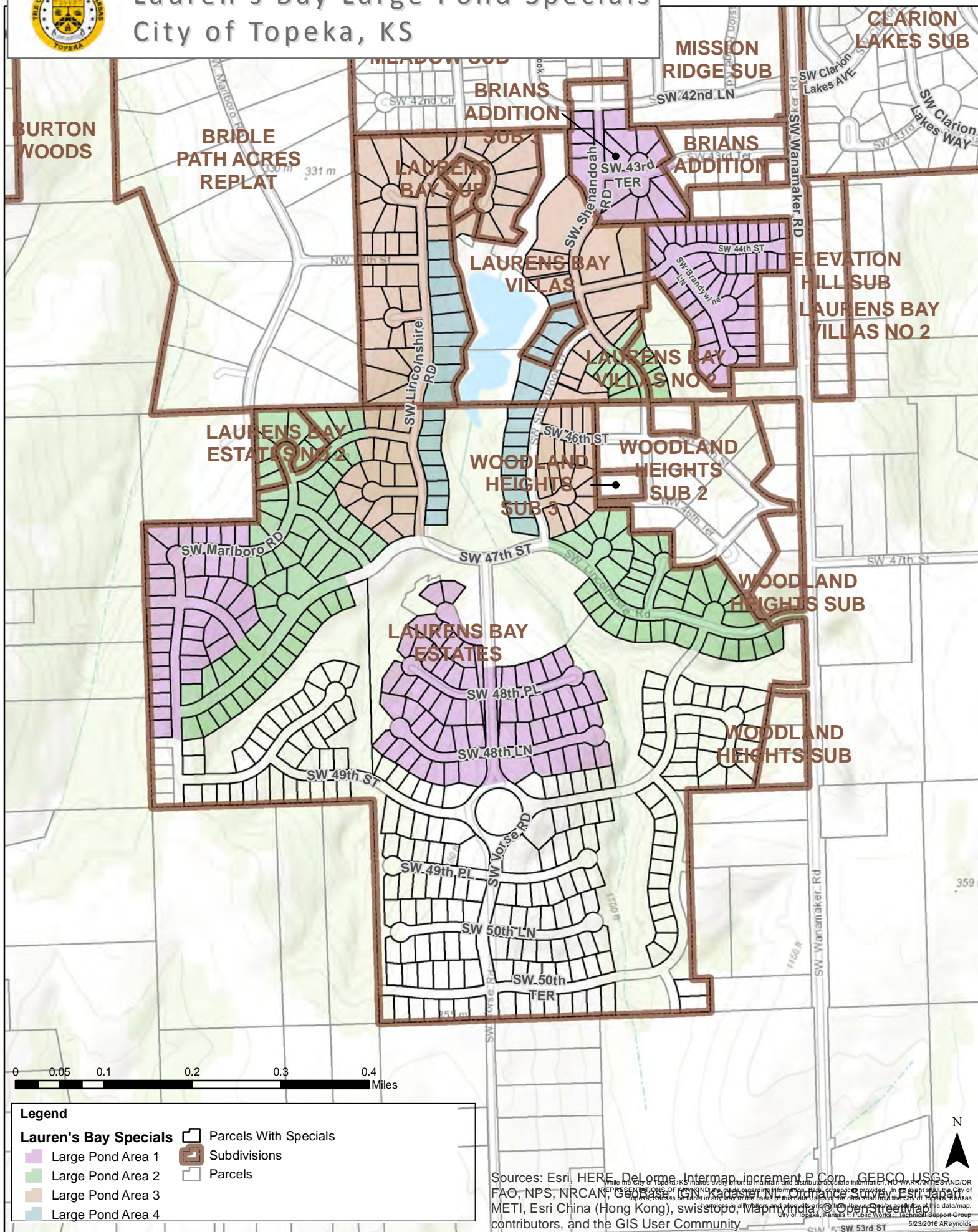
100% paid by the Improvement District over a 20 year period.

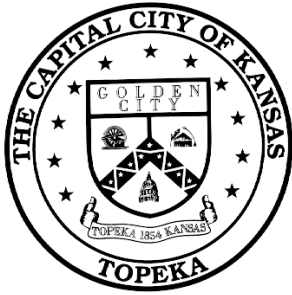
All of above described territory being situated in the City of Topeka, Shawnee County, Kansas.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City for Topeka to be affixed on June 6, 2016.



Brenda Younger
Brenda Younger
City Clerk





CITY OF TOPEKA

CITY CLERK
City Hall, 215 SE 7th St., Room 166
Topeka, KS 66603-3914
(785) 368-3940

Brenda Younger, C.M.C.
E-mail: byounger@topeka.org
Fax: (785) 368-3943
www.topeka.org

PUBLIC HEARING NOTICE

“Date”

“Property Owner”
“Mailing Address”
“City” “State” “Zip”

You are hereby notified, as owner of Parcel ID No. _____ in the City of Topeka, Kansas, that the cost proposed to be assessed against such property for Lauren’s Bay Villas Subdivision and Lauren’s Bay Estates Pond Repair and Improvement Project No. 151011.00 authorized by City of Topeka Resolution No. 8317 dated March 15, 2011, is \$_____.

The attached map shows the parcels impacted in the district, the number of units received were based upon the proximity to the pond. Based upon your proximity as laid out in the petition for the project, your parcel will receive ____ units.

The Governing Body of the City of Topeka, Kansas, will meet and hold a public hearing at 6:00 p.m. on the 21st day of June 2016, in the City Council Chambers located at 214 SE 8th Street, Topeka, Kansas, for the purpose of considering the proposed assessments.

Written and oral objections will be considered at the meeting. Following the hearing, the City Council shall by ordinance levy the same as a special assessment against the parcels described in the assessment rolls. A Special Assessment Notice will be sent following adoption of the ordinance.

If you would like to comment on the matter please contact the City Clerk’s office at cclerk@topeka.org or 785-368-3940 or 785-368-3941 by 5:00 p.m. on the date of the hearing - June 7, 2016.

Thank you,
Brenda Younger, C.M.C.
City Clerk

Proposed amendments to resolution shown in ~~double strikethrough~~ and double underline.

Shawnee County, Kansas
Register of Deeds
Marilyn L. Nichols
BOOK: 4886 Page: 230
Line #: 20110005105
Date Recorded: 03/24/2011 09:12:52.980 AM

(Published in the Topeka Metro News March 21, 2011)

RESOLUTION OF ADVISABILITY AND AUTHORIZATION NO. 8317

A RESOLUTION introduced by City Manager Norton N. Bonaparte, Jr., authorizing Pond Repair and Improvement Project No. T-151011.00 which provides for repair to existing pond at Lauren's Bay Villas Subdivision and Laurens' Bay Estates, as more specifically described herein.

WHEREAS, the Governing Body of the City of Topeka, Kansas, did hold a public hearing on the advisability of Pond Repair and Improvement Project No. T-151011.00 in the City Council Chambers of City Hall, 214 E. 8th Street, at 6:00 p.m. on March 15, 2011, as required by K.S.A. 12-6a01, *et seq.*, as amended; and

WHEREAS, notice of said public hearing was duly published as required by K.S.A. 12-6a01, *et seq.*, as amended; and

WHEREAS, a copy of the notice mailed to each person owning or responsible for the taxes within the proposed special benefit district and to each occupant residing in the benefit district as required under TMC 3.45.040; and

WHEREAS, said public hearing was adjourned on March 15, 2011; and

WHEREAS, six (6) months have not elapsed since the final adjournment of said public hearing.

NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS, that it finds Pond Repair and Improvement Project No. T-151011.00 to be advisable and does hereby authorize and order said improvement to be made in accordance with its findings as follows:

Proposed amendments to resolution shown in ~~double strikethrough~~ and double underline.

29 A. GENERAL NATURE OF IMPROVEMENT:

30
31 To repair existing pond at Lots 6 & 8, Block A, Lauren's Bay Villas
32 Subdivision, and Lot 9, Block F, Lauren's Bay Estates, including completed
33 Division of Water Resources breaching, dredging silt deposits, repairing or
34 replacing existing dam, permitting with Division of Water Resources and
35 United States Corps of Engineers, landscaping, perimeter sidewalk, ~~parking~~
36 ~~facilities~~ five cutback parking stalls, engineering and all other contingencies
37 required for a complete project.
38

39 B. PROPOSED IMPROVEMENT DISTRICT:

40
41 *Lauren's Bay Subdivision*
42 Block A; Lots 1 through 14
43 Block B; Lots 1 through 15
44 Block C; Lots 1 through 7
45 Block C; Lots 13 through 25
46

47 *Lauren's Bay Subdivision No. 2*
48 Block A; Lots 1 through 3
49

50 *Lauren's Bay Estates*
51 Block A; Lots 1 through 4
52 Block B; Lots 1 through 28
53 Block C; Lots 1 through 9
54 Block D; Lots 1 through 5
55 Block E; Lots 1 through 9
56 Block E; Lots 12 through 23
57 Block E; Lots 25 through 37
58 Block F; Lots 1 through 8
59 Block F; Lots 10 through 18
60 Block G; Lots 1 through 6
61 Block H; Lots 1 through 23
62 Block I; Lots 3 through 15
63 Block J; Lots 1 through 22
64 Block K; Lots 1 through 11
65 Block M; Lots 1 through 16
66 Block M; Lots 45 through 58
67 Block M; Lots 60 through 72
68 Block M; Lots 74 through 79
69 Block T; Lots 1 through 9
70

71 *Lauren's Bay Estates No. 2*
72 Block A; Lots 1 through 7
73

74 *Lauren's Bay Villas Subdivision*
75 Block A; Lots 1 through 2

Proposed amendments to resolution shown in ~~double strikethrough~~ and double underline.

Block A; The portion of Lot 6 which is described in Deed Book 004460, Page 0143, at the office of the Shawnee County Register of Deeds, also described as: Beginning at the southeast corner of Lot 7; thence, along the easterly line of Lot 6, on Azimuth 170 degrees 30 minutes 26 seconds 25.98 feet; thence continuing on said line, on a curve to the left having a radius of 355.00 feet and an arc length 36.36 feet and central angle 05 degrees 52 minutes 06 seconds; thence Azimuth 257 degrees 05 minutes 31 seconds 155.06 feet, thence Azimuth 340 degrees 46 minutes 57 seconds 72.56 feet, thence Azimuth 80 degrees 30 minutes 26 seconds 165.18 feet, to the point of beginning.

Block A; Lots 7 through 15

Block B; Lots 1 through 7

Block C; Lots 1 through 8

Block D; Lots 1 through 10

Lauren's Bay Villas No. 2

Block B; Lots 1 through 6

Lauren's Bay Villas No. 3

Block A; Lots 1 through 4

Wanamaker Meadows Subdivision

Block A; Lots 2 through 14

Block B; Lots 1 through 27

Brian's Addition Subdivision 3

Block C; Lots 1 through 4

Block D; Lots 1 through 5

Block E; Lots 1 through 5

C. ESTIMATED OR PROBABLE COST:

~~\$1,358,350.00~~ \$1,321,850.00

D. PROPOSED METHOD OF ASSESSMENT:

On a unit basis for all lots or individual dwelling sites which are included in the improvement district. Portions of lots less than a full lot shall be calculated on a square footage basis. This project consists of 806 units apportioned as follows:

Lauren's Bay Subdivision

Block A; Lots 1 through 14 (3 units per lot)

Block B; Lots 1 through 15 (3 units per lot)

Block C; Lots 1 through 7 (3 units per lot)

Block C; Lots 13 through 16 (3 units per lot)

Block C; Lots 17 through 25 (4 units per lot)

Proposed amendments to resolution shown in ~~double strikethrough~~ and double underline.

123

124

Lauren's Bay Subdivision No. 2

125

Block A; Lots 1 through 3 (3 units per lot)

126

127

Lauren's Bay Estates

128

Block A; Lots 1 through 4 (3 units per lot)

129

Block B; Lots 1 through 14 (3 units per lot)

130

Block B; Lots 15 through 28 (2 units per lot)

131

Block C; Lots 1 through 9 (2 units per lot)

132

Block D; Lots 1 through 5 (2 units per lot)

133

Block E; Lots 1 through 9 (2 units per lot)

134

Block E; Lots 12 through 23 (1 unit per lot)

135

Block E; Lots 25 through 37 (1 unit per lot)

136

Block F; Lots 1 through 8 (4 units per lot)

37

Block F; Lots 10 through 18 (4 units per lot)

138

Block G; Lots 1 through 3 (3 units per lot)

139

Block G; Lots 4 through 6 (2 units per lot)

140

Block H; Lots 1 through 3 (3 units per lot)

141

Block H; Lots 4 through 13 (2 units per lot)

142

Block H; Lots 14 through 23 (3 units per lot)

143

Block I; Lots 3 through 6 (2 units per lot)

144

Block I; Lots 7 through 15 (1 unit per lot)

145

Block J; Lots 1 through 8 (2 units per lot)

146

Block J; Lots 9 through 17 (1 unit per lot)

147

Block J; Lot 18 through 22 (2 units per lot)

148

Block K; Lot 1 (2 units per lot)

149

Block K; Lots 2 through 8 (1 unit per lot)

150

Block K; Lots 9 through 11 (2 units per lot)

151

Block M; Lots 1 through 16 (2 units per lot)

152

Block M; Lots 45 through 58 (1 unit per lot)

153

Block M; Lots 60 through 72 (1 unit per lot)

154

Block M; Lots 74 through 79 (1 unit per lot)

155

Block T; Lots 1 through 9 (1 unit per lot)

156

157

Lauren's Bay Estates No. 2

158

Block A; Lots 1 through 7 (2 units per lot)

159

160

Lauren's Bay Villas Subdivision

161

Block A; Lots 1 through 2 (4 units per lot)

162

Block A; Portion of Lot 6 as described above (4 units)

163

Block A; Lots 7 through 15 (3 units per lot)

164

Block B; Lots 1 through 7 (3 units per lot)

165

Block C; Lots 1 through 8 (3 units per lot)

166

Block D; Lots 1 through 5 (3 units per lot)

167

Block D; Lots 6 through 10 (2 units per lot)

168

169

Lauren's Bay Villas No. 2

Proposed amendments to resolution shown in ~~double strikethrough~~ and double underline.

Block B; Lots 1 through 6 (2 units per lot)

Lauren's Bay Villas No. 3

Block A; Lots 1 through 4 (4 units per lot)

Wanamaker Meadows Subdivision

Block A; Lots 2 through 14 (1 unit per lot)

Block B; Lots 1 through 27 (1 unit per lot)

Brian's Addition Subdivision 3

Block C; Lots 1 through 4 (1 unit per lot)

Block D; Lots 1 through 5 (1 unit per lot)

Block E; Lots 1 through 5 (1 unit per lot)

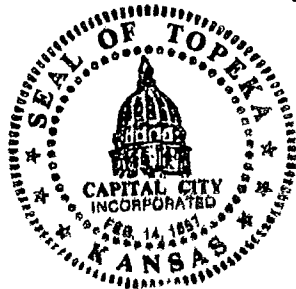
E. APPORTIONMENT OF COSTS:

Costs are to be paid 100 percent by the owners of property within the Improvement District.

The improvement shall not be commenced if within twenty (20) days after publication of this Resolution, written protests signed by both fifty-one percent (51%) or more of the resident owners of record of property within the improvement district and the owners of record of more than half of the total area of said district, are filed with the City Clerk.

This resolution shall become effective upon one publication in the official city newspaper.

ADOPTED and APPROVED by the Governing Body on March 15, 2011.



CITY OF TOPEKA, KANSAS

William W. Bunten
William W. Bunten, Mayor

ATTEST:

Brenda Younger
Brenda Younger, City Clerk

AGREEMENT FOR REPAIR AND MAINTENANCE OF
IMPROVEMENTS AT LAUREN'S BAY

CITY OF TOPEKA CONTRACT NO. 41094

THIS AGREEMENT, is made and entered into this 21 day of January, 2011, by and among the City of Topeka, Kansas, a Kansas municipal corporation of Shawnee County, Kansas, hereinafter referred to as the "City," and i) Lauren's Bay Estates Subdivision Homeowners Association, Inc., a Kansas Corporation with its principal offices in Topeka, Kansas; and ii) Lauren's Bay Home Owners Association, L.L.C. a Kansas Limited Liability Corporation with its principal offices in Topeka, Kansas, , hereinafter referred to jointly as the "Associations."

WHEREAS, the owners of real property located in the subdivisions of Lauren's Bay, Lauren's Bay Subdivision No. 2, Lauren's Bay Estates, Lauren's Bay Estates No. 2, Lauren's Bay Villas, Lauren's Bay Villas No. 2, Lauren's Bay Villas No. 3, Wanamaker Meadows and Brian's Addition Subdivision No. 3, have petitioned the City for a public improvement project to repair the pond and dam and construct a sidewalk for recreational use around the perimeter of the pond at Lauren's Bay; and

WHEREAS, the parties desire to enter into an agreement as to the responsibilities of each party for the repair and maintenance of the improvements.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein made and other good and valuable considerations, the sufficiency and receipt of which is hereby acknowledged by each party, the parties do hereby mutually agree as follows:

1. DEFINITIONS.

Unless otherwise specified in this Agreement, the following terms as used in this Agreement shall have these meanings or definitions:

a. *Final Completion* shall mean the date on which the public improvement project has been constructed.

b. *Public Improvement Project or Project* shall mean the repair of existing pond at Lauren's Bay Subdivision and Lauren's Bay Estates, including completed Division of Water Resources breaching, dredging silt deposits, repairing or replacing the existing dam, permitting with Division of Water Resources and United States Corps of Engineers, landscaping, perimeter sidewalk, parking facilities, engineering and all other contingencies required for a complete project.

c. *Homeowner's Associations or Associations* shall mean the Lauren's Bay Estates Subdivision Homeowners Association, Inc. and Lauren's Bay Home Owners Association, L.L.C . hereinafter referred to jointly as the "Associations." .

d. *Improvement District* shall mean the property subject to assessment for the costs of the public improvement project as set forth on Exhibit A, attached hereto.

2. GOVERNING BODY APPROVAL OF PROJECT.

The obligations and duties under this Agreement shall be subject to and contingent upon the governing body approving a resolution of Authorization and Advisability for the public improvement project.

3. REPRESENTATIONS AND WARRANTIES.

The Associations hereby represent and warrant to the City that the Associations

are Kansas Corporations are duly formed, existing and in good standing under the laws of the State of Kansas, and have all requisite power and authority to enter into and perform this Agreement. The members, officers, managers, agents and representatives of the Associations who have executed and delivered this Agreement and who may execute and deliver any other documents, instruments and agreements or perform any acts or deeds in connection with the transactions contemplated by this Agreement, have been and will remain duly authorized and empowered to do so on behalf of the Associations, and the Associations will be bound thereby.

4. COST OF PUBLIC IMPROVEMENT PROJECT.

It is understood and agreed by both parties that the total cost of the project shall be paid by the owners of the real property located within the improvement district and that the City shall have no obligation to pay for any of the costs of the project.

5. PUBLIC NATURE OF IMPROVEMENT.

It is understood and agreed by the parties that the public improvement project is for the benefit of the public. The parking lot, access sidewalks, and recreational sidewalk around the perimeter of the pond shall be open to public recreational use. Neither the Associations nor its members may obstruct or interfere with the public's use of the parking lot, access sidewalks, or recreational trail.

6. MAINTENANCE.

6.1 Associations Responsibilities.

a. The Associations agree to provide all reasonable and necessary maintenance and repairs for the Public Improvement Project at

their sole expense from and after Final Completion of the Project. All maintenance and repair work will be performed in accordance with all applicable city, state and federal laws, rules and regulations..

b. By way of illustration but not limitation the Associations specifically agree to be responsible for all reasonable and necessary maintenance and repair costs relating to the dam, recreational sidewalks, landscaping and parking lot, including sidewalk repair, removal of snow and ice, mowing of grass between the residents property and the pond, maintenance for any irrigation system including repairs to the system and cost of water, and maintenance and repair of any electrical facilities or service including lighting. Additionally, the Associations will be responsible for all maintenance of the pond and vegetation adjacent to the pond and sidewalks including elimination of animal nuisance and repair of damage caused by such animals to the dam and pond, stabilization of banks, trimming of trees and woody vegetation, and litter control including placement and emptying of trash cans. Further, the Associations will be responsible for paying the costs of the periodic inspections of the dam and any inundation study and any updates or modifications thereto as required by federal or state agencies.

c. The City agrees to mow the dam area and to maintain the spillway outfall area and structures therein. The City shall be responsible for contracting for periodic inspections and inundation study or updates thereto required under Section 5.1b; however, said inspections and

reports shall be paid for by the Associations.

d. The Associations understand and agree that if the Associations fail to make a repair or perform maintenance after the City has provided the Associations with written notice, the City shall have the right to make any necessary repairs or perform such maintenance and the Associations shall be responsible for all costs incurred by the City specifically including, but not limited to, permit fees, design, labor, materials, and supplies.

6.2 Associations Indemnification.

The Associations shall indemnify and hold the City and its authorized representatives harmless from all reasonable costs, liabilities, damages, expenses, suits, judgments and claims of any kind caused by the Associations' negligent performance of or failure to perform obligations under this Agreement.

6.3 Notice.

The City Engineer or his or her representative shall notify the Associations in writing of what reasonable and necessary repairs and maintenance need to be performed on the Project to the extent that the Associations do not routinely perform the same. The Associations shall have at least 90 days following such written notice, to perform the necessary repairs, or else the City may repair the same at its expense and the Associations shall be responsible to the City for the cost of the work. In the event that the Associations fail to pay for said work within 30 days of receipt of the bill. The City may assess the cost of repairs to the Associations property or that of its members.

6.4 Assignment.

The parties agree that the rights and duties under this Agreement may only be assigned with the written consent of all parties.

7. DEFAULT.

7.1 Associations' Remedies.

In the event of default by the City of its obligations under this Agreement, then the Associations may pursue any remedy at law or in equity

7.2 City's Remedies.

In the event of default by the Associations of their obligations under this Agreement, the City may pursue any remedy it may have under law or in equity

7.3 No Waiver.

The failure of either party to declare this Agreement to be in default or pursue any available remedies by reason of a breach by the other party of its obligations under this Agreement, shall not constitute a waiver or release by the non-defaulting party of its rights and remedies upon any subsequent default by the other party.

8. GENERAL PROVISIONS.

8.1 Additional Acts.

In addition to the acts and deeds recited and contemplated under this Agreement to be performed, executed and/or delivered by the Associations or the City, the Associations and the City hereby agree to cause to be performed, executed and/or delivered at the closing or thereafter, any and all such further acts, deeds and assurances as the City or the Associations, as the case may be,

may reasonably require to consummate the transactions contemplated under this Agreement.

8.2 Applicable Law.

This Agreement shall be governed by and construed under and in accordance with the laws of the State of Kansas.

8.3 Relationship of Parties.

Nothing contained herein shall be construed to hold or to make the City a partner, joint venturer, or associate of the Associations, nor shall either party be deemed the agent of the other, it being expressly understood and agreed that the relationship between the parties hereto is and shall at all times remain contractual as provided by the terms and conditions of this Agreement.

8.4 Entire Agreement.

This Agreement, together with the Plans, any Exhibits or Addenda attached hereto, embodies and constitutes the entire understanding between the parties with respect to the transaction contemplated herein, and all prior or contemporaneous contracts, understandings, representations and statements, oral or written, are merged into this Agreement. Neither this Agreement nor any provisions hereof may be waived, modified, amended, discharged or terminated except by an instrument in writing signed by the party against which the enforcement of such waiver, modification, amendment, discharge or termination is sought and then only to the extent set forth in such instrument.

8.5 Headings.

The headings contained in this Agreement are for reference and

convenience purposes only and shall not in any way affect the meaning or interpretation hereof.

8.6 Interpretation.

Whenever the context hereof shall so require, the singular shall include the plural and vice versa. The terms "include," "includes," "including," and similar terms shall be construed to mean "without limitation." All references to sections, subsections, and Exhibits shall be deemed references to sections, subsections of this Agreement and to Exhibits which are attached hereto and made a part hereof for all purposes.

8.7 Multiple Counterparts.

This Agreement may be executed in a number of identical counterparts. If so executed, each such counterpart is to be deemed an original for all purposes, and all such counterparts shall collectively constitute one (1) contract, but in the making proof of this Agreement it shall not be necessary to produce or account for more than one (1) such counterpart.

8.8 Notice.

Any notice, demand, approval or disapproval, consent or submission for approval or consent permitted or required hereunder (hereinafter, collectively, any "Notice") shall be in writing, and any such Notice shall be sent to the Associations or the City by electronic mail, facsimile, first class mail, registered or certified mail, return receipt requested, postage prepaid, or by Federal Express, UPS or other express delivery service, addressed as follows:

To Associations:

Lauren's Bay Estates Subdivision Homeowners Association, Inc.	Lauren's Bay Home Owners Association, L.L.C.

With copy to: Mike Unrein
Frieden, Unrein, Forbes & Biggs
555 S. Kansas Avenue
Topeka, KS 66603

To City: Public Works Director
City of Topeka
620 SE Madison
Topeka, KS 66607

With copy to: City Clerk
City of Topeka
215 SE 7th Street
Topeka, KS 66603

Or the same may be delivered by messenger at the same address or, if the same is a post office box, the last known address of the addressee. In the event such notice is given or delivered by messenger delivery or electronic mail, the date of actual delivery shall fix the time thereof. If delivered by electronic mail or facsimile, the person giving notice must retain proof of delivery of such electronic facsimile in the form of a log showing delivery. In the event Notice is given or delivered by first class mail, such notice shall be deemed given or delivered three (3) business days after the date on which the sealed envelope containing the Notice is deposited in the United States mail, properly addressed and with proper postage prepaid.

8.9 Parties Bound.

The terms and provisions of this Agreement shall inure to, extend to and be for the benefit of the successors, assigns, and legal representatives of the

respective parties hereto though the foregoing shall not of itself be construed as authorizing any assignment of this Agreement.

8.10 Severability.

If any provision of this Agreement shall, for any reason, be held by a court of competent jurisdiction to violate any applicable law or to be unenforceable, then the invalidity of such specific provision herein shall not be held to invalidate any other provision in this Agreement and the other provisions shall remain in full force and effect.

8.11 Time; Entire Agreement.

Time is of the essence of this Agreement. The parties hereto expressly acknowledge and agree that, with regard to the subject matter of this Agreement and the transactions contemplated by this Agreement, there are no oral contracts or understandings between the parties. This Agreement, including the defined terms and all Exhibits, and Addendums, if any, attached hereto: (a) embodies the final and complete contract between the parties; (b) supersedes all prior and contemporaneous negotiations, offers, proposals, contracts, commitments, promises, acts, conduct, course of dealing, representations, statements, assurances and understandings, whether oral or written; and (c) may not be varied or contradicted by evidence of any such prior or contemporaneous matter or by evidence of any subsequent oral contract of the parties hereto.

8.12 Covenant Running with the Land.

This Agreement is a covenant that will run with the land and is binding upon all heirs, assigns, successors and transferees of the Associations and that

this Agreement is to be filed and recorded with the Register of Deeds Office, Shawnee County, Kansas.

8.13 No Relinquishment of Title or Easement.

It is understood by the parties hereto that the permission granted by City herein shall in no way be deemed a relinquishment of title to any land owned by the City and the Associations shall not acquire title or any easement interest by either adverse possession or prescription.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first written above.

ATTEST:


Brenda Younger
Brenda Younger, City Clerk

CITY OF TOPEKA, KANSAS

Norton N. Bonaparte, Jr., City Manager

APPROVED AS TO FORM AND LEGALITY

DATE 2/10/11 BY M. Feigh

LAUREN'S BAY ESTATES SUBDIVISION
HOMEOWNERS ASSOCIATION, INC.

Mark J. McGovern

MARK J. MCGOVERN CO-CHAIR
(Print Name and Title)

LAUREN'S BAY HOME OWNERS
ASSOCIATION, L.L.C.

Donald K Ford

Donald K Ford
(Print Name and Title)

ACKNOWLEDGEMENTS

STATE OF KANSAS)
) ss:
SHAWNEE COUNTY)

BE IT REMEMBERED, that on this ____ day of _____, 2011, before me a Notary Public in and for the County and State aforesaid, personally appeared Norton N. Bonaparte, Jr., City Manager and Brenda Younger, City Clerk, to me personally known, being by me duly sworn, did say that they are the officers of the City of Topeka, the Municipality that executed the foregoing instrument, and that the seal affixed to the foregoing instrument is the seal of said Municipality, and that said instrument was signed, sealed and delivered in the name and on behalf of said Municipality and they acknowledge said instrument to be the free and voluntary act and deed of said Municipality.

IN WITNESS WHEREOF, I have hereunto set my hand, and affixed my notarial seal the day and year last above mentioned.

[Seal]
My Commission Expires:

Notary Public

STATE OF KANSAS)
) ss.
SHAWNEE COUNTY)

On this ____ day of _____, 2011, before me appeared _____, to me personally known, who, being by me duly sworn did say that he is the _____ of Lauren's Bay Estates Subdivision Homeowners Association, Inc., a Kansas corporation, and that said instrument was signed on behalf of said company by authority of its members, and said duly authorized officer acknowledged said instrument to be the free act and deed of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

[Seal]
My Commission Expires:

Notary Public

this Agreement is to be filed and recorded with the Register of Deeds Office,
Shawnee County, Kansas.

8.13 No Relinquishment of Title or Easement.

It is understood by the parties hereto that the permission granted by City
herein shall in no way be deemed a relinquishment of title to any land owned by
the City and the Associations shall not acquire title or any easement interest by
either adverse possession or prescription.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the
day and year first written above.

CITY OF TOPEKA, KANSAS

Norton N. Bonaparte, Jr., City Manager

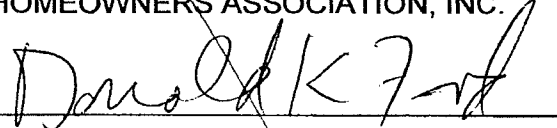
ATTEST:

Brenda Younger, City Clerk

APPROVED AS TO FORM AND LEGALITY

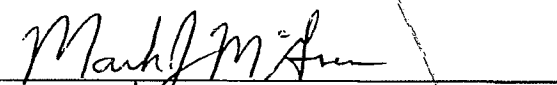
DATE _____ BY _____

LAUREN'S BAY ESTATES SUBDIVISION
HOMEOWNERS ASSOCIATION, INC.

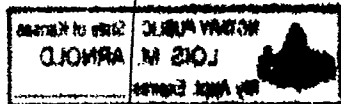


Donald K. Ford, President
(Print Name and Title)

LAUREN'S BAY HOME OWNERS
ASSOCIATION, L.L.C.



Mark J. McGovern CO-CLT
(Print Name and Title)



ACKNOWLEDGEMENTS

STATE OF KANSAS)
) ss:
SHAWNEE COUNTY)

BE IT REMEMBERED, that on this _____ day of _____, 2011, before me a Notary Public in and for the County and State aforesaid, personally appeared Norton N. Bonaparte, Jr., City Manager and Brenda Younger, City Clerk, to me personally known, being by me duly sworn, did say that they are the officers of the City of Topeka, the Municipality that executed the foregoing instrument, and that the seal affixed to the foregoing instrument is the seal of said Municipality, and that said instrument was signed, sealed and delivered in the name and on behalf of said Municipality and they acknowledge said instrument to be the free and voluntary act and deed of said Municipality.

IN WITNESS WHEREOF, I have hereunto set my hand, and affixed my notarial seal the day and year last above mentioned.

[Seal]
My Commission Expires: _____

Notary Public

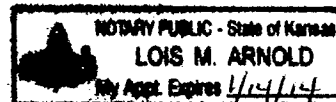
STATE OF KANSAS)
) ss.
SHAWNEE COUNTY)

On this 28th day of January, 2011, before me appeared Mark McGovern to me personally known, who, being by me duly sworn did say that he is the Co-Chair of Lauren's Bay Estates Subdivision Homeowners Association, Inc., a Kansas corporation, and that said instrument was signed on behalf of said company by authority of its members, and said duly authorized officer acknowledged said instrument to be the free act and deed of said company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

[Seal]
My Commission Expires: _____

Lois M. Arnold
Notary Public



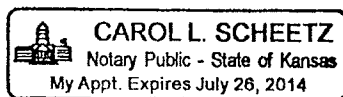
STATE OF KANSAS)
)ss:
COUNTY OF SHAWNEE)

The foregoing instrument was acknowledged before me this 21st day of January, 2011, by Donald K. Ford, President of Lauren's Bay Home Owners Association, L.L.C, a Kansas limited liability company, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, acting for and on behalf of said limited liability company in capacity as such officer.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year last above written.

Carol L. Scheetz
Notary Public

My Appointment Expires: _____



**RESOLUTION OF THE
LAUREN'S BAY ESTATES SUBDIVISION
HOMEOWNERS ASSOCIATION, INC.**

The undersigned, being all the current members of the Lauren's Bay Estates Subdivision Homeowners Association, Inc. (hereinafter HOA) acting accordance with the By-Laws hereby consent to the following actions.

Whereas, the City of Topeka, the Lauren's Bay Homeowners Association, LLC and the HOA have collectively worked towards the creation of a Benefit District the purpose of which is to create a funding mechanism for the Public Improvement Project to repair the pond and dam and construct a sidewalk for recreational use around the perimeter of the pond at Lauren's Bay; and

Whereas, as a condition of implementing the Benefit District, the City of Topeka is requiring that the parties enter into an Agreement For Repair And Maintenance Of Improvements At Lauren's Bay the purpose being to define the rights and responsibilities of the parties to the Agreement regarding the ongoing maintenance of those items constructed and/or repaired through the Benefit District; and

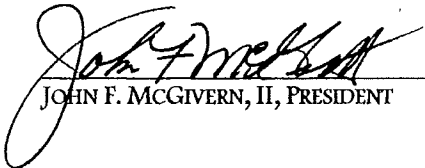
Whereas, the cost of maintaining and repairing the improvements created through the Benefit District shall be allocated between the property owners comprising the Lauren's Bay Homeowners Association, LLC and the HOA and that an Agreement between the Lauren's Bay Homeowners Association, LLC and the HOA has been drafted and is styled Agreement For Repair And Maintenance Of Improvements At Lauren's Bay; and

Whereas, Mark J. McGivern being a Co-Chair of the HOA has reviewed drafts of the above referenced Agreements and has determined that it is in the best interest of the HOA that the HOA become party to said Agreements; and

NOW, THEREFORE BE IT RESOLVED, that Mark J. McGivern in his capacity as Co-Chair is hereby authorized by all members of the HOA to execute the above referenced documents binding the HOA to their contents.

EXECUTED this 31st day of January, 2011.

McGIVERN REALTY, INC.


JOHN F. MCGIVERN, II, PRESIDENT

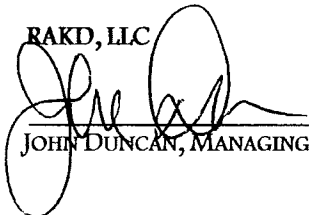
2641 WANAMAKER, LLC

JAMES KLAUSMAN, MANAGING MEMBER

Red 5, LLC

SAM CAMPBELL, MANAGING MEMBER

RAKD, LLC


JOHN DUNCAN, MANAGING MEMBER

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HOMEOWNERS ASSOCIATION, INC.**

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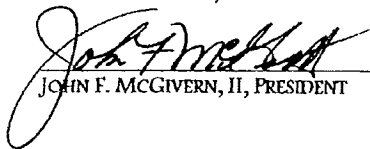
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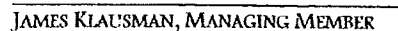
MCGIVERN REALTY, INC.


JOHN F. MCGIVERN, II, PRESIDENT

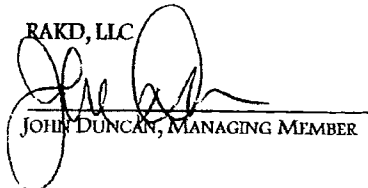
Red 5, LLC


SAM CAMPBELL, MANAGING MEMBER

2641 WANAMAKER, LLC


JAMES KLAUSMAN, MANAGING MEMBER

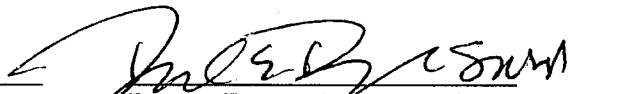
RAKD, LLC


JOHN DUNCAN, MANAGING MEMBER

LAKEVIEW DEVELOPMENT, LLC

COREFIRST BANK


PERRY MARNEY, MANAGING MEMBER


DARRELL DUGAN, AUTHORIZED REPRESENTATIVE

PROJECT BUDGET
Drainage Improvement Project No. T-151011.00
Lauren's Bay Pond

LOCATION:

Pond Between Lauren's Bay Villas Subdivision and Lauren's Bay Estates

DESCRIPTION OF PROJECT:

To repair the existing pond, including completed Division of Water Resources breaching, dredging silt deposits, repairing or replacing existing dam, permitting with Division of Water Resources and United States Corps of Engineers, landscaping, perimeter sidewalk trail, parking facilities, engineering and all other contingencies required for a complete project.

Attachment number 3

Page 1 of 1

SOURCE OF FUNDS:

1. 100% to be paid by Owners within the Improvement District

<u>COST ESTIMATE:</u>	Improvement District	Total
Construction:	<u>\$816,750.00</u>	<u>\$816,750.00</u>
Design (Includes Geotech. & Permits):	<u>\$92,300.00</u>	<u>\$92,300.00</u>
Construction Service Fees:		
Construction Inspection:	<u>\$98,000.00</u>	<u>\$98,000.00</u>
Construction Staking:	<u>\$40,800.00</u>	<u>\$40,800.00</u>
Administrative Fees:		
Legal Dept. Admin.	<u>\$24,500.00</u>	<u>\$24,500.00</u>
Engineering Admin.	<u>\$16,300.00</u>	<u>\$16,300.00</u>
Property Acquisition	<u>\$168,600.00</u>	<u>\$168,600.00</u>
Contingency Amount:	<u>\$30,285.00</u>	<u>\$30,285.00</u>
Temporary Notes & Cost of Issuance:	<u>\$70,815.00</u>	<u>\$70,815.00</u>
Total:	<u>\$1,358,350.00</u>	<u>\$1,358,350.00</u>

PUBLIC HEARING:

PROJECT AUTHORITY:

- a. Statutes: KSA 12-6a
- b. Ord./Res. No.: _____
- c. Method of Assessment: On a Unit Basis

Date: _____

PROJECT ENGINEER: Shawn P. Bruns

2/18/2011

GO Bond Cost of Project

PROJECT: T-151011.00

Interest rate	4.00%
Number of Years	20

Cost of Issuance	2.00%
Temp Note interest	3.500%

Principal	\$1,287,535
Plus Temp Note Interest	\$45,064
Plus Cost of Issuance	<u>\$25,751</u>
Total Project Budget	\$1,358,349

Attachment number 6
Page 1 of 1

Annual Debt Service	\$99,950
Annual Debt Service as Percent of Total	7.4%

Total Debt Service (principal and interest)	\$1,998,995
---	-------------

Difference Project Cost and Total Debt Service	\$640,645
--	-----------

GO Bonded Indebtedness as of December 2010	\$155,070,000
--	---------------

Heartland Park STAR Bonds	\$9,655,000
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College Hill TIF	\$5,655,000
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2010 Temporary Notes that Finance Future GO Bond projects	\$24,615,000
---	--------------

Approved, not Included in GO Bond Issue or Temporary Notes--City Projects	\$0
---	-----

Approved, not Included in GO Bond Issue or Temporary Notes--Special Assessment Projects	<u>\$0</u>
---	------------

Total Indebtedness	<u>\$194,995,000</u>
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Plus Project	\$196,353,349
--------------	---------------

2/16/2011

IMPROVEMENT PROJECT

PETITION – Less than 100% of Owners

THE MAYOR AND COUNCILMEMBERS
City of Topeka

We, the undersigned owners of record of real estate located within the Improvement District legally described herein, do hereby respectfully petition for the following improvements, in accordance with the conditions herein contained, and as provided by K.S.A. 12-6a01, *et seq.*, as amended.

POND REPAIR AND IMPROVEMENT PROJECT PROJECT NO. T-151011.00

A. GENERAL NATURE OF IMPROVEMENT:

Attachment number 4
Page 1 of 18

To repair existing pond at Lauren's Bay Subdivision and Lauren's Bay Estates, including completed Division of Water Resources breaching, dredging silt deposits, repairing or replacing existing dam, permitting with Division of Water Resources and United States Corps of Engineers, landscaping, perimeter sidewalk, parking facilities, engineering and all other contingencies required for a complete project.

B. PROPOSED IMPROVEMENT DISTRICT:

<u>SUBDIVISION</u>	<u>BLOCK</u>	<u>LOT</u>
LAUREN'S BAY SUB	A	1-14
LAUREN'S BAY SUB	B	1-15
LAUREN'S BAY SUB	C	1-7
LAUREN'S BAY SUB	C	13-16
LAUREN'S BAY SUB	C	17-25
LAUREN'S BAY SUB NO 2	A	1-3
LAUREN'S BAY ESTATES	A	1-4
LAUREN'S BAY ESTATES	B	1-14
LAUREN'S BAY ESTATES	B	15-28
LAUREN'S BAY ESTATES	C	1-9
LAUREN'S BAY ESTATES	D	1-5
LAUREN'S BAY ESTATES	E	1-9
LAUREN'S BAY ESTATES	E	12-23
LAUREN'S BAY ESTATES	E	25-37
LAUREN'S BAY ESTATES	F	1-8
LAUREN'S BAY ESTATES	F	10-18
LAUREN'S BAY ESTATES	G	1-3
LAUREN'S BAY ESTATES	G	4-6
LAUREN'S BAY ESTATES	H	1-3
LAUREN'S BAY ESTATES	H	4-13
LAUREN'S BAY ESTATES	H	14-23
LAUREN'S BAY ESTATES	I	3-6
LAUREN'S BAY ESTATES	I	7-15

LAUREN'S BAY ESTATES	J	1-8
LAUREN'S BAY ESTATES	J	9-17
LAUREN'S BAY ESTATES	J	19-22
LAUREN'S BAY ESTATES	J	18
LAUREN'S BAY ESTATES	K	1
LAUREN'S BAY ESTATES	K	2-8
LAUREN'S BAY ESTATES	K	9-11
LAUREN'S BAY ESTATES	M	1-16
LAUREN'S BAY ESTATES	M	45-58
LAUREN'S BAY ESTATES	M	60-72
LAUREN'S BAY ESTATES	M	74-79
LAUREN'S BAY ESTATES	T	1-9
LAUREN'S BAY ESTATES NO. 2	A	1-7
LAUREN'S BAY VILLAS SUB	A	1-2
LAUREN'S BAY VILLAS SUB	A	6
LAUREN'S BAY VILLAS SUB	A	7-15
LAUREN'S BAY VILLAS SUB	B	1-7
LAUREN'S BAY VILLAS SUB	C	1-6
LAUREN'S BAY VILLAS SUB	C	7-8
LAUREN'S BAY VILLAS SUB	D	1-5
LAUREN'S BAY VILLAS SUB	D	6-10
LAUREN'S BAY VILLAS NO 2	B	1-6
LAUREN'S BAY VILLAS NO 3	A	1-4
WANAMAKER MEADOWS SUB	A	1-15
WANAMAKER MEADOWS SUB	B	1-28
BRIANS ADDITION SUB 3	C	1-4
BRIANS ADDITION SUB 3	D	1-5
BRIANS ADDITION SUB 3	E	1-5

Attachment number 4
Page 2 of 18

C. ESTIMATED OR PROBABLE COST:

\$1,358,350.00

This cost estimate has been prepared using the best information available, without benefit of a detailed engineering design. Variances may occur as the design details are developed. These costs should not be considered final.

D. METHOD OF ASSESSMENT:

On a unit basis for all lots or individual dwelling sites which are included in the improvement district. This project consists of 809 units apportioned as follows:

<u>SUBDIVISION</u>	<u>BLOCK</u>	<u>LOT</u>	<u>Units</u>
LAUREN'S BAY SUB	A	1-14	3
LAUREN'S BAY SUB	B	1-15	3
LAUREN'S BAY SUB	C	1-7	3
LAUREN'S BAY SUB	C	13-16	3
LAUREN'S BAY SUB	C	17-25	4

LAUREN'S BAY SUB NO 2	A	1-3	3
LAUREN'S BAY ESTATES	A	1-4	3
LAUREN'S BAY ESTATES	B	1-14	3
LAUREN'S BAY ESTATES	B	15-28	2
LAUREN'S BAY ESTATES	C	1-9	2
LAUREN'S BAY ESTATES	D	1-5	2
LAUREN'S BAY ESTATES	E	1-9	2
LAUREN'S BAY ESTATES	E	12-23	1
LAUREN'S BAY ESTATES	E	25-37	1
LAUREN'S BAY ESTATES	F	1-8	4
LAUREN'S BAY ESTATES	F	10-18	4
LAUREN'S BAY ESTATES	G	1-3	3
LAUREN'S BAY ESTATES	G	4-6	2
LAUREN'S BAY ESTATES	H	1-3	3
LAUREN'S BAY ESTATES	H	4-13	2
LAUREN'S BAY ESTATES	H	14-23	3
LAUREN'S BAY ESTATES	I	3-6	2
LAUREN'S BAY ESTATES	I	7-15	1
LAUREN'S BAY ESTATES	J	1-8	2
LAUREN'S BAY ESTATES	J	9-17	1
LAUREN'S BAY ESTATES	J	19-22	2
LAUREN'S BAY ESTATES	J	18	2
LAUREN'S BAY ESTATES	K	1	2
LAUREN'S BAY ESTATES	K	2-8	1
LAUREN'S BAY ESTATES	K	9-11	2
LAUREN'S BAY ESTATES	M	1-16	2
LAUREN'S BAY ESTATES	M	45-58	1
LAUREN'S BAY ESTATES	M	60-72	1
LAUREN'S BAY ESTATES	M	74-79	1
LAUREN'S BAY ESTATES	T	1-9	1
LAUREN'S BAY ESTATES NO. 2	A	1-7	2
LAUREN'S BAY VILLAS SUB	A	1-2	4
LAUREN'S BAY VILLAS SUB	A	6	4
LAUREN'S BAY VILLAS SUB	A	7-15	3
LAUREN'S BAY VILLAS SUB	B	1-7	3
LAUREN'S BAY VILLAS SUB	C	1-6	3
LAUREN'S BAY VILLAS SUB	C	7-8	3
LAUREN'S BAY VILLAS SUB	D	1-5	3
LAUREN'S BAY VILLAS SUB	D	6-10	2
LAUREN'S BAY VILLAS NO 2	B	1-6	2
LAUREN'S BAY VILLAS NO 3	A	1-4	4
WANAMAKER MEADOWS SUB	A	1-15	1
WANAMAKER MEADOWS SUB	B	1-28	1
BRIANS ADDITION SUB 3	C	1-4	1
BRIANS ADDITION SUB 3	D	1-5	1
BRIANS ADDITION SUB 3	E	1-5	1

Attachment number 4
Page 3 of 18

E. APPORTIONMENT OF COSTS:

Costs are to be paid 100 percent by the owners of property within the Improvement District.

F. CERTIFICATION OF SIGNERS OF THE PETITION:

We understand, agree and certify:

- (i) That we are owners of record of the following described property or properties included in the Improvement District; and
- (ii) That we are a majority of the resident owners of record of property liable for assessment under the proposal; or the resident owners of records of more than one-half of the area liable for assessment under the proposal; or the owners of record, whether resident or not, of more than one-half of the area liable for assessment under the proposal; Attachment number 4
Page 4 of 18
- (iii) That this Petition is one submitted pursuant to subsection (c) of K.S.A. 12-6a04, and amendments thereto; and
- (iv) That the proposed Improvement District does not include all properties which may be deemed to benefit from the proposed improvements; and
- (v) That we are willing to pay the costs of the proposed improvements to be assessed on our property; and
- (vi) That we understand that we will have the opportunity to appear at a Public Hearing available under K.S.A. 12-6a01. *et seq.*, on the advisability of the improvement; and
- (vii) That, in addition to the costs for the improvement, we will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management; and
- (viii) That, if the property is not owned by an individual or individuals, we have disclosed the name of the company, partnership, trust corporation or other entity which owns the property along with our title, position or office, and we have been duly authorized to execute this Petition on behalf of the entity.

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

12-11-2010
Date


Signature of Person Carrying Petition

CERTIFICATION OF PETITIONERS

I, the undersigned petitioners of record are the owners of real estate located within the Improvement District, hereby certify:

Attachment number 4
Page 5 of 18

- (i) That we have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: none; and
- (ii) That we will notify, in writing, each and every purchaser of parcels of property sold by us within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (iii) That we will notify in writing each and every purchaser of parcels of property sold by us within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

Date

Signature

SUBS	BLOCK	LOT #'s	OWNER NAME
LAUREN'S BAY ESTATES	F	1-8, 10-17	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	F	18	VOSTREJS, PHILIP D & LISA
LAUREN'S BAY SUB	C	17	BROWN SANDRA J TRUST
LAUREN'S BAY SUB	C	23	FORD JACQUELIN D TRUST
LAUREN'S BAY SUB	C	24	FRIES KATHY TRUST
LAUREN'S BAY SUB	C	19	MARSHALL, STEVEN E & MARY A
LAUREN'S BAY SUB	C	20	MCGIVERN REALTY INC
LAUREN'S BAY SUB	C	22	MUDGE, RICHARD L & SMITH, MARGIE R
LAUREN'S BAY SUB	C	21	PEARSON, GEORGE H III
LAUREN'S BAY SUB	C	25	SLOCUM, RICK & CINDY TRUST
LAUREN'S BAY SUB	C	18	UNRUH, CONRAD J & BRENDA L
LAUREN'S BAY VILLAS NO 3	A	2	4415 SW STONYBROOK LLC
LAUREN'S BAY VILLAS NO 3	A	4	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS NO 3	A	1	LACKEY, RICHARD D & LAYNA L
LAUREN'S BAY VILLAS NO 3	A	3	VARAKANTHAM, GAUTHAM & JYOTHI DODLAPATI
LAUREN'S BAY VILLAS SUB	A	2	KLAUSMAN, JAMES A
LAUREN'S BAY VILLAS SUB	A	PART OF 6	MANION, D KENT & JUNE A
LAUREN'S BAY VILLAS SUB	A	1	TINKUM, JAMES F & MARSHA K
LAUREN'S BAY ESTATES	A	1,2,3,4	RAKD LLC
LAUREN'S BAY ESTATES	B	11,12,13,14	KLAUSMAN, JAMES A

LAUREN'S BAY SUB	A	11	WONG, SIEW MIN
LAUREN'S BAY SUB	B	7	AFFOLTER, DENNIS E IRA
LAUREN'S BAY SUB	B	1	BRAINSTORM DEVELOPMENT GROUP LLC
LAUREN'S BAY SUB	B	8	BRAINSTORM DEVELOPMENT GROUP LLC
LAUREN'S BAY SUB	B	10	BRAINSTORM DEVELOPMENT GROUP LLC
LAUREN'S BAY SUB	B	9	BROKATE, MONTE L & MARLI F
LAUREN'S BAY SUB	B	11	BROKATE, MONTE L & MARLI F
LAUREN'S BAY SUB	B	6	EDIGER, MARK A & BETHANY R
LAUREN'S BAY SUB	B	5	GALLIANO, MATTHEW R & MICHELE D
LAUREN'S BAY SUB	B	12,13,14,15	KANSAS HERITAGE FOUNDATION
LAUREN'S BAY SUB	B	2	MCGIVERN REALTY INC
LAUREN'S BAY SUB	B	3,4	OROZCO, MARK A & CLEM-OROZCO, KARLA K
LAUREN'S BAY SUB	C	13	CHAUDHRY, ARIF & ADEELA
LAUREN'S BAY SUB	C	5	CLAY KENNETH J & PAMELA S TRUST
LAUREN'S BAY SUB	C	2	CORDILL, JERRY R & BONNIE R
LAUREN'S BAY SUB	C	15	ERNST KELLY LEWIS
LAUREN'S BAY SUB	C	1	FITZGIBBONS, SCOTT M & JILL D
LAUREN'S BAY SUB	C	14	GISH, ROSEANN C
LAUREN'S BAY SUB	C	7	HERITAGE BANK
LAUREN'S BAY SUB	C	3	MARK BOLING CONSTRUCTION INC
LAUREN'S BAY SUB	C	4	TRAPP, CRAIG L & MELANIE K
LAUREN'S BAY SUB	C	16	VILES, LLOYD V & TAMMY C

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Page 8 of 18

LAUREN'S BAY SUB	C	6	ZHOU, CHUN & ZHENG FANG LIANG
LAUREN'S BAY SUB NO 2	A	3	BRAINSTORM DEVELOPMENT GROUP LLC
LAUREN'S BAY SUB NO 2	A	1	HATCHER, TRACEY L & ANGELA K
LAUREN'S BAY SUB NO 2	A	2	HATCHER, TRACEY L & ANGELA K
LAUREN'S BAY VILLAS SUB	A	10	CLINGENPEEL, DAVID A & CARA M
LAUREN'S BAY VILLAS SUB	A	15	CORBIN, WILLIAM B
LAUREN'S BAY VILLAS SUB	A	9	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	A	11 THRU 14	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	A	7,8	MCGIVERN REALTY INC
LAUREN'S BAY VILLAS SUB	B	1 THRU 7	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	C	6	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	C	1 THRU 5	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	C	7,8	RONNEBAUM, MAX C
LAUREN'S BAY VILLAS SUB	D	3,4	JANI, EUGENE JR & HEATHER P
LAUREN'S BAY VILLAS SUB	D	1	LENEAVE, MARK D & JULIE A
LAUREN'S BAY VILLAS SUB	D	2	STROMGREN JEFFREY T & STEPHANIE T
LAUREN'S BAY VILLAS SUB	D	5	THOMAS, MARK A & KENVA M
LAUREN'S BAY ESTATES	B	20,21	KLAUSMAN, JAMES A
LAUREN'S BAY ESTATES	B	15 THRU 19	MCGIVERN REALTY INC
LAUREN'S BAY ESTATES	B	22 THRU 28	RAKD LLC
LAUREN'S BAY ESTATES	C	9	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	C	1 THRU 5	COREFIRST BANK AND TRUST

William B. Corbin

Attachment number 4
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Mark McGovern v.p.

Jeffrey T. Stromgren

James A. Klausman

Mark McGovern v.p.

RAKD LLC

COREFIRST BANK AND TRUST

COREFIRST BANK AND TRUST

LAUREN'S BAY ESTATES	C	6,7,8	RED 5 LLC
LAUREN'S BAY ESTATES	D	1 THRU 5	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	E	1,2,3,4	LAKEVIEW DEVELOPMENT LLC
LAUREN'S BAY ESTATES	E	5 THRU 9	MCGIVERN REALTY INC
LAUREN'S BAY ESTATES	G	4 THRU 6	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	H	4 THRU 7	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	H	13	RAKD LLC
LAUREN'S BAY ESTATES	H	8 THRU 12	RED 5 LLC
LAUREN'S BAY ESTATES	I	3 THRU 6	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	J	2,3,6 THRU 8	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	J	19 THRU 22	KLAUSMAN, JAMES A
LAUREN'S BAY ESTATES	J	1	RAKD LLC
LAUREN'S BAY ESTATES	J	18	RAKD LLC
LAUREN'S BAY ESTATES	J	4,5	RED 5 LLC
LAUREN'S BAY ESTATES	K	1,10,11	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	K	9	RAKD LLC
LAUREN'S BAY ESTATES	M	16	DULTMEIER, CHARLES F TRUST & ROLLENHAGEN, JON TRUST & DULTMEIER, BRIAN FORREST T
LAUREN'S BAY ESTATES	M	6 THRU 10	LAKEVIEW DEVELOPMENT LLC
LAUREN'S BAY ESTATES	M	1 THRU 5	MCGIVERN REALTY INC
LAUREN'S BAY ESTATES	M	11 THRU 15	MCGIVERN REALTY INC
LAUREN'S BAY ESTATES NO 2	A	1 THRU 7	COREFIRST BANK AND TRUST

Sam D. Campbell

Walter, E.V.P.

Henry L. Mang

Mark J. McAn v.p.

Walter, E.V.P.

Walter, E.V.P.

Sam D. Campbell

Sam D. Campbell

Walter, E.V.P.

Walter, E.V.P.

Sam J. Klein

Sam J. Klein

Sam J. Klein

Sam J. Klein

Sam D. Campbell

Walter, E.V.P.

Walter, E.V.P.

Sam J. Klein

Sam J. Klein

Sam J. Klein

Henry L. Mang

Mark J. McAn v.p.

Mark J. McAn v.p.

Walter, E.V.P.

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LAUREN'S BAY VILLAS NO 2	B	4	CRAWFORD, JOE REEVES & SUSAN K
LAUREN'S BAY VILLAS NO 2	B	5,6	HUNTING KENNETH G & JACQUELINE M
LAUREN'S BAY VILLAS NO 2	B	1	TERRY RONNEBAUM CONSTRUCTION INC
LAUREN'S BAY VILLAS NO 2	B	2,3	TERRY RONNEBAUM CONSTRUCTION INC
LAUREN'S BAY VILLAS SUB	D	10	EBERT INC
LAUREN'S BAY VILLAS SUB	D	6 THRU 9	JANI, EUGENE JR & HEATHER P
BRIANS ADDITION SUB 3	C	1	VICKERS KIM & DILLON PATTY L
BRIANS ADDITION SUB 3	C	2	VISIONBANK
BRIANS ADDITION SUB 3	C	3	VISIONBANK
BRIANS ADDITION SUB 3	C	4	VISIONBANK
BRIANS ADDITION SUB 3	D	1	VISIONBANK
BRIANS ADDITION SUB 3	D	2	VISIONBANK
BRIANS ADDITION SUB 3	D	3	VISIONBANK
BRIANS ADDITION SUB 3	D	4	VISIONBANK
BRIANS ADDITION SUB 3	D	5	VISIONBANK
BRIANS ADDITION SUB 3	E	2	DENMAN MICHAEL W & NIKKI M
BRIANS ADDITION SUB 3	E	4	KRUEGER, RONALD W & STACY L
BRIANS ADDITION SUB 3	E	1	VISIONBANK
BRIANS ADDITION SUB 3	E	3	VISIONBANK
BRIANS ADDITION SUB 3	E	5	VISIONBANK
LAUREN'S BAY ESTATES	E	23	BROWN, NATHANIEL PHILLIP & MELINDA MAY
LAUREN'S BAY ESTATES	E	13	DULTMEIER HOMES CO

Attachment number 4
Page 11 of 18

LAUREN'S BAY ESTATES	E	14	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	18	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	27	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	28	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	29	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	30	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	31	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	32	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	34	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	35	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	37	DULTMEIER HOMES CO	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	17	DULTMEIER, CHARLES F TRUST & ROLLENHAGEN, JON TRUST & DULTMEIER, BRIAN FORREST T	<i>Chuck Daulton</i>
LAUREN'S BAY ESTATES	E	36	GUZEL, HUSEYIN	
LAUREN'S BAY ESTATES	E	19	HALL, BRIAN C & MEGAN E	
LAUREN'S BAY ESTATES	E	33	LEE, JOSH & CHERYL	
LAUREN'S BAY ESTATES	E	22	NOSTRUD, DOUGLAS A & RENAE D	
LAUREN'S BAY ESTATES	E	12	OHSE, NANCY & GRACE, DANIEL L	
LAUREN'S BAY ESTATES	E	16	RANDALL, RYAN C & LACY A	
LAUREN'S BAY ESTATES	E	26	ROSETTA, JAMES E & SUSAN L	
LAUREN'S BAY ESTATES	E	25	STEVENS, DAVID H	
LAUREN'S BAY ESTATES	E	15	STRATMAN, TERRY R & ELIZABETH K	

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LAUREN'S BAY ESTATES	E	21	TREMBLAY, MICHAEL A & ASHLEY N
LAUREN'S BAY ESTATES	E	20	VANDEVELDE, TODD E & JENNIFER L
LAUREN'S BAY ESTATES	I	7 THRU 15	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	J	9 THRU 17	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	K	2 THRU 8	COREFIRST BANK AND TRUST
LAUREN'S BAY ESTATES	M	74	AHUMADA, JAVIER & MICHELLE
LAUREN'S BAY ESTATES	M	52	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	53	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	54	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	55	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	56	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	65	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	66	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	67	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	68	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	69	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	70	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	76	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	79	DULTMEIER HOMES CO
LAUREN'S BAY ESTATES	M	61	DULTMEIER, CHARLES F TRUST & ROLLENHAGEN, JON TRUST & DULTMEIER, BRIAN FORREST T

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Attachment number 4
 Page 13 of 18

[Handwritten signature: Chuck Daulton]
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LAUREN'S BAY ESTATES	M	45 THRU 51	DULTMEIER, CHARLES F TRUST & ROLLENHAGEN, JON TRUST & DULTMEIER, BRIAN FORREST T	<u>Charles F. Dultmeier</u>
LAUREN'S BAY ESTATES	M	71	DUNAWAY, JEFFREY L & JANET L	_____
LAUREN'S BAY ESTATES	M	78	HACHMEISTER, WILLIAM A & KATHLEEN A	_____
LAUREN'S BAY ESTATES	M	75	KLEM, EDWARD D & LINDA L	_____
LAUREN'S BAY ESTATES	M	72	MAGANA-ZENDEJAS ANTONIO & RODRIGUEZ-ROMERO ZITA O	_____
LAUREN'S BAY ESTATES	M	58	MALDONADO, SALVADOR G & LISA MARIE	_____
LAUREN'S BAY ESTATES	M	60	MILLER, TERRI M & PAUL S	_____
LAUREN'S BAY ESTATES	M	62	PAULEY, DAVE & CARMA	_____
LAUREN'S BAY ESTATES	M	64	RIDGEWAY, GINA R	_____
LAUREN'S BAY ESTATES	M	63	SCHLEUDER, JEFFREY R	_____
LAUREN'S BAY ESTATES	M	57	SMITH, DEBORAH S TRUST	_____
LAUREN'S BAY ESTATES	M	77	SMITH, STANLEY L & FRANCINE	_____
LAUREN'S BAY ESTATES	T	1 THRU 4	KLAUSMAN, JAMES A	<u>James A. Klausman</u>
LAUREN'S BAY ESTATES	T	5 THRU 9	LAKEVIEW DEVELOPMENT LLC	<u>Henry L. Manning</u>
WANAMAKER MEADOWS SUB	A	1	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>
WANAMAKER MEADOWS SUB	A	2	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>
WANAMAKER MEADOWS SUB	A	4	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>
WANAMAKER MEADOWS SUB	A	6	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>
WANAMAKER MEADOWS SUB	A	7	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>
WANAMAKER MEADOWS SUB	A	8	MCGIVERN REALTY INC	<u>Mark J. McGivern v.p.</u>

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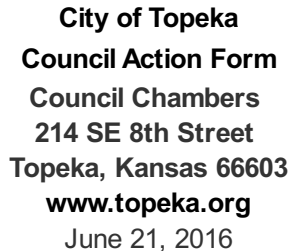
WANAMAKER MEADOWS SUB	A	9	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	10	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	11	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	12	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	13	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	14	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	15	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	A	5	TURNBOUGH JEAN M	
WANAMAKER MEADOWS SUB	A	3	TURNWORKS REAL ESTATE I LP	
WANAMAKER MEADOWS SUB	B	1	DM HAWKS BUILDER LLC	
WANAMAKER MEADOWS SUB	B	2	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	3	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	4	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	5	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	6	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	12 THRU 28	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>
WANAMAKER MEADOWS SUB	B	7 THRU 11	MCGIVERN REALTY INC	<u>Mark J. McAn v.p.</u>

<u>SUBS</u>	<u>BLOCK</u>	<u>LOT #s</u>	<u>OWNER NAME</u>	
LAUREN'S BAY ESTATES	F	1-8, 10-17	COREFIRST BANK AND TRUST	
LAUREN'S BAY ESTATES	F	18	VOSTREJS, PHILIP D & LISA	<i>Philip D Vostrejs</i>
LAUREN'S BAY SUB	C	17	BROWN SANDRA J TRUST	
LAUREN'S BAY SUB	C	23	FORD JACQUELIN D TRUST	
LAUREN'S BAY SUB	C	24	FRIES KATHY TRUST	<i>Kathy Fries</i>
LAUREN'S BAY SUB	C	19	MARSHALL, STEVEN E & MARY A	Attachment number 4 Page 10 of 16
LAUREN'S BAY SUB	C	20	MCGIVERN REALTY INC	
LAUREN'S BAY SUB	C	22	MUDGE, RICHARD L & SMITH, MARGIER	
LAUREN'S BAY SUB	C	21	PEARSON, GEORGE H III	
LAUREN'S BAY SUB	C	25	SLOCUM, RICK & CINDY TRUST	
LAUREN'S BAY SUB	C	18	UNRUH, CONRAD J & BRENDA L	
LAUREN'S BAY VILLAS NO 3	A	2	4415 SW STONYBROOK LLC	
LAUREN'S BAY VILLAS NO 3	A	4	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS NO 3	A	1	LACKEY, RICHARD D & LAYNA L	
LAUREN'S BAY VILLAS NO 3	A	3	VARAKANTHAM, GAUTHAM & JYOTHI DODLAPATI	
LAUREN'S BAY VILLAS SUB	A	2	KLAUSMAN, JAMES A	
LAUREN'S BAY VILLAS SUB	A	PART OF 6	MANION, D KENT & JUNE A	
LAUREN'S BAY VILLAS SUB	A	1	TINKUM, JAMES F & MARSHA K	
LAUREN'S BAY ESTATES	A	1,2,3,4	RAKD LLC	
LAUREN'S BAY ESTATES	B	11,12,13,14	KLAUSMAN, JAMES A	

LAUREN'S BAY SUB	A	6	TEW, DAVID W & SHONN R	_____
LAUREN'S BAY SUB	A	11	WONG, SIEW MIN	_____
LAUREN'S BAY SUB	B	7	AFFOLTER, DENNIS E IRA	_____
LAUREN'S BAY SUB	B	1	BRAINSTORM DEVELOPMENT GROUP LLC	_____
LAUREN'S BAY SUB	B	8	BRAINSTORM DEVELOPMENT GROUP LLC	_____
LAUREN'S BAY SUB	B	10	BRAINSTORM DEVELOPMENT GROUP LLC	_____
LAUREN'S BAY SUB	B	9	BROKATE, MONTE L & MARLI F	_____
LAUREN'S BAY SUB	B	11	BROKATE, MONTE L & MARLI F	_____
LAUREN'S BAY SUB	B	6	EDIGER, MARK A & BETHANY R	_____
LAUREN'S BAY SUB	B	5	GALLIANO, MATTHEW R & MICHELE D	_____
LAUREN'S BAY SUB	B	12,13,14,15	KANSAS HERITAGE FOUNDATION	_____
LAUREN'S BAY SUB	B	2	MCGIVERN REALTY INC	_____
LAUREN'S BAY SUB	B	3,4	OROZCO, MARK A & CLEM-OROZCO, KARLA K	_____
LAUREN'S BAY SUB	C	13	CHAUDHRY, ARIF & ADEELA	_____
LAUREN'S BAY SUB	C	5	CLAY KENNETH J & PAMELA S TRUST	_____
LAUREN'S BAY SUB	C	2	CORDILL, JERRY R & BONNIER	_____
LAUREN'S BAY SUB	C	15	ERNST KELLY LEWS	_____
LAUREN'S BAY SUB	C	1	FITZGIBBONS, SCOTT M & JILL D	_____
LAUREN'S BAY SUB	C	14	GISH, ROSEANN C	_____
LAUREN'S BAY SUB	C	7	HERITAGE BANK	_____
LAUREN'S BAY SUB	C	3	MARK BOLING CONSTRUCTION INC	_____

Attachment number 4
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LAUREN'S BAY SUB	C	4	TRAPP, CRAIG L & MELANIE K	
LAUREN'S BAY SUB	C	16	VILES, LLOYD V & TAMMY C	
LAUREN'S BAY SUB	C	6	ZHOU, CHUN & ZHENG FANG LIANG	
LAUREN'S BAY SUB NO 2	A	3	BRAINSTORM DEVELOPMENT GROUP LLC	
LAUREN'S BAY SUB NO 2	A	1	HATCHER, TRACEY L & ANGELA K	
LAUREN'S BAY SUB NO 2	A	2	HATCHER, TRACEY L & ANGELA K	
LAUREN'S BAY VILLAS SUB	A	10	CLINGENPEEL, DAVID A & CARA M	Attachment number 4 Page 10 of 10 <i>DOJ C/MCJ</i>
LAUREN'S BAY VILLAS SUB	A	15	CORBIN, WILLIAM B	
LAUREN'S BAY VILLAS SUB	A	9	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	A	11 THRU 14	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	A	7,8	MCGIVERN REALTY INC	
LAUREN'S BAY VILLAS SUB	B	1 THRU 7	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	C	6	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	C	1 THRU 5	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	C	7,8	RONNEBAUM, MAX C	
LAUREN'S BAY VILLAS SUB	D	3,4	JANI, EUGENE JR & HEATHER P	
LAUREN'S BAY VILLAS SUB	D	1	LENEAVE, MARK D & JULIE A	
LAUREN'S BAY VILLAS SUB	D	2	STROMGREN JEFFREY T & STEPHANIE T	
LAUREN'S BAY VILLAS SUB	D	5	THOMAS, MARK A & KENVA M	
LAUREN'S BAY ESTATES	B	20,21	KLAUSMAN, JAMES A	
LAUREN'S BAY ESTATES	B	15 THRU 19	MCGIVERN REALTY INC	
LAUREN'S BAY ESTATES	B	22 THRU 28	RAKD LLC	



After the public hearing has been conducted, staff recommends the Governing Body move to adopt the ordinance.

BACKGROUND:

On January 22, 2013, the governing body authorized by Resolution No. 8487, a project for street improvements.

BUDGETARY IMPACT:

Special assessments districts are supposed to pay for the improvement costs through the tax rolls; however, in the event that they do not, the City would still make the annual bond payments through property taxes.

The final project cost is \$4,407,995.63 and will be paid 100% by the improvement district spread over 10 years. The district consists of 106 units (lots) to be assessed at \$41,584.86 per unit. Units per parcel range from 30 to 1.

These costs do not include the interest on bond payments, which will be assessed once the bonds are issued in August.

SOURCE OF FUNDING:

Special assessment payments are the primary source of funding, in the event they are not paid, the debt service fund would pay through ad valorem taxes.

ATTACHMENTS:**Description**

Assessment Ordinance

Public Hearing Notice - Metro June 6 2016

Map

Sample Letter to Parcel Owners

Resolution 8487

Project Documents (Petition, Project Budget and Fact Sheet)

1 (Published in the Topeka Metro News on _____)

2
3 ORDINANCE NO. _____

4
5 AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying a
6 special assessment on certain lots and pieces of ground in the City of
7 Topeka, Shawnee County, Kansas, in the area of the Kanza
8 Education and Science Park for Street Improvement Project No. T-
9 601030.00, as defined and described in Resolution No. 8487 adopted
10 and approved January 22, 2013.

11
12 BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

13
14 Section 1. For the purpose of paying the cost of Improvement Project No. T-
15 601030.00, in the City of Topeka, Shawnee County, Kansas, the Governing Body, pursuant
16 to K.S.A. 12-6a01 *et seq.*, hereby levies and assesses a special assessment on all lots and
17 pieces of ground liable therefore. Said assessments are computed as follows:

18 A. GENERAL NATURE OF IMPROVEMENT:

19
20 To Pave SW Kanza Drive between SW 3rd Street and SW MacVicar
21 Avenue; SW 3rd Street between Oakley Avenue and SW MacVicar
22 Avenue; and Tuffy Kellogg Drive between SW 6th Street and SW 3rd
23 Street with asphalt pavement, and curb and gutter, grading, curb inlets,
24 storm sewer pipes, street lighting and landscaping. Included with the
25 project are engineering costs and all other contingencies needed to
26 complete the project.

27
28 B. IMPROVEMENT DISTRICT:

29
30 *Kanza Education and Science Park*

31 Block A, Lot 1

32 Block B, Lots 2-5, 7 and 8

33 Block C, Lots 1 and 2

34 Block D, Lots 1-4 and 7

35
36 *Kanza Education and Science Park*

37
38 *Kanza Education and Science Park No. 2*

39
40 *Shawnee Community Mental Health Center Subdivision*

41 Block A, Lot 1
42

C. METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels included in the Improvement District. This project consists of 106 units.

D. TOTAL COST & APPORTIONMENT OF COSTS:

FINAL PROJECT COST = \$4,407,995.63

100 % by the owners of property within the Improvement District.

Section 2. The several amounts are apportioned, levied and assessed against

each of said lots and pieces of ground according to the benefits to be derived by reason of

the aforesaid improvements as follows:

IMPROVEMENT PROJECT NO. T-601030.00

<u>Legal Description</u>	<u>Assessment</u>
--------------------------	-------------------

<i>Subdivision</i>	<i>Block</i>	<i>Lot</i>	<i>Cost</i>
KANZA EDUCATION AND SCIENCE PARK	A	1	\$1,247,545.93
KANZA EDUCATION AND SCIENCE PARK	B	2	\$249,509.19
KANZA EDUCATION AND SCIENCE PARK	B	3	\$249,509.19
KANZA EDUCATION AND SCIENCE PARK	B	4	\$249,509.19
KANZA EDUCATION AND SCIENCE PARK	B	5	\$124,754.59
KANZA EDUCATION AND SCIENCE PARK	B	7	\$166,339.46
KANZA EDUCATION AND SCIENCE PARK	B	8	\$83,169.73
KANZA EDUCATION AND SCIENCE PARK	C	1	\$748,527.56
KANZA EDUCATION AND SCIENCE PARK	C	2	\$249,509.19
KANZA EDUCATION AND SCIENCE PARK	D	1	\$124,754.59
KANZA EDUCATION AND SCIENCE PARK	D	2	\$207,924.32
KANZA EDUCATION AND SCIENCE PARK	D	3	\$166,339.46
KANZA EDUCATION AND SCIENCE PARK	D	4	\$41,584.86
KANZA EDUCATION AND SCIENCE PARK	D	7	\$41,584.86

KANZA EDUCATION AND SCIENCE PARK				\$249,509.19
KANZA EDUCATION & SCIENCE PARK NO 2				\$83,169.73
SHAWNEE COMMUNITY MENTAL HEALTH CENTER	A	1		\$124,754.59

Section 3. Such assessments with accrued interest are hereby levied concurrent with general property taxes and shall be payable in ten (10) equal annual installments; the first installment to be payable at the time of the first payment of the general property taxes, following the publication of this ordinance.

Section 4. All assessments shall bear interest in an amount not to exceed the legal rate established by law.

Section 5. The owner of any property so assessed may at any time prior to 30 days from the date of publication of this ordinance, pay the whole of the assessment against any lot or parcel with interest accrued to the date of payment, to the City Treasurer.

Section 6. Assessments not paid prior to the date provided in Section 5 hereof, shall be certified, together with interest accrued, or to accrue, by the City Clerk to the County Clerk, and collected in the same manner as other taxes.

Section 7. This ordinance shall take effect and be in force from and after its passage, approval and publication in the official city newspaper.

PASSED and APPROVED by the Governing Body _____.

CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk

(Published in The Topeka Metro News June 6, 2016)

NOTICE OF PUBLIC HEARING

KANZA EDUCATION AND SCIENCE PARK STREET IMPROVEMENT PROJECT NO. T-601030.00

Notice is hereby given that there will be a special meeting of the City Council of the City of Topeka, Shawnee County, Kansas, held on **June 21, 2016, at 6:00 P.M.**, in the Council Chamber 214 E. 8th, for the purpose of hearing any and all complaints that may be made as to the validity and fairness of the assessments on file in the office of the Clerk, on all lots, parcels and pieces of ground liable for the cost of improvement, same being **Kanza Education and Science Park Street Improvement Project No. T-601030.00, authorized by Resolution of Advisability and Authorization No 8487, adopted and approved January 22, 2013.**

GENERAL NATURE OF IMPROVEMENT:

To Pave SW Kanza Drive between SW 3rd Street and SW MacVicar Avenue; SW 3rd Street between Oakley Avenue and SW MacVicar Avenue; and Tuffy Kellogg Drive between SW 6th Street and SW 3rd Street with asphalt pavement, and curb and gutter, grading, curb inlets, storm sewer pipes, street lighting and landscaping. Included with the project are engineering costs and all other contingencies needed to complete the project.

IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block A, Lot 1

Block B, Lots 2 through 5, 7 and 8

Block C, Lots 1 and 2

Block D, Lots 1 through 4 and 7

AND an unplatted parcel (Bettis Parcel) at the southwest corner of SW Kanza Drive and SW MacVicar Avenue described as follows:

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS, COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ON AN ASSUMED NORTH AZIMUTH OF 359 DEGREES 51 MINUTES 46 SECONDS, 51.14 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 77.86 FEET TO THE NORTHEAST CORNER OF KANZA BUSINESS AND TECHNOLOGY PARK SUBDIVISION NO. 3, AS RECORDED IN PLAT BOOK 40, PAGE 91, IN THE PUBLIC RECORDS OF SAID COUNTY, AND THE POINT OF BEGINNING; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 320.00 FEET ALONG THE NORTH LINE OF SAID SUBDIVISION AND ITS EXTENSION; THENCE ON AZIMUTH 359 DEGREES 51 MINUTES 46 SECONDS, 309.14 FEET; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 46 SECONDS, 41.90 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 462.50 FEET; THENCE EASTERLY, 143.62 FEET ALONG SAID

CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 98 DEGREES 45 MINUTES 32 SECONDS, 143.04 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 537.50 FEET; THENCE EASTERLY, 136.59 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 100 DEGREES 22 MINUTES 29 SECONDS, 136.23 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF MACVICAR AVENUE, AS RECORDED IN BOOK 4389, PAGE 172; THENCE ON AZIMUTH 179 DEGREES 58 MINUTES 19 SECONDS, 27.53 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 51 SECONDS, 7.09 FEET ALONG SAID RIGHT OF WAY LINE TO A POINT ON THE WEST RIGHT OF WAY LINE OF SW MACVICAR AVENUE, AS RECORDED IN BOOK 3614, PAGE 757, SAID POINT BEING ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 4642.50 FEET; THENCE SOUTHERLY, 138.57 FEET ALONG SAID RIGHT OF WAY LINE AND CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 180 DEGREES 52 MINUTES 22 SECONDS, 138.57 FEET; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 1.50 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 180 DEGREES 01 MINUTES 05 SECONDS, 96.96 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

AND an unplatted parcel (Stormont Vail Parcel) at the southwest corner of SW 3rd Street and SW MacVicar Avenue. described as follows:

A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE 6TH P.M., IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE ON AN ASSUMED BEARING OF SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST ON THE EAST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 616.69 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 19 SECONDS WEST A DISTANCE OF 23.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST A DISTANCE OF 294.28 FEET TO THE EAST LINE OF A TRACT OF LAND AS DESCRIBED IN BOOK 4269 AT PAGE 203 SHAWNEE COUNTY REGISTER OF DEEDS OFFICE; THENCE NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (MEASURED), NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (DESCRIBED) ON THE EAST LINE OF SAID TRACT, A DISTANCE OF 4.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST, (MEASURED), SOUTH 89 DEGREES 50 MINUTES 35 SECONDS WEST, (DESCRIBED), ON THE NORTH LINE OF SAID TRACT, A DISTANCE OF 266.76 FEET, MEASURED AND DESCRIBED) TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 00 MINUTES 41 SECONDS EAST A DISTANCE OF 328.50 FEET; THENCE NORTH 75 DEGREES 57 MINUTES 09 SECONDS EAST A DISTANCE OF 111.46 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 350.00 FEET, A CHORD WHICH BEARS SOUTH 89 DEGREES 19 MINUTES 08 SECONDS EAST A DISTANCE OF 177.97 FEET, AN ARE DISTANCE OF 179.94 FEET; THENCE SOUTH 74 DEGREES 35 MINUTES 25 SECONDS EAST A DISTANCE OF 47.97 FEET; THENCE NORTH 80 DEGREES 29 MINUTES 15 SECONDS EAST A DISTANCE OF 18.51 FEET; THENCE SOUTH 72 DEGREES 07 MINUTES 54 SECONDS EAST A DISTANCE 77.36 FEET; THENCE SOUTH 84 DEGREES 36 MINUTES 04 SECONDS EAST A DISTANCE OF 82.69 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST A DISTANCE OF 54.50 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST A DISTANCE OF 314.74 FEET TO THE POINT OF BEGINNING.

AND

Block A, Lot 1, Shawnee Community Mental Health Center Subdivision

METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels which are included in the Improvement District.

Kanza Education and Science Park:

Block A, Lot 1 (30 Units)

Block B, Lot 2 (6 Units)

Block B, Lot 3 (6 Units)

Block B, Lot 4 (6 Units)

Block B, Lot 5 (3 Units)

Block B, Lot 7 (4 Units)

Block B, Lot 8 (2 Units)

Block C, Lot 1 (18 Units)

Block C, Lot 2 (6 Units)

Block D, Lot 1 (3 Units)

Block D, Lot 2 (5 Units)

Block D, Lot 3 (4 Units)

Block D, Lot 4 (1 Units)

Block D, Lot 7 (1 Units)

Bettis Parcel (2 Units)

Stormont Vail Parcel (6 Units)

Shawnee Community Mental Health Center Subdivision:

Block A, Lot 1 (3 Units)

TOTAL COST & APPORTIONMENT OF COSTS:

Total Cost = \$4,407,995.63

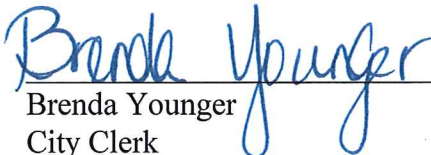
106 Units in Improvement District

100% paid by the Improvement District over a 10 year period.

All of above described territory being situated in the City of Topeka, Shawnee County, Kansas.

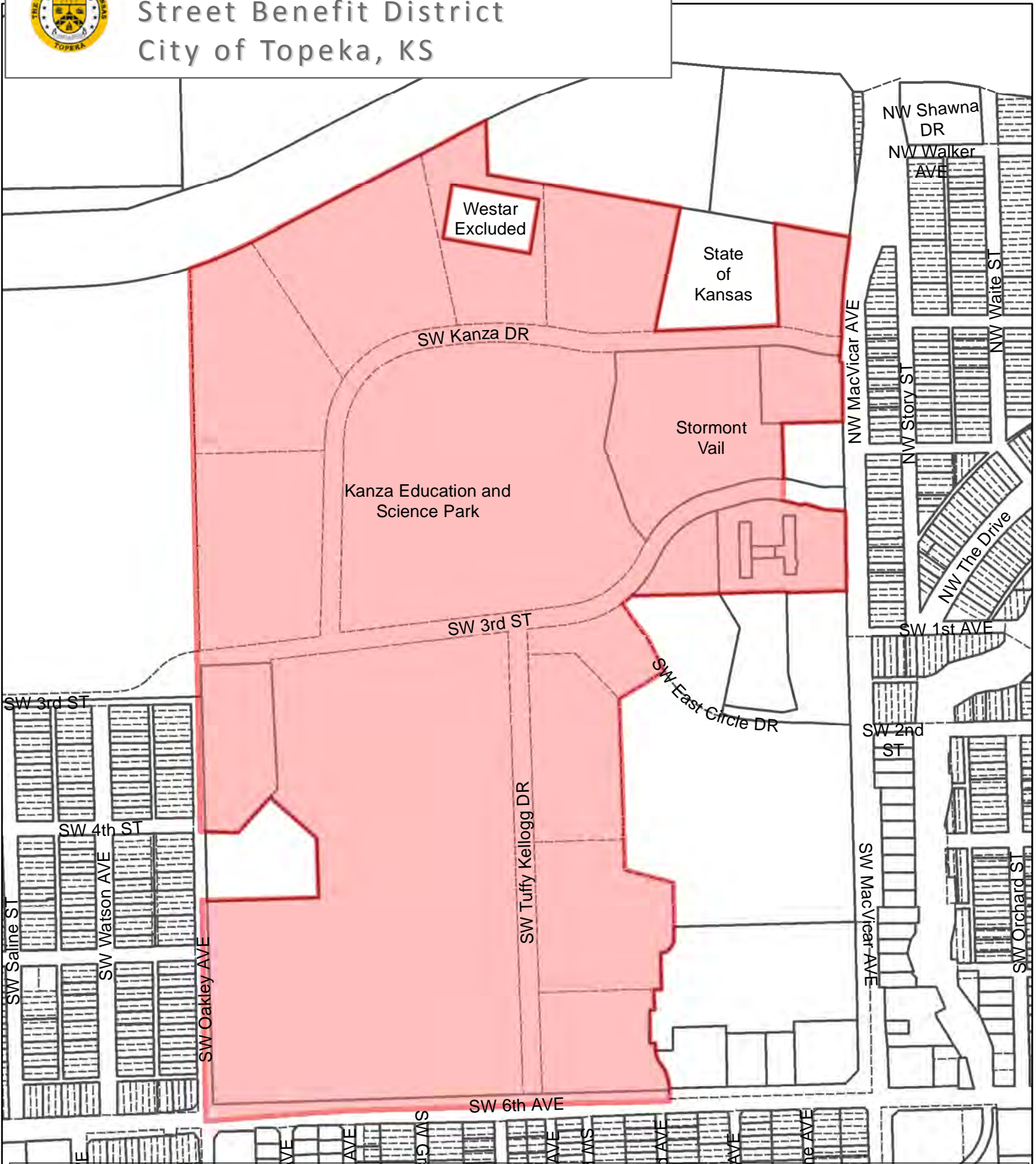
IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City for Topeka to be affixed on June 6, 2016.




Brenda Younger
City Clerk



Kanza Education & Science Park
Street Benefit District
City of Topeka, KS



Legend

- Street Benefit District Boundary
- Parcels
- Lot

0 170 340 680 1,020 1,360 Feet

While the City of Topeka, KS makes every effort to maintain and distribute accurate information, NO WARRANTIES AND/OR REPRESENTATIONS OF ANY KIND are made regarding information, data, or services provided. In no event shall the City of Topeka, Kansas be liable in any way to the users of this data. Users of the data shall hold the City of Topeka, Kansas harmless in all matters and accounts arising from the use and/or accuracy of this data map. City of Topeka, Kansas :: Public Works :: Technical Support Group 5/16/2016 AR Reynolds





CITY OF TOPEKA

CITY CLERK
City Hall, 215 SE 7th St., Room 166
Topeka, KS 66603-3914
(785) 368-3940

Brenda Younger, C.M.C.
E-mail: byounger@topeka.org
Fax: (785) 368-3943
www.topeka.org

PUBLIC HEARING NOTICE

“Date”

“Property Owner”

“Mailing Address”

“City” “State” “Zip”

You are hereby notified, as owner of Parcel ID No. _____ in the City of Topeka, Kansas, that the cost proposed to be assessed against such property for Kanza Education and Science Park Street Improvement Project No. T-601030.00 authorized by City of Topeka Resolution No. 8487 dated January 22, 2013, is \$_____.

The attached map shows the parcels impacted in the district. Your parcel consists of _____ units.

The Governing Body of the City of Topeka, Kansas, will meet and hold a public hearing at 6:00 p.m. on the 21st day of June 2016, in the City Council Chambers located at 214 SE 8th Street, Topeka, Kansas, for the purpose of considering the proposed assessments.

Written and oral objections will be considered at the meeting. Following the hearing, the City Council shall by ordinance levy the same as a special assessment against the parcels described in the assessment rolls. A Special Assessment Notice will be sent following adoption of the ordinance.

If you would like to comment on the matter please contact the City Clerk’s office at cclerk@topeka.org or 785-368-3940 or 785-368-3941 by 5:00 p.m. on the date of the hearing - June 7, 2016.

Thank you,
Brenda Younger, C.M.C.
City Clerk



(Published in the Topeka Metro News January 28, 2013)

RESOLUTION OF ADVISABILITY AND AUTHORIZATION NO. 8487

A RESOLUTION introduced by Jim Colson, City Manager, authorizing Street Improvement Project No. T-601030.00 which provides for street improvements to the Kanza Education and Science Park area, as more specifically described herein.

WHEREAS, the City Clerk has received a petition, pursuant to K.S.A. 12-6a01, *et seq.*, as amended, containing the signatures of the owners of 100% of the area in the improvement district hereinafter described; and

WHEREAS, seven (7) days have elapsed since the filing of said petition.

NOW, THEREFORE, BE IT RESOLVED by the Governing Body of the City of Topeka, Kansas, that it finds Street Improvement Project No.T-601030.00, hereinafter described, to be advisable and does hereby authorize and order said improvement to be made in accordance with its findings as follows:

A. GENERAL NATURE OF IMPROVEMENT:

To Pave SW Kanza Drive between SW 3rd Street and SW MacVicar Avenue; SW 3rd Street between Oakley Avenue and SW MacVicar Avenue; and Tuffy Kellogg Drive between SW 6th Street and SW 3rd Street with asphalt pavement, and curb and gutter, grading, curb inlets, storm sewer pipes, street lighting and landscaping. Included with the project are engineering costs and all other contingencies needed to complete the project.

B. PROPOSED IMPROVEMENT DISTRICT:

Kanza Education and Science Park
Block A, Lot 1
Block B, Lots 2-5, 7 and 8
Block C, Lots 1 and 2
Block D, Lots 1-4 and 7

2013R03613

SHAWNEE COUNTY, KANSAS
REGISTER OF DEEDS
MARTILYN L. NICHOLS
DATE RECORDED:
02/19/2013 3:56:50 PM
DEBT: 0.00

AND an unplatted parcel (Bettis Parcel) at the southwest corner of SW Kanza Drive and SW MacVicar Ave described as follows:
A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 26,

TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS, COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ON AN ASSUMED NORTH AZIMUTH OF 359 DEGREES 51 MINUTES 46 SECONDS, 51.14 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 77.86 FEET TO THE NORTHEAST CORNER OF KANZA BUSINESS AND TECHNOLOGY PARK SUBDIVISION NO. 3, AS RECORDED IN PLAT BOOK 40, PAGE 91, IN THE PUBLIC RECORDS OF SAID COUNTY, AND THE POINT OF BEGINNING; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 320.00 FEET ALONG THE NORTH LINE OF SAID SUBDIVISION AND ITS EXTENSION; THENCE ON AZIMUTH 359 DEGREES 51 MINUTES 46 SECONDS, 309.14 FEET; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 46 SECONDS, 41.90 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 462.50 FEET; THENCE EASTERLY, 143.62 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 98 DEGREES 45 MINUTES 32 SECONDS, 143.04 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 537.50 FEET; THENCE EASTERLY, 136.59 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 100 DEGREES 22 MINUTES 29 SECONDS, 136.23 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF MACVICAR AVENUE, AS RECORDED IN BOOK 4389, PAGE 172; THENCE ON AZIMUTH 179 DEGREES 58 MINUTES 19 SECONDS, 27.53 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 51 SECONDS, 7.09 FEET ALONG SAID RIGHT OF WAY LINE TO A POINT ON THE WEST RIGHT OF WAY LINE OF SW MACVICAR AVENUE, AS RECORDED IN BOOK 3614, PAGE 757, SAID POINT BEING ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 4642.50 FEET; THENCE SOUTHERLY, 138.57 FEET ALONG SAID RIGHT OF WAY LINE AND CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 180 DEGREES 52 MINUTES 22 SECONDS, 138.57 FEET; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 1.50 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 180 DEGREES 01 MINUTES 05 SECONDS, 96.96 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

AND an unplatted parcel (Stormont Vail Parcel) at the southwest corner of SW 3rd Street and SW MacVicar Ave. described as follows:

A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE 6TH P.M., IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE ON AN ASSUMED BEARING OF SOUTH 00

DEGREES 00 MINUTES 41 SECONDS WEST ON THE EAST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 616.69 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 19 SECONDS WEST A DISTANCE OF 23.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST A DISTANCE OF 294.28 FEET TO THE EAST LINE OF A TRACT OF LAND AS DESCRIBED IN BOOK 4269 AT PAGE 203 SHAWNEE COUNTY REGISTER OF DEEDS OFFICE; THENCE NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (MEASURED), NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (DESCRIBED) ON THE EAST LINE OF SAID TRACT, A DISTANCE OF 4.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST, (MEASURED), SOUTH 89 DEGREES 50 MINUTES 35 SECONDS WEST, (DESCRIBED), ON THE NORTH LINE OF SAID TRACT, A DISTANCE OF 266.76 FEET, MEASURED AND DESCRIBED) TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 00 MINUTES 41 SECONDS EAST A DISTANCE OF 328.50 FEET; THENCE NORTH 75 DEGREES 57 MINUTES 09 SECONDS EAST A DISTANCE OF 111.46 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 350.00 FEET, A CHORD WHICH BEARS SOUTH 89 DEGREES 19 MINUTES 08 SECONDS EAST A DISTANCE OF 177.97 FEET, AN ARE DISTANCE OF 179.94 FEET; THENCE SOUTH 74 DEGREES 35 MINUTES 25 SECONDS EAST A DISTANCE OF 47.97 FEET; THENCE NORTH 80 DEGREES 29 MINUTES 15 SECONDS EAST A DISTANCE OF 18.51 FEET; THENCE SOUTH 72 DEGREES 07 MINUTES 54 SECONDS EAST A DISTANCE 77.36 FEET; THENCE SOUTH 84 DEGREES 36 MINUTES 04 SECONDS EAST A DISTANCE OF 82.69 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST A DISTANCE OF 54.50 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST A DISTANCE OF 314.74 FEET TO THE POINT OF BEGINNING.

AND

Block A, Lot 1, Shawnee Community Mental Health Center Subdivision

C. ESTIMATED OR PROBABLE COST:

\$4,492,200.00

D. PROPOSED METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels which are included in the Improvement District. (106 total units)

Kanza Education and Science Park:

Block A, Lot 1 (30 Units)
Block B, Lot 2 (6 Units)
Block B, Lot 3 (6 Units)
Block B, Lot 4 (6 Units)
Block B, Lot 5 (3 Units)
Block B, Lot 7 (4 Units)
Block B, Lot 8 (2 Units)
Block C, Lot 1 (18 Units)
Block C, Lot 2 (6 Units)
Block D, Lot 1 (3 Units)
Block D, Lot 2 (5 Units)
Block D, Lot 3 (4 Units)
Block D, Lot 4 (1 Units)
Block D, Lot 7 (1 Units)

Bettis Parcel (2 Units)
Stormont Vail Parcel (6 Units)

Shawnee Community Mental Health Center Subdivision:

Block A, Lot 1 (3 Units)

E. APPORTIONMENT OF COSTS:

Costs are to be paid 100% by the owners of property within the Improvement District over a ten (10) year period.

Upon completion of the project described herein, the City Clerk is hereby directed to provide all publication and mailed notices in accordance with the provisions of K.S.A. 12-6a01, *et seq.*, as amended.

THIS RESOLUTION shall become effective upon one publication in the official city newspaper.

ADOPTED and APPROVED by the Governing Body on January 22, 2013.

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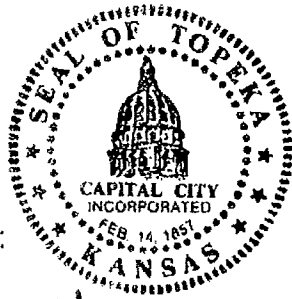
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ATTEST:

Brenda Younger
Brenda Younger, City Clerk

CITY OF TOPEKA, KANSAS

William W. Bunten
William W. Bunten, Mayor

IMPROVEMENT PROJECT

PETITION

THE MAYOR AND COUNCIL MEMBERS
City of Topeka

We, the undersigned owners of record of real estate located within the Improvement District legally described herein, do hereby respectfully petition for the following improvements, in accordance with the conditions herein contained, and as provided by K.S.A. 12-6a01, *et seq.*, as amended.

STREET IMPROVEMENT PROJECT NO. T-601030.00

A. GENERAL NATURE OF IMPROVEMENT:

To Pave:

SW Kanza Drive between SW 3rd Street and SW MacVicar Ave.
SW 3rd Street between Oakley Ave. and SW MacVicar Ave.
Tuffy Kellogg Drive between SW 6th Street and SW 3rd Street

with asphalt pavement, and curb and gutter, grading, curb inlets, storm sewer pipes, street lighting and landscaping. Included with the project are engineering costs and all other contingencies needed to complete the project.

B. PROPOSED IMPROVEMENT DISTRICT:

Lot 1, Block A; Lots 2-5, 7 and 8, Block B; Lots 1 and 2, Block C; Lots 1-4 and 7, Block D, all in Kanza Education and Science Park;

AND an unplatted parcel (Bettis Parcel) at the southwest corner of SW Kanza Drive and SW MacVicar Avenue described as follows: A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS: COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ON AN ASSUMED NORTH AZIMUTH OF 359 DEGREES 51 MINUTES 46 SECONDS, 51.14 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 77.86 FEET TO THE NORTHEAST CORNER OF KANZA BUSINESS AND TECHNOLOGY PARK SUBDIVISION NO. 3, AS RECORDED IN PLAT BOOK 40, PAGE 91, IN THE PUBLIC RECORDS OF SAID COUNTY, AND THE POINT OF BEGINNING; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 320.00 FEET ALONG THE NORTH LINE OF SAID SUBDIVISION AND ITS EXTENSION; THENCE ON AZIMUTH 359 DEGREES 51 MINUTES 46 SECONDS, 309.14 FEET; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 46 SECONDS, 41.90 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 462.50 FEET; THENCE EASTERLY, 143.62 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 98 DEGREES 45 MINUTES 32 SECONDS, 143.04 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 537.50 FEET; THENCE EASTERLY, 136.59 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 100 DEGREES 22 MINUTES 29 SECONDS, 136.23 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF MACVICAR AVENUE, AS RECORDED IN BOOK 4389, PAGE 172; THENCE ON AZIMUTH 179 DEGREES 58 MINUTES 19 SECONDS, 27.53 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 51 SECONDS, 7.09 FEET ALONG SAID RIGHT OF WAY LINE TO A POINT ON THE WEST RIGHT OF WAY LINE OF SW MACVICAR AVENUE, AS RECORDED IN BOOK 3614, PAGE 757, SAID POINT BEING ON A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 4642.50 FEET; THENCE SOUTHERLY, 138.57 FEET ALONG SAID RIGHT OF WAY LINE AND CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 180 DEGREES 52 MINUTES 22 SECONDS, 138.57 FEET; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 1.50 FEET

ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 180 DEGREES 01 MINUTES 05 SECONDS, 96.96 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING;
 AND an unplatted parcel (Stormont Vail Parcel) at the southwest corner of SW 3rd Street and SW MacVicar Avenue described as follows: A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE 6TH P.M., IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS: COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE ON AN ASSUMED BEARING OF SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST ON THE EAST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 616.69 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 19 SECONDS WEST A DISTANCE OF 23.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST A DISTANCE OF 294.28 FEET TO THE EAST LINE OF A TRACT OF LAND AS DESCRIBED IN BOOK 4269 AT PAGE 203 SHAWNEE COUNTY REGISTER OF DEEDS OFFICE; THENCE NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (MEASURED), NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (DESCRIBED) ON THE EAST LINE OF SAID TRACT, A DISTANCE OF 4.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST, (MEASURED), SOUTH 89 DEGREES 50 MINUTES 35 SECONDS WEST, (DESCRIBED), ON THE NORTH LINE OF SAID TRACT, A DISTANCE OF 266.76 FEET, MEASURED AND DESCRIBED) TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 00 MINUTES 41 SECONDS EAST A DISTANCE OF 328.50 FEET; THENCE NORTH 75 DEGREES 57 MINUTES 09 SECONDS EAST A DISTANCE OF 111.46 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 350.00 FEET, A CHORD WHICH BEARS SOUTH 89 DEGREES 19 MINUTES 08 SECONDS EAST A DISTANCE OF 177.97 FEET, AN ARC DISTANCE OF 179.94 FEET; THENCE SOUTH 74 DEGREES 35 MINUTES 25 SECONDS EAST A DISTANCE OF 47.97 FEET; THENCE NORTH 80 DEGREES 29 MINUTES 15 SECONDS EAST A DISTANCE OF 18.51 FEET; THENCE SOUTH 72 DEGREES 07 MINUTES 54 SECONDS EAST A DISTANCE 77.36 FEET; THENCE SOUTH 84 DEGREES 36 MINUTES 04 SECONDS EAST A DISTANCE OF 82.69 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 19 SECONDS EAST A DISTANCE OF 54.50 FEET; THENCE SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST A DISTANCE OF 314.74 FEET TO THE POINT OF BEGINNING;
 AND Lot 1, Block A, Shawnee Community Mental Health Center Subdivision, all in Topeka, Kansas.

C. ESTIMATED OR PROBABLE COST: \$4,492,200.00

This cost estimate has been prepared using the best information available, without benefit of a detailed engineering design. Variances may occur as the design details are developed. These costs should not be considered final.

D. METHOD OF ASSESSMENT:

On a unit basis for all lots and parcels which are included in the improvement district over a ten (10) year payment period. This project consists of 15 Lots and 2 parcels with the following division of the 106 total units:

Lot 1, Block A, Kanza Education and Science Park:	30 Units
Lot 2, Block B, Kanza Education and Science Park:	6 Units
Lot 3, Block B, Kanza Education and Science Park:	6 Units
Lot 4, Block B, Kanza Education and Science Park:	6 Units
Lot 5, Block B, Kanza Education and Science Park:	3 Units
Lot 7, Block B, Kanza Education and Science Park:	4 Units
Lot 8, Block B, Kanza Education and Science Park:	2 Units
Lot 1, Block C, Kanza Education and Science Park:	18 Units
Lot 2, Block C, Kanza Education and Science Park:	6 Units
Lot 1, Block D, Kanza Education and Science Park:	3 Units
Lot 2, Block D, Kanza Education and Science Park:	5 Units
Lot 3, Block D, Kanza Education and Science Park:	4 Units

Lot 7, Block D, Kanza Education and Science Park:	1 Units
Bettis Parcel:	2 Units
Stormont Vail Parcel:	6 Units
Lot 1, Block A, Shawnee Community Mental Health Center Subdivision:	3 Units

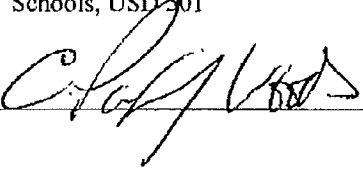
E. APPORTIONMENT OF COSTS:

Costs are to be paid 100 percent by the owners of property within the Improvement District.

F. CERTIFICATION OF SIGNERS OF THE PETITION:

We understand, agree and certify:

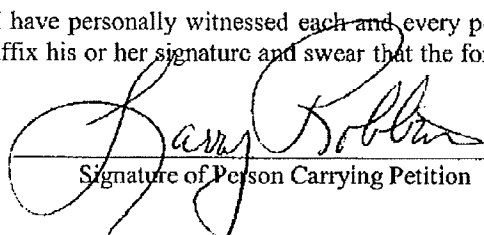
- (i) That we own 100% of the property or properties included in the Improvement District; and
 - (ii) That this Petition is one submitted pursuant to subsection (c) of K.S.A. 12-6a04, and amendments thereto; and
 - (iii) That the proposed Improvement District does not include all properties which may be deemed to benefit from the proposed improvements; and
 - (iv) That we may not withdraw our signature from this Petition after the City Council commences consideration of this Petition or later than seven (7) days after such filing, whichever occurs first; and
 - (v) That we are willing to pay the costs of the proposed improvements; and
 - (vi) That we hereby waive the notice of and the opportunity to appear at a Public Hearing available under K.S.A. 12-6a01. *et seq.*, Further we request that the City Council adopt a Resolution authorizing the above described improvement; and
 - (vii) That the parcels of property contained within the Improvement District may not be altered by replatting or other means until assessments have been levied unless the developer submits a new Petition signed by all property owners with the changes or modifications to the parcels within the Improvement District. Provided, however, no new petition will be required if all owners of the parcel(s) to be altered provide the City Engineer written notice specifying the allocation of the project costs among the new parcels to be created through the replat. Said written notice of the allocation of project costs shall accompany the application for the replat and also shall be filed with the Register of Deeds and shall be a covenant running with the land and binding on the subsequent owners of said parcels; and
 - (viii) That, in addition to the costs for the improvement, we will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management; and
 - (ix) That, if the property is not owned by an individual or individuals, we have disclosed the name of the company, partnership, trust corporation or other entity which owns the property along with our title, position or office, and we have been duly authorized to execute this Petition on behalf of the entity.
-

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Topeka Public Schools, USD 501	C. Patrick Woods, President 	Lot 1, Block A, Lots 2-5, 7 and 8, Block B, Lot 1, Block C, Lots 1-4, Block D, Kanza Education and Science Park	11/15/12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11/16/12
Date

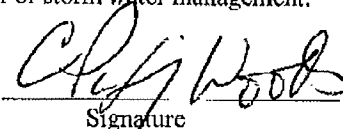

Signature of Person Carrying Petition

CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

- (i) That I have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: X none _____; and
- (ii) That I will notify, in writing, each and every purchaser of parcels of property within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (iii) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

11/15/12
Date


Signature

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Stormont-Vail Healthcare, Inc.	Randall L. Peterson, President	<p>Lot 2, Block C, Lot 7, Block D, Kanza Education and Science Park, and A TRACT OF LAND IN THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE 6TH P.M., IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 26; THENCE ON AN ASSUMED BEARING OF SOUTH 00 DEGREES 00 MINUTES 41 SECONDS WEST ON THE EAST LINE OF SAID SOUTHEAST QUARTER A DISTANCE OF 616.69 FEET; THENCE NORTH 89 DEGREES 59 MINUTES 19 SECONDS WEST A DISTANCE OF 23.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST A DISTANCE OF 294.28 FEET TO THE EAST LINE OF A TRACT OF LAND AS DESCRIBED IN BOOK 4269 AT PAGE 203 SHAWNEE COUNTY REGISTER OF DEEDS OFFICE; THENCE NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (MEASURED), NORTH 00 DEGREES 03 MINUTES 36 SECONDS EAST, (DESCRIBED) ON THE EAST LINE OF SAID TRACT, A DISTANCE OF 4.00 FEET TO THE NORTHEAST CORNER OF SAID TRACT; THENCE SOUTH 89 DEGREES 50 MINUTES 54 SECONDS WEST, (MEASURED), SOUTH 89 DEGREES 50 MINUTES 35 SECONDS WEST, (DESCRIBED), ON THE NORTH LINE OF SAID TRACT, A DISTANCE OF 266.76 FEET, MEASURED AND DESCRIBED) TO THE NORTHWEST CORNER THEREOF; THENCE NORTH 00 DEGREES 00 MINUTES 41 SECONDS EAST A DISTANCE OF 328.50 FEET; THENCE NORTH 75 DEGREES 57 MINUTES 09 SECONDS EAST A DISTANCE OF 111.46 FEET; THENCE ON A CURVE TO THE RIGHT HAVING A RADIUS OF 350.00 FEET, A CHORD WHICH BEARS SOUTH 89 DEGREES 19 MINUTES 08 SECONDS EAST A</p>	

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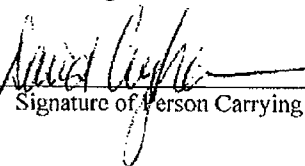
11-12-12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11/12/12

Date



Signature of Person Carrying Petition

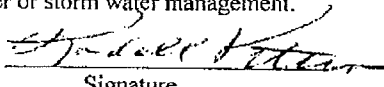
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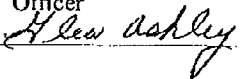
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- (v) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

11-12-12

Date



Signature

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Valeo Behavioral Health Care, Inc.	Glea Ashley, Chief Executive Officer 	Lot 1, Block A, Shawnee Community Mental Health Center Subdivision	11-8-12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11-8-12
Date

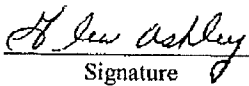

Signature of Person Carrying Petition

CERTIFICATION OF DEVELOPER

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11-8-12
Date


Signature

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Stormont-Vail Healthcare, Inc.	Randall L. Peterson, President	A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 11 SOUTH, RANGE 15 EAST OF THE SIXTH PRINCIPAL MERIDIAN, IN THE CITY OF TOPEKA, SHAWNEE COUNTY, KANSAS, COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; THENCE ON AN ASSUMED NORTH AZIMUTH OF 359 DEGREES 51 MINUTES 46 SECONDS, 51.14 FEET ALONG THE EAST LINE OF SAID NORTHEAST QUARTER; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 77.86 FEET TO THE NORTHEAST CORNER OF KANZA BUSINESS AND TECHNOLOGY PARK SUBDIVISION NO. 3, AS RECORDED IN PLAT BOOK 40, PAGE 91, IN THE PUBLIC RECORDS OF SAID COUNTY, AND THE POINT OF BEGINNING; THENCE ON AZIMUTH 270 DEGREES 01 MINUTES 05 SECONDS, 320.00 FEET ALONG THE NORTH LINE OF SAID SUBDIVISION AND ITS EXTENSION; THENCE ON AZIMUTH 359 DEGREES 51 MINUTES 46 SECONDS, 309.14 FEET; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 46 SECONDS, 41.90 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 462.50 FEET; THENCE EASTERLY, 143.62 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 98 DEGREES 45 MINUTES 32 SECONDS, 143.04 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 537.50 FEET; THENCE EASTERLY, 136.59 FEET ALONG SAID CURVE WITH A CHORD WHICH BEARS ON AZIMUTH 100 DEGREES 22 MINUTES 29 SECONDS, 136.23 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF MACVICAR AVENUE, AS RECORDED IN BOOK 4389, PAGE 172; THENCE ON AZIMUTH 179 DEGREES 58 MINUTES 19 SECONDS, 27.53 FEET ALONG SAID RIGHT OF WAY LINE; THENCE ON AZIMUTH 89 DEGREES 51 MINUTES 51	

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11-27-12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11/27/12
Date



Signature of Person Carrying Petition

CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

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- (ix) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

11-27-12
Date



Signature

GO Bond Cost of Project

PROJECT: T 601030.00

Interest rate	3.50%
Number of Years	10

Cost of Issuance	2.00%
Temp Note interest	1.500%

Principal	\$4,340,290
Plus Temp Note Interest	\$65,104
Plus Cost of Issuance	\$86,806
Total Project Budget	\$4,492,200

Annual Debt Service	\$540,148
Annual Debt Service as Percent of Total	12.0%

Total Debt Service (principal and interest)	\$5,401,483
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Difference Project Cost and Total Debt Service	\$909,283
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GO Bonded Indebtedness as of May 2012	\$161,130,000
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Heartland Park STAR Bonds	\$9,855,000
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College Hill TIF	\$5,605,000
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2011 Temporary Notes that Finance Future GO Bond projects	\$15,230,000
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Approved, not Included in GO Bond Issue or Temporary Notes--City Projects	\$10,566,448
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Approved, not Included in GO Bond Issue or Temporary Notes--Special Assessment Projects	\$4,195,923
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Total Indebtedness	<u>\$206,582,371</u>
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Plus Project	<u>\$211,074,571</u>
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FACT SHEET

Kanza Education and Science Park

Street Improvement Project No. T-601030.00

General Nature of Improvements:

The project will be located near Interstate 70 and MacVicar Avenue in the Kanza Education and Science Park. The project will include removal of existing pavement, sub-grade modifications, new pavement, storm sewers, trench and backfill, grading and other appurtenances needed for a complete project.

City Project Administration: City of Topcka, Jeff Hunt, P.E. (368-3842)

Construction Inspection: Not yet determined

Construction Staking: Not yet determined

Design Engineer: Not yet determined

Cost: Project Budget - \$ 4,492,200.00

Financing:

The cost for this project will be paid by the City through the sale of General Obligation Bonds. The repayment of the bonds will be by the land owners paying the special assessments on the land for 10 years.

CIP Year: N/A

Council District: The project is located in Council District 1.

Project Schedule: Construction: Summer/Fall, 2013 and Spring/Summer 2014

PROJECT BUDGET
Project No. T-601030.00

Kanza Education and Science Park Street Improvements

LOCATION:

Lot 1, Block A, Lots 2-5, 7 and 8, Block B, Lots 1 and 2, Block C, Lots 1-4 and 7, Block D, Kanza Education and Science Park, along with an unplatted parcel at the southwest corner of SW Kanza Drive and SW MacVicar Ave, and Lot 1, Block A, Shawnee Community Mental Health Center Subdivision, Topeka, Kansas.

DESCRIPTION OF PROJECT:

To pave SW Kanza Drive between SW 3rd Street and SW MacVicar Ave., and SW 3rd Street between Oakley Ave. and SW MacVicar Ave., and Tuffy Kellogg Drive between SW 6th Street and SW 3rd Street. To provide streets to the above noted area with asphalt pavement, curb & gutter, storm sewer structures, piping and street lighting, landscaping, engineering and all other contingencies required for a complete project.

SOURCE OF FUNDS:

General Obligation Bonds and any other legally available funds.

This project will be financed through the City of Topeka's Bonding capabilities with repayment of the Bonds received from the Improvement District's payment of the special assessments

	City of Topeka	Improvement District	Total
<u>COST ESTIMATE:</u>			
Construction:	\$0.00	\$3,219,090.00	\$3,219,090.00
Design	\$0.00	\$235,100.00	\$235,100.00
Geotech	\$0.00	\$14,000.00	\$14,000.00
Utility Adjustments	\$0.00	\$0.00	\$0.00
Project Service Fees:			
<i>Construction Admin & Inspection</i>	\$0.00	\$322,000.00	\$322,000.00
<i>Construction Staking</i>	\$0.00	\$161,000.00	\$161,000.00
Administrative Fees:			
<i>Legal Dept. Admin.</i>	\$0.00	\$133,000.00	\$133,000.00
<i>Engineering Admin.</i>	\$0.00	\$99,100.00	\$99,100.00
Right-of Way Acquisition:	\$0.00	\$0.00	\$0.00
Contingency Amount	\$0.00	\$157,000.00	\$157,000.00
Temporary Note Interest	\$0.00	\$65,104.00	\$65,104.00
Cost of Issuance	\$0.00	\$86,806.00	\$86,806.00
Total:	\$0.00	\$4,492,200.00	\$4,492,200.00

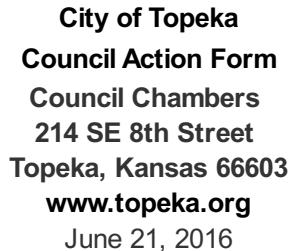
PUBLIC HEARING:

PROJECT AUTHORITY:

a. Statutes: KSA 12-6a01 Petition Project
b. Ord./Res. No.: _____
c. Improvement District: _____
d. City at Large: _____
e. Method of Assessment: Unit Basis

Date: _____

PROJECT ENGINEER: Jeff Hunt



BACKGROUND:

On April 21, 2015, the governing body authorized by Resolution No. 8684, a project for the sanitary sewer improvements, which amended the project budget and rescinded resolution 8486.

BUDGETARY IMPACT:

Special assessments districts are supposed to pay for the improvement costs through the tax rolls; however, in the event that they do not, the City would still make the annual bond payments through property taxes.

The final project cost is \$744,031.88 and will be paid 100% by the improvement district spread over 10 years. The district consists of 67 units (lots) to be assessed at \$11,104.95 per unit. Units per parcel range from 20 to 1.

These costs do not include the interest on bond payments, which will be assessed once the bonds are issued in August.

SOURCE OF FUNDING:

Special assessment payments are the primary source of funding, in the event they are not paid, the debt service fund would pay through ad valorem taxes.

ATTACHMENTS:

Description

Assessment Ordinance

Public Hearing Notice - Metro June 6 2016

Map

Sample Letter to Parcel Owners

Resolution 8684

Project Documents (Petition, Project Budget and Fact Sheet)

(Published in the Topeka Metro News on _____)

ORDINANCE NO. _____

AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying a special assessment on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of the Kanza Education and Science Park for Sanitary Sewer Improvement Project No. T-401039.00, as defined and described in Resolution No. 8684 adopted and approved April 21, 2015.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

Section 1. For the purpose of paying the cost of Improvement Project No. T-401039.00, in the City of Topeka, Shawnee County, Kansas, the Governing Body, pursuant to K.S.A. 12-6a01 *et seq.*, hereby levies and assesses a special assessment on all lots and pieces of ground liable therefore. Said assessments are computed as follows:

A. GENERAL NATURE OF IMPROVEMENT:

To provide sanitary sewer service to the improvement district with piping, manholes, engineering and all other contingencies required for a complete project.

B. IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block B, Lots 2-5, 7 and 8

Block C, Lot 1

Block D, Lots 4, 6 and 7

Kanza Education and Science Park No. 2

Block A, Lot 1

C. METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels included in the Improvement District. This project consists of 67 units.

D. TOTAL COST & APPORTIONMENT OF COSTS:

FINAL PROJECT COST = \$744,031.88

100 % by the owners of property within the Improvement District.

Section 2. The several amounts are apportioned, levied and assessed against each of said lots and pieces of ground according to the benefits to be derived by reason of the aforesaid improvements, as follows:

IMPROVEMENT PROJECT NO. T-401039.00

<u>Legal Description</u>	<u>Assessment</u>		
<i>Subdivision</i>	<i>Block</i>	<i>Lot</i>	<i>Cost</i>
KANZA EDUCATION AND SCIENCE PARK	B	2	\$77,734.67
KANZA EDUCATION AND SCIENCE PARK	B	3	\$77,734.67
KANZA EDUCATION AND SCIENCE PARK	B	4	\$77,734.67
KANZA EDUCATION AND SCIENCE PARK	B	5	\$44,419.81
KANZA EDUCATION AND SCIENCE PARK	B	7	\$55,524.77
KANZA EDUCATION AND SCIENCE PARK	B	8	\$22,209.91
KANZA EDUCATION AND SCIENCE PARK	C	1	\$222,099.07
KANZA EDUCATION AND SCIENCE PARK	D	4	\$22,209.91
KANZA EDUCATION AND SCIENCE PARK	D	6	\$33,314.86
KANZA EDUCATION AND SCIENCE PARK	D	7	\$11,104.95
KANZA EDUCATION & SCIENCE PARK NO 2	A	1	\$99,944.58

Section 3. Such assessments with accrued interest are hereby levied concurrent with general property taxes and shall be payable in ten (10) equal annual installments; the first installment to be payable at the time of the first payment of the general property taxes, following the publication of this ordinance.

Section 4. All assessments shall bear interest in an amount not to exceed the legal rate established by law.

Section 5. The owner of any property so assessed may at any time prior to 30 days from the date of publication of this ordinance, pay the whole of the assessment against any lot or parcel with interest accrued to the date of payment, to the City Treasurer.

Section 6. Assessments not paid prior to the date provided in Section 5 hereof, shall be certified, together with interest accrued, or to accrue, by the City Clerk to the County Clerk, and collected in the same manner as other taxes.

62 Section 7. This ordinance shall take effect and be in force from and after its
63 passage, approval and publication in the official city newspaper.

64 PASSED and APPROVED by the Governing Body _____.

65

66

CITY OF TOPEKA, KANSAS

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Larry E. Wolgast, Mayor

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73 ATTEST:

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78 _____
Brenda Younger, City Clerk

(Published in The Topeka Metro News June 6, 2016)

NOTICE OF PUBLIC HEARING

KANZA EDUCATION AND SCIENCE PARK SANITARY SEWER IMPROVEMENT PROJECT NO. T-401039.00

Notice is hereby given that there will be a special meeting of the City Council of the City of Topeka, Shawnee County, Kansas, held on **June 21, 2016, at 6:00 P.M.**, in the Council Chamber 214 E. 8th, for the purpose of hearing any and all complaints that may be made as to the validity and fairness of the assessments on file in the office of the Clerk, on all lots, parcels and pieces of ground liable for the cost of improvement, same being **Kanza Education and Science Park Sanitary Sewer Improvement Project No. T-401039.00, authorized by Resolution of Advisability and Authorization No 8684, adopted and approved April 21, 2015, rescinding Resolution of Advisability and Authorization No. 8486.**

GENERAL NATURE OF IMPROVEMENT:

To provide sanitary sewer service to the following described area with piping, manholes, engineering and all other contingencies required for a complete project.

IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block B, Lots 2 through 5, 7 and 8

Block C, Lot 1

Block D, Lots 4, 6 and 7

Kanza Education and Science Park No. 2

Block A, Lot 1

METHOD OF ASSESSMENT:

On a unit basis for all lots and parcels which are included in the Improvement District.

Kanza Education and Science Park

Block B, Lot 2 (7 Units)

Block B, Lot 3, (7 Units)

Block B, Lot 4 (7 Units)

Block B, Lot 5 (4 Units)

Block B, Lot 7 (5 Units)

Block B, Lot 8 (2 Units)

Block C, Lot 1 (20 Units)

Block D, Lot 4 (2 Units)

Block D, Lot 6 (3 Units)

Block D, Lot 7 (1 Unit)

Kanza Education and Science Park No. 2

Block A, Lot 1 (9 Units)

TOTAL COST & APPORTIONMENT OF COSTS:

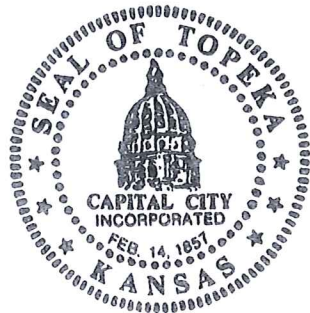
Total Cost = \$744,031.88

67 Units in Improvement District

100% paid by the Improvement District over a 10 year period.

All of above described territory being situated in the City of Topeka, Shawnee County, Kansas.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City for Topeka to be affixed on June 6, 2016.

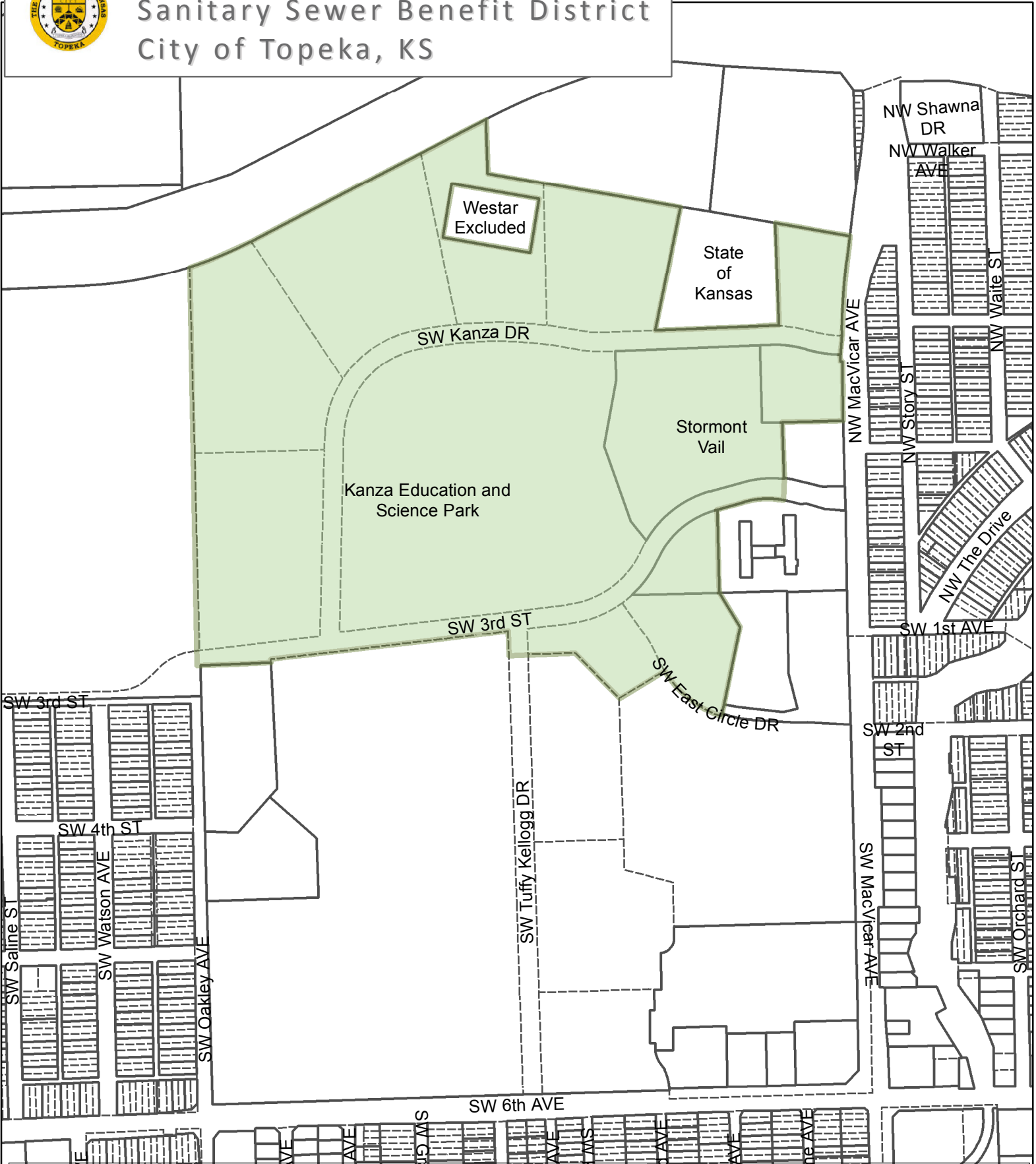


Brenda Younger

Brenda Younger
City Clerk



Kanza Education & Science Park
Sanitary Sewer Benefit District
City of Topeka, KS

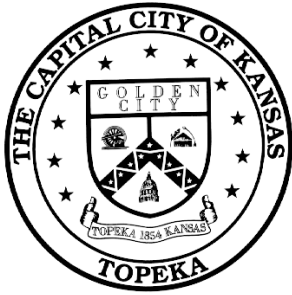


- Legend**
- Sanitary Sewer Benefit District Boundary
 - Parcels
 - Lot

0 170 340 680 1,020 1,360 Feet

While the City of Topeka, KS makes every effort to maintain and distribute accurate information, NO WARRANTIES AND/OR REPRESENTATIONS OF ANY KIND are made regarding information, data, or services provided. In no event shall the City of Topeka, Kansas be liable in any way to the users of this data. Users of the data shall hold the City of Topeka, Kansas harmless in all matters and accounts arising from the use and/or accuracy of this datamap.
City of Topeka, Kansas :: Public Works :: Technical Support Group
5/16/2016 AR Reynolds





CITY OF TOPEKA

CITY CLERK
City Hall, 215 SE 7th St., Room 166
Topeka, KS 66603-3914
(785) 368-3940

Brenda Younger, C.M.C.
E-mail: byounger@topeka.org
Fax: (785) 368-3943
www.topeka.org

PUBLIC HEARING NOTICE

“Date”

“Property Owner”

“Mailing Address”

“City” “State” “Zip”

You are hereby notified, as owner of Parcel ID No. _____ in the City of Topeka, Kansas, that the cost proposed to be assessed against such property for Kanza Education and Science Park Sanitary Sewer Improvement Project No. T-401039.00 is \$_____ authorized by City of Topeka Resolution No. 8684 dated April 21, 2015, rescinding Resolution of Advisability of Authorization No. 8486.

The attached map shows the parcels impacted in the district. Your parcel consists of _____ units.

The Governing Body of the City of Topeka, Kansas, will meet and hold a public hearing at 6:00 p.m. on the 21st day of June 2016, in the City Council Chambers located at 214 SE 8th Street, Topeka, Kansas, for the purpose of considering the proposed assessments.

Written and oral objections will be considered at the meeting. Following the hearing, the City Council shall by ordinance levy the same as a special assessment against the parcels described in the assessment rolls. A Special Assessment Notice will be sent following adoption of the ordinance.

If you would like to comment on the matter please contact the City Clerk’s office at cclerk@topeka.org or 785-368-3940 or 785-368-3941 by 5:00 p.m. on the date of the hearing - June 7, 2016.

Thank you,
Brenda Younger, C.M.C.
City Clerk

(Published in the Topeka Metro News April 27, 2015)

SHAWNEE COUNTY, KANSAS
REGISTER OF DEEDS
REBECCA J. NIOCE
DATE RECORDED:
04/28/2015 12:06:35 PM
DEBT: 0.00

RESOLUTION OF ADVISABILITY AND AUTHORIZATION NO. 8684

A RESOLUTION introduced by City Manager Jim Colson, amending the project budget and adopting as amended Sanitary Sewer Improvement Project No. T-401039.00 which provides for sanitary sewer service to the Kanza Education and Science Park, and rescinding City of Topeka Resolution of Advisability and Authorization No. 8486.

WHEREAS, on January 22, 2013, the Governing Body adopted and approved Resolution of Advisability and Authorization No. 8486 authorizing Improvement Project No. T-401039.00 with an estimated probable cost of \$696,800.00; and

WHEREAS, the cost of the project has increased to \$779,500.00; and

WHEREAS, the City Clerk has received a revised petition, pursuant to K.S.A. 12-6a01, *et seq.*, as amended, containing the signatures of the owners of one hundred percent (100%) of the area in the improvement district; and

WHEREAS, seven (7) days have elapsed since the filing of said petition.

NOW, THEREFORE, BE IT RESOLVED by the Governing Body of the City of Topeka, Kansas, that it finds the following described public improvement to be necessary and in the public interest and does hereby authorize, pursuant to K.S.A. 12-6a01, *et seq.*, as amended, Sanitary Sewer Improvement Project No. T-401039.00 with an amended project budget as hereinafter described:

A. GENERAL NATURE OF IMPROVEMENT:

To provide sanitary sewer service to the following improvement district with piping, manholes, engineering and all other contingencies required for a complete project.

B. PROPOSED IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block B, Lots 2-5, 7 and 8

Block C, Lot 1

Block D, Lots 4, 6 and 7

Kanza Education and Science Park No. 2

Block A, Lot 1

C. ESTIMATED OR PROBABLE COST:

\$779,500.00

D. PROPOSED METHOD OF ASSESSMENT:

On a unit basis for all lots and parcels which are included in the Improvement District. (67 total units)

Kanza Education and Science Park

Block B, Lot 2 (7 Units)

Block B, Lot 3, (7 Units)

Block B, Lot 4 (7 Units)

Block B, Lot 5 (4 Units)

Block B, Lot 7 (5 Units)

Block B, Lot 8 (2 Units)

Block C, Lot 1 (20 Units)

Block D, Lot 4 (2 Units)

Block D, Lot 6 (3 Units)

Block D, Lot 7 (1 Unit)

Kanza Education and Science Park No. 2

Block A, Lot 1 (9 Units)

E. APPORTIONMENT OF COSTS:

100% by the Improvement District

Upon completion of the project described herein, the City Clerk is hereby directed to provide all publication and mailed notices in accordance with the provisions of K.S.A. 12-6a01, *et seq.*, as amended.

73 BE IT RESOLVED that City of Topeka Resolution No. 8486 is hereby rescinded.
74 THIS RESOLUTION shall become effective upon one publication in the official city
75 newspaper.

76 ADOPTED and APPROVED by the Governing Body April 21, 2015.



CITY OF TOPEKA, KANSAS

Larry S. Wolgast
Larry Wolgast, Mayor

82 ATTEST:

83 *Brenda Younger*
84 Brenda Younger, City Clerk
85

IMPROVEMENT PROJECT

REVISED PETITION

THE MAYOR AND COUNCILMEMBERS
City of Topeka

We, the undersigned owners of record of real estate located within the Improvement District legally described herein, do hereby respectfully petition for the following improvements, in accordance with the conditions herein contained, and as provided by K.S.A. 12-6a01, *et seq.*, as amended.

LATERAL SANITARY SEWER DISTRICT

PROJECT NO. T-401039.00

A. GENERAL NATURE OF IMPROVEMENT:

To provide sanitary sewer service to the following described area with piping, manholes, engineering and all other contingencies required for a complete project. This petition is being revised to reflect the cost differential from the required change in construction method for Line D from Manhole E-7 to Sta. 56+60 from slip lining to pipe bursting to reflect field conditions.

B. PROPOSED IMPROVEMENT DISTRICT:

Lots 2-5, 7 and 8, Block B; Lot 1, Block C; Lots 4, 6 and 7, Block D, all in Kanza Education and Science Park

AND Lot 1, Block A, Kanza Education and Science Park No. 2, all in Topeka, Kansas.

C. REVISED ESTIMATED OR PROBABLE COST: \$779,500.00

This cost estimate has been prepared using the best information available, without benefit of a detailed engineering design. Variances may occur as the design details are developed. These costs should not be considered final.

D. METHOD OF ASSESSMENT:

On a unit basis for all lots and parcels which are included in the improvement district over a ten (10) year payment period. This project consists of 11 Lots and 1 parcel with the following division of the 67 total units:

Lot 2, Block B, Kanza Education and Science Park:	7 Units
Lot 3, Block B, Kanza Education and Science Park:	7 Units
Lot 4, Block B, Kanza Education and Science Park:	7 Units
Lot 5, Block B, Kanza Education and Science Park:	4 Units
Lot 7, Block B, Kanza Education and Science Park:	5 Units
Lot 8, Block B, Kanza Education and Science Park:	2 Units
Lot 1, Block C, Kanza Education and Science Park:	20 Units
Lot 4, Block D, Kanza Education and Science Park:	2 Units
Lot 6, Block D, Kanza Education and Science Park:	3 Units
Lot 7, Block D, Kanza Education and Science Park:	1 Units
Lot 1, Block A, Kanza Education and Science Park No. 2	9 Units

E. APPORTIONMENT OF COSTS:

Costs are to be paid 100 percent by the owners of property within the Improvement District.

F. CERTIFICATION OF SIGNERS OF THE PETITION:

We understand, agree and certify:

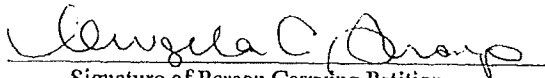
- (i) That we own 100% of the property or properties included in the Improvement District; and
- (ii) That this Petition is one submitted pursuant to subsection (c) of K.S.A. 12-6a04, and amendments thereto; and
- (iii) That the proposed Improvement District does not include all properties which may be deemed to benefit from the proposed improvements; and
- (iv) That we may not withdraw our signature from this Petition after the City Council commences consideration of this Petition or later than seven (7) days after such filing, whichever occurs first; and
- (v) That we are willing to pay the costs of the proposed improvements; and
- (vi) That we hereby waive the notice of and the opportunity to appear at a Public Hearing available under K.S.A. 12-6a01. *et seq.*, Further we request that the City Council adopt a Resolution authorizing the above described improvement; and
- (vii) That the parcels of property contained within the Improvement District may not be altered by replatting or other means until assessments have been levied unless the developer submits a new Petition signed by all property owners with the changes or modifications to the parcels within the Improvement District. Provided, however, no new petition will be required if all owners of the parcel(s) to be altered provide the City Engineer written notice specifying the allocation of the project costs among the new parcels to be created through the replat. Said written notice of the allocation of project costs shall accompany the application for the replat and also shall be filed with the Register of Deeds and shall be a covenant running with the land and binding on the subsequent owners of said parcels; and
- (viii) That, in addition to the costs for the improvement, we will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management; and
- (ix) That, if the property is not owned by an individual or individuals, we have disclosed the name of the company, partnership, trust corporation or other entity which owns the property along with our title, position or office, and we have been duly authorized to execute this Petition on behalf of the entity.

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Topeka Public Schools, USD 501	Janel Johnson, President	Lots 2-5, 7 and 8, Block B; Lot 1, Block C; Lots 4 and 6, Block D; Kanza Education and Science Park	

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

3.5.15
Date

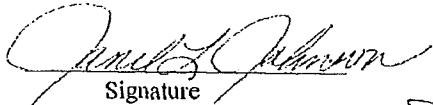

Signature of Person Carrying Petition

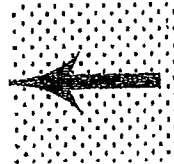
CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

- (i) That I have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: X none _____; and
- (ii) That I will notify, in writing, each and every purchaser of parcels of property within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (iii) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

3/5/2015
Date


Signature
Janel L. Johnson, President

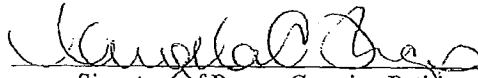


<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Stormont-Vail Healthcare, Inc.	Randall L. Peterson, President	Lot 7, Block D, Kanza Education and Science Park and Lot 1, Block A, Kanza Education and Science Park No. 2	

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

3-10-15
Date



Signature of Person Carrying Petition

CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

- (i) That I have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: X none _____; and
- (iv) That I will notify, in writing, each and every purchaser of parcels of property within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (v) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

3-10-15
Date


Signature

REVISED PROJECT BUDGET

Project No. T-401039.00

Kanza Education and Science Park Sanitary Sewer Main Extension

LOCATION:

Lots 2-5, 7 and 8, Block B; Lots 1, Block C; Lots 4, 6 and 7, Block D, all in Kanza Education and Science Park, Topeka, Kansas, and Lot 1, Block A, Kanza Education and Science Park No. 2, all in Topeka, Kansas.

DESCRIPTION OF PROJECT:

To construct sanitary sewer to serve the lots within Kanza Education and Science Park and parcel referenced above. To provide manholes, piping, engineering and all other contingencies required for a complete project.

SOURCE OF FUNDS:

General Obligation Bonds and any other legally available funds.

This project will be financed through the City of Topeka's Bonding capabilities with repayment of the Bonds received from the Improvement District's payment of the special assessments

	City of Topeka	Improvement District	Total
<u>COST ESTIMATE:</u>			
Construction:	\$0.00	\$550,000.00	\$550,000.00
Design	\$0.00	\$41,700.00	\$41,700.00
Geotech	\$0.00	\$8,000.00	\$8,000.00
Utility Adjustments	\$0.00	\$0.00	\$0.00
Project Service Fees:			\$0.00
<i>Construction Admin & Inspection</i>	\$0.00	\$49,000.00	\$49,000.00
<i>Construction Staking</i>	\$0.00	\$24,500.00	\$24,500.00
Administrative Fees:			\$0.00
<i>Legal Dept. Admin.</i>	\$0.00	\$21,000.00	\$21,000.00
<i>Engineering Admin.</i>	\$0.00	\$16,500.00	\$16,500.00
Right-of Way Acquisition:	\$0.00	\$0.00	\$0.00
Contingency Amount	\$0.00	\$39,638.00	\$39,638.00
Temporary Note Interest	\$0.00	\$14,099.00	\$14,099.00
Cost of Issuance	\$0.00	\$15,063.00	\$15,063.00
Total:	\$0.00	\$779,500.00	\$779,500.00

PUBLIC HEARING:

PROJECT AUTHORITY:

a. Statutes: KSA 12-6a01 Petition Project
b. Ord./Res. No.: _____
c. Improvement District: _____
d. City at Large: _____
e. Method of Assessment: Unit Basis

Date: _____

PROJECT ENGINEER:

Jeff Hunt
U:\Council Scanned Items\T-401039.00 Revised Project Budget

GO Bond Cost of Project

PROJECT: T 401039.00

Interest rate	3.50%
Number of Years	10
Cost of Issuance	2.00%
Temp Note interest	1.500%
Principal	\$753,140
Plus Temp Note Interest	\$11,297
Plus Cost of Issuance	\$15,063
Total Project Budget	\$779,500
Annual Debt Service	\$93,728
Annual Debt Service as Percent of Total	12.0%
Total Debt Service (principal and interest)	\$937,281
Difference Project Cost and Total Debt Service	\$157,781
GO Bonded Indebtedness as of May 2012	\$161,130,000
Heartland Park STAR Bonds	\$9,855,000
College Hill TIF	\$5,605,000
2011 Temporary Notes that Finance Future GO Bond projects	\$15,230,000
Approved, not Included in GO Bond Issue or Temporary Notes--City Projects	\$10,566,448
Approved, not Included in GO Bond Issue or Temporary Notes--Special Assessment Projects	\$4,195,923
Total Indebtedness	<u>\$206,582,371</u>
Plus Project	<u>\$207,361,871</u>

FACT SHEET

Kanza Education and Science Park

Sanitary Sewer Extension Project No. T 401039-00

General Nature of Improvements:

The project will be located near Interstate 70 and MacVicar Avenue on the Kanza Education and Science Park. The project will include new gravity sewer lines, manholes, rock excavation, trench and backfill, grading and other appurtenances needed for a complete project.

City Project Administration: City of Topeka, Jeff Hunt, P.E. (368-3842)

Construction Inspection: Bartlett and West

Construction Staking: Bartlett and West

Design Engineer: Bartlett and West

Cost: Project Budget - \$ 779,500.00

Financing:

The cost for this project will be paid by the City through the sale of General Obligation Bonds. The repayment of the bonds will be by the land owners paying the special assessments on the land for 10 years.

CIP Year: N/A

Council District: The project is located in Council District 1.

Project Schedule: Construction: Summer/Fall, 2014/2015

On January 22, 2013, the governing body authorized by Resolution No. 8485, a project for the water line improvements.

BUDGETARY IMPACT:

Special assessments districts are supposed to pay for the improvement costs through the tax rolls; however, in the event that they do not, the City would still make the annual bond payments through property taxes.

The final project cost is \$490,290.28 and will be paid 100% by the improvement district spread over 10 years. The district consists of 97 units (lots) to be assessed at \$5,054.54 per unit. Units per parcel range from 31 to 2.

These costs do not include the interest on bond payments, which will be assessed once the bonds are issued in August.

SOURCE OF FUNDING:

Special assessment payments are the primary source of funding, in the event they are not paid, the debt service fund would pay through ad valorem taxes.

ATTACHMENTS:

Description

Map

Assessment Ordinance

Public Hearing Notice - Metro June 6 2016

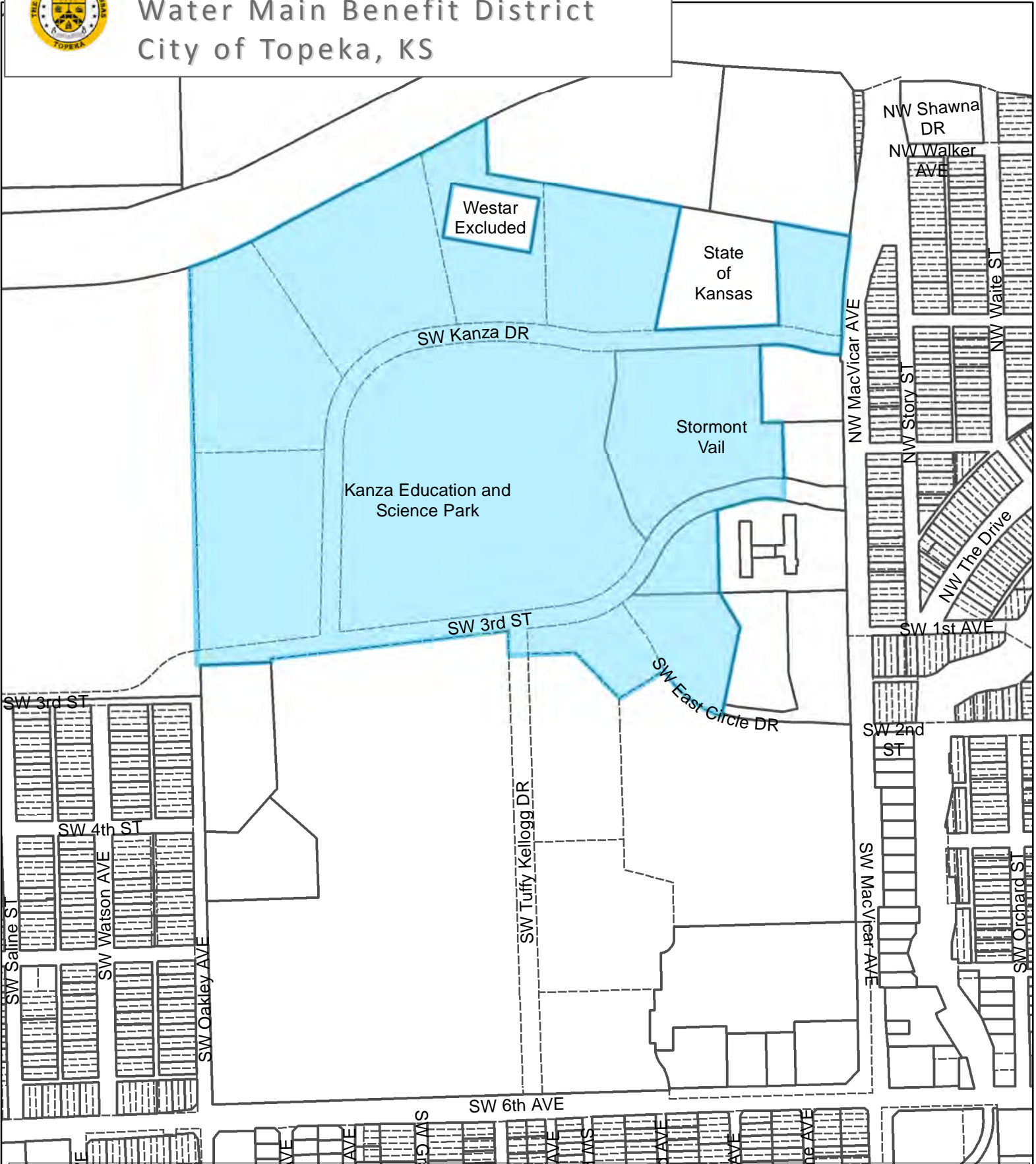
Sample Letter to Parcel Owners

Resolution 8485

Project Documents (Petition, Project Budget and Fact Sheet)



Kanza Education & Science Park
Water Main Benefit District
City of Topeka, KS



Legend

- Water Main Benefit District Boundary
- Parcels
- Lot

0 170 340 680 1,020 1,360 Feet

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City of Topeka, Kansas :: Public Works :: Technical Support Group
5/16/2016 AR Reynolds



(Published in the Topeka Metro News on _____)

ORDINANCE NO. _____

AN ORDINANCE introduced by City Manager Jim Colson, apportioning and levying a special assessment on certain lots and pieces of ground in the City of Topeka, Shawnee County, Kansas, in the area of the Kanza Education and Science Park for Water Improvement Project No. T-281062.00, as defined and described in Resolution No. 8485 adopted and approved January 22, 2013.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

Section 1. For the purpose of paying the cost of Improvement Project No. T-281062.00, in the City of Topeka, Shawnee County, Kansas, the Governing Body, pursuant to K.S.A. 12-6a01 *et seq.*, hereby levies and assesses a special assessment on all lots and pieces of ground liable therefore. Said assessments are computed as follows:

A. GENERAL NATURE OF IMPROVEMENT:

To provide water service to the improvement district with piping, valves, hydrants, engineering and all other contingencies required for a complete project.

B. IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block B, Lot 2, (10 Units)

Block B, Lot 3 (10 Units)

Block B, Lot 4 (11 Units)

Block B, Lot 5 (6 Units)

Block B, Lot 7 (7 Units)

Block B, Lot 8 (3 Units)

Block C, Lot 1 (31 Units)

Block C, Lot 2 (11 Units)

Block D, Lot 4 (2 Units)

Block D, Lot 6 (4 Units)

Block D, Lot 7 (2 Units)

C. METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels included in the Improvement District. This project consists of 97 units.

D. TOTAL COST & APPORTIONMENT OF COSTS:

FINAL PROJECT COST = \$490,290.28
100 % by the owners of property within the Improvement District.

Section 2. The several amounts are apportioned, levied and assessed against each of said lots and pieces of ground according to the benefits to be derived by reason of the aforesaid improvements as follows:

IMPROVEMENT PROJECT NO. T-281062.00

<u>Legal Description</u>	<u>Assessment</u>
--------------------------	-------------------

<i>Subdivision</i>	<i>Block</i>	<i>Lot</i>	<i>Cost</i>
KANZA EDUCATION AND SCIENCE PARK	B	2	\$50,545.39
KANZA EDUCATION AND SCIENCE PARK	B	3	\$50,545.39
KANZA EDUCATION AND SCIENCE PARK	B	4	\$55,599.93
KANZA EDUCATION AND SCIENCE PARK	B	5	\$30,327.23
KANZA EDUCATION AND SCIENCE PARK	B	7	\$35,381.77
KANZA EDUCATION AND SCIENCE PARK	B	8	\$15,163.62
KANZA EDUCATION AND SCIENCE PARK	C	1	\$156,690.71
KANZA EDUCATION AND SCIENCE PARK	C	2	\$55,599.93
KANZA EDUCATION AND SCIENCE PARK	D	4	\$10,109.08
KANZA EDUCATION AND SCIENCE PARK	D	6	\$20,218.16
KANZA EDUCATION AND SCIENCE PARK	D	7	\$10,109.08

Section 3. Such assessments with accrued interest are hereby levied concurrent with general property taxes and shall be payable in ten (10) equal annual installments; the first installment to be payable at the time of the first payment of the general property taxes, following the publication of this ordinance.

Section 4. All assessments shall bear interest in an amount not to exceed the legal rate established by law.

Section 5. The owner of any property so assessed may at any time prior to 30 days from the date of publication of this ordinance, pay the whole of the assessment against any lot or parcel with interest accrued to the date of payment, to the City Treasurer.

Section 6. Assessments not paid prior to the date provided in Section 5 hereof, shall be certified, together with interest accrued, or to accrue, by the City Clerk to the County Clerk, and collected in the same manner as other taxes.

Section 7. This ordinance shall take effect and be in force from and after its passage, approval and publication in the official city newspaper.

PASSED and APPROVED by the Governing Body_____.

CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk

(Published in The Topeka Metro News June 6, 2016)

NOTICE OF PUBLIC HEARING

KANZA EDUCATION AND SCIENCE PARK WATER MAIN IMPROVEMENT PROJECT NO. T-281062.00

Notice is hereby given that there will be a special meeting of the City Council of the City of Topeka, Shawnee County, Kansas, held on **June 21, 2016, at 6:00 P.M.**, in the Council Chamber 214 E. 8th, for the purpose of hearing any and all complaints that may be made as to the validity and fairness of the assessments on file in the office of the Clerk, on all lots, parcels and pieces of ground liable for the cost of improvement, same being **Kanza Education and Science Park Water Main Improvement Project No. T-281062.00, authorized by Resolution of Advisability and Authorization No 8485, adopted and approved January 22, 2013.**

GENERAL NATURE OF IMPROVEMENT:

To provide water service to the improvement district with piping, valves, hydrants, engineering and all other contingencies required for a complete project.

IMPROVEMENT DISTRICT:

Kanza Education and Science Park

Block B, Lots 2 through 5

Block B, Lots 7 and 8

Block C, Lots 1 and 2

Block D, Lots 4, 6 and 7

METHOD OF ASSESSMENT:

On a unit basis for all lots or parcels included in the Improvement District.

Kanza Education and Science Park

Block B, Lot 2, (10 Units)

Block B, Lot 3 (10 Units)

Block B, Lot 4 (11 Units)

Block B, Lot 5 (6 Units)

Block B, Lot 7 (7 Units)

Block B, Lot 8 (3 Units)

Block C, Lot 1 (31 Units)

Block C, Lot 2 (11 Units)

Block D, Lot 4 (2 Units)

Block D, Lot 6 (4 Units)

Block D, Lot 7 (2 Units)

TOTAL COST & APPORTIONMENT OF COSTS:

Total Cost = \$490,290.28

97 Units in Improvement District

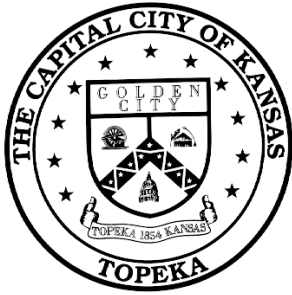
100% paid by the Improvement District over a 10 year period.

All of above described territory being situated in the City of Topeka, Shawnee County, Kansas.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City for Topeka to be affixed on June 6, 2016.



Brenda Younger
Brenda Younger
City Clerk



CITY OF TOPEKA

CITY CLERK
City Hall, 215 SE 7th St., Room 166
Topeka, KS 66603-3914
(785) 368-3940

Brenda Younger, C.M.C.
E-mail: byounger@topeka.org
Fax: (785) 368-3943
www.topeka.org

PUBLIC HEARING NOTICE

“Date”

“Property Owner”

“Mailing Address”

“City” “State” “Zip”

You are hereby notified, as owner of Parcel ID No. _____ in the City of Topeka, Kansas, that the cost proposed to be assessed against such property for Kanza Education and Science Park Water Main Improvement Project No. T-281062.00 authorized by City of Topeka Resolution No. 8485 dated January 22, 2013, is \$_____.

The attached map shows the parcels impacted in the district. Your parcel consists of _____ units.

The Governing Body of the City of Topeka, Kansas, will meet and hold a public hearing at 6:00 p.m. on the 21st day of June 2016, in the City Council Chambers located at 214 SE 8th Street, Topeka, Kansas, for the purpose of considering the proposed assessments.

Written and oral objections will be considered at the meeting. Following the hearing, the City Council shall by ordinance levy the same as a special assessment against the parcels described in the assessment rolls. A Special Assessment Notice will be sent following adoption of the ordinance.

If you would like to comment on the matter please contact the City Clerk’s office at cclerk@topeka.org or 785-368-3940 or 785-368-3941 by 5:00 p.m. on the date of the hearing - June 7, 2016.

Thank you,
Brenda Younger, C.M.C.
City Clerk



(Published in the Topeka Metro News January 28, 2013)

RESOLUTION OF ADVISABILITY AND AUTHORIZATION NO. 8485

A RESOLUTION introduced by Jim Colson, City Manager, authorizing Water Main Improvement Project No. T-281062.00 which provides for water service installation to Kanza Education and Science Park as more specifically described herein.

WHEREAS, the City Clerk has received a petition, pursuant to K.S.A. 12-6a01, et seq., as amended, containing the signatures of the owners of 100% of the area in the improvement district hereinafter described; and

WHEREAS, seven (7) days have elapsed since the filing of said petition.

NOW, THEREFORE, BE IT RESOLVED by the Governing Body of the City of Topeka, Kansas, that it finds Water Main Improvement Project No. T-281062.00, hereinafter described, to be advisable and does hereby authorize and order said improvement to be made in accordance with its findings as follows:

A. GENERAL NATURE OF IMPROVEMENT:

To provide water service to the improvement district with piping, valves, hydrants, engineering and all other contingencies required for a complete project.

B. PROPOSED IMPROVEMENT DISTRICT:

Kanza Education and Science Park
Block B, Lots 2 through 5
Block B, Lots 7 and 8
Block C, Lots 1 and 2
Block D, Lots 4, 6 and 7

C. ESTIMATED OR PROBABLE COST:

\$497,600.00

2013R03611

SHAWNEE COUNTY, KANSAS
REGISTER OF DEEDS
MARILYN L. NICHOLS
DATE RECORDED:
02/19/2013 3:56:48 PM
DEBT: 0.00

38 D. PROPOSED METHOD OF ASSESSMENT:

39
40 On a unit basis for all lots or parcels included in the Improvement District.
41 (97 total units)

42
43 *Kanza Education and Science Park*

44 Block B, Lot 2, (10 Units)

45 Block B, Lot 3 (10 Units)

46 Block B, Lot 4 (11 Units)

47 Block B, Lot 5 (6 Units)

48 Block B, Lot 7 (7 Units)

49 Block B, Lot 8 (3 Units)

50 Block C, Lot 1 (31 Units)

51 Block C, Lot 2 (11 Units)

52 Block D, Lot 4 (2 Units)

53 Block D, Lot 6 (4 Units)

54 Block D, Lot 7 (2 Units)

55
56 E. APPORTIONMENT OF COSTS:

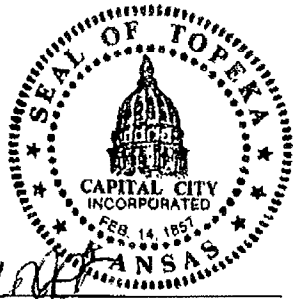
57
58 Costs are to be paid 100% by owners of property within the Improvement
59 District over a ten (10) year period.

60
61 Upon completion of the project described herein, the City Clerk is hereby directed to
62 provide all publication and mailed notices in accordance with the provisions of K.S.A. 12-
63 6a01, *et seq.*, as amended.

64 THIS RESOLUTION shall become effective upon one publication in the official city
65 newspaper.

66 ADOPTED and APPROVED by the Governing Body on January 22, 2013.

67 CITY OF TOPEKA, KANSAS



ATTEST:

Brenda Younger
Brenda Younger, City Clerk

William W. Bunten
William W. Bunten, Mayor

IMPROVEMENT PROJECT

PETITION

THE MAYOR AND COUNCIL MEMBERS
City of Topeka

We, the undersigned owners of record of real estate located within the Improvement District legally described herein, do hereby respectfully petition for the following improvements, in accordance with the conditions herein contained, and as provided by K.S.A. 12-6a01, *et seq.*, as amended.

WATER MAIN IMPROVEMENT DISTRICT

PROJECT NO. T-281062.00

A. GENERAL NATURE OF IMPROVEMENT:

To provide water service to the following described area with piping, valves, hydrants, engineering and all other contingencies required for a complete project.

B. PROPOSED IMPROVEMENT DISTRICT:

Lots 2-5, 7 and 8, Block B; Lots 1 and 2, Block C; Lots 4, 6 and 7, Block D, all in Kanza Education and Science Park, Topeka, Kansas.

C. ESTIMATED OR PROBABLE COST: \$497,600.00

This cost estimate has been prepared using the best information available, without benefit of a detailed engineering design. Variances may occur as the design details are developed. These costs should not be considered final.

D. METHOD OF ASSESSMENT:

On a unit basis for all lots and parcels which are included in the improvement district over a ten (10) year payment period. This project consists of 11 Lots with the following division of the 97 total units:

Lot 2, Block B, Kanza Education and Science Park:	10 Units
Lot 3, Block B, Kanza Education and Science Park:	10 Units
Lot 4, Block B, Kanza Education and Science Park:	11 Units
Lot 5, Block B, Kanza Education and Science Park:	6 Units
Lot 7, Block B, Kanza Education and Science Park:	7 Units
Lot 8, Block B, Kanza Education and Science Park:	3 Units
Lot 1, Block C, Kanza Education and Science Park:	31 Units
Lot 2, Block C, Kanza Education and Science Park:	11 Units
Lot 4, Block D, Kanza Education and Science Park:	2 Units
Lot 6, Block D, Kanza Education and Science Park:	4 Units
Lot 7, Block D, Kanza Education and Science Park:	2 Units

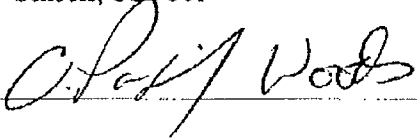
E. APPORTIONMENT OF COSTS:

Costs are to be paid 100 percent by the owners of property within the Improvement District.

F. CERTIFICATION OF SIGNERS OF THE PETITION:

We understand, agree and certify:

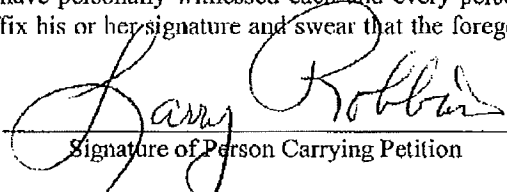
- (i) That we own 100% of the property or properties included in the Improvement District; and
- (ii) That this Petition is one submitted pursuant to subsection (c) of K.S.A. 12-6a04, and amendments thereto; and
- (iii) That the proposed Improvement District does not include all properties which may be deemed to benefit from the proposed improvements; and
- (iv) That we may not withdraw our signature from this Petition after the City Council commences consideration of this Petition or later than seven (7) days after such filing, whichever occurs first; and
- (v) That we are willing to pay the costs of the proposed improvements; and
- (vi) That we hereby waive the notice of and the opportunity to appear at a Public Hearing available under K.S.A. 12-6a01. *et seq.*, Further we request that the City Council adopt a Resolution authorizing the above described improvement; and
- (vii) That the parcels of property contained within the Improvement District may not be altered by replatting or other means until assessments have been levied unless the developer submits a new Petition signed by all property owners with the changes or modifications to the parcels within the Improvement District. Provided, however, no new petition will be required if all owners of the parcel(s) to be altered provide the City Engineer written notice specifying the allocation of the project costs among the new parcels to be created through the replat. Said written notice of the allocation of project costs shall accompany the application for the replat and also shall be filed with the Register of Deeds and shall be a covenant running with the land and binding on the subsequent owners of said parcels; and
- (viii) That, in addition to the costs for the improvement, we will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management; and
- (ix) That, if the property is not owned by an individual or individuals, we have disclosed the name of the company, partnership, trust corporation or other entity which owns the property along with our title, position or office, and we have been duly authorized to execute this Petition on behalf of the entity.

<i>Name of Property Owner</i>	<i>Name, Title and Signature of Person Executing Petition</i>	<i>Legal Description of Property Owned</i>	<i>Date</i>
Topeka Public Schools, USD 501	C. Patrick Woods, President 	Lots 2-5, 7 and 8, Block B, Lot 1, Block C, Lots 4 and 6, Block D, Kanza Education and Science Park	11/15/12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11/16/12
Date

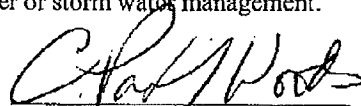

Signature of Person Carrying Petition

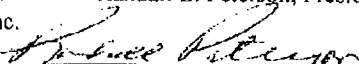
CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

- (i) That I have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: X none _____; and
- (ii) That I will notify, in writing, each and every purchaser of parcels of property within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (iii) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

11/15/12
Date

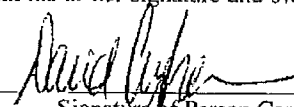

Signature

Name of Property Owner	Name, Title and Signature of Person Executing Petition	Legal Description of Property Owned	Date
Stormont-Vail Healthcare, Inc.	Randall L. Peterson, President 	Lot 2, Block C, Lot 7, Block D, Kanza Education and Science Park	11-12-12

CERTIFICATION OF PERSON CARRYING PETITION AND WITNESSING SIGNATURES

I, the undersigned, hereby certify that I have personally witnessed each and every person whose name appears on this document individually affix his or her signature and swear that the foregoing is true and correct to the best of my knowledge.

11/12/12
Date

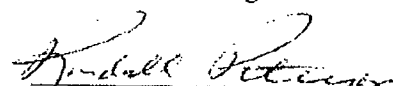

Signature of Person Carrying Petition

CERTIFICATION OF DEVELOPER

I, the undersigned developer of record of real estate located within the Improvement District, hereby certify:

- (i) That I have a financial interest in the following properties which have delinquent special assessments located within the City or the City's three mile extraterritorial jurisdiction: X none _____; and
- (iv) That I will notify, in writing, each and every purchaser of parcels of property within the Improvement District that the property is subject to special assessments to pay for the Improvement; and
- (v) That I will notify in writing each and every purchaser of parcels of property within the Improvement District that in addition to the costs for the Improvement, the property owners will be responsible for paying all applicable rates, fees or charges for municipal services such as water, sanitary sewer or storm water management.

11-12-12
Date


Signature

FACT SHEET

Kanza Education and Science Park

Water Extension Project No. T-281062.00

General Nature of Improvements:

The project will be located near Interstate 70 and MacVicar Avenue in the Kanza Education and Science Park. The project will include new water main piping, valves, fire hydrants, rock excavation, trench and backfill, grading and other appurtenances needed for a complete project.

City Project Administration: City of Topeka, Jeff Hunt, P.E. (368-3842)

Construction Inspection: Not yet determined

Construction Staking: Not yet determined

Design Engineer: Not yet determined

Cost: Project Budget - \$ 497,600.00

Financing:

The cost for this project will be paid by the City through the sale of General Obligation Bonds. The repayment of the bonds will be by the land owners paying the special assessments on the land for 10 years.

CIP Year: N/A

Council District: The project is located in Council District 1.

Project Schedule: Construction: Summer/Fall, 2013

PROJECT BUDGET
Project No. T-281062.00

Kanza Education and Science Park Water Main Extension

LOCATION:

Lots 2-5, 7 and 8, Block B; Lots 1 and 2, Block C; Lots 4, 6 and 7, Block D, all in Kanza Education and Science Park, Topeka, Kansas.

DESCRIPTION OF PROJECT:

To construct water mains to serve the lots within Kanza Education and Science Park referenced above. To provide piping, fire hydrants, appurtenances, engineering and all other contingencies required for a complete project.

SOURCE OF FUNDS:

General Obligation Bonds and any other legally available funds.

This project will be financed through the City of Topeka's Bonding capabilities with repayment of the Bonds received from the Improvement District's payment of the special assessments

	City of Topeka	Improvement District	Total
<u>COST ESTIMATE:</u>			
Construction:	\$0.00	\$339,385.00	\$339,385.00
Design	\$0.00	\$32,500.00	\$32,500.00
Geotech	\$0.00	\$4,000.00	\$4,000.00
Utility Adjustments	\$0.00	\$0.00	\$0.00
Project Service Fees:			
<i>Construction Admin & Inspection</i>	\$0.00	\$34,900.00	\$34,900.00
<i>Construction Staking</i>	\$0.00	\$17,500.00	\$17,500.00
Administrative Fees:			
<i>Legal Dept. Admin.</i>	\$0.00	\$15,000.00	\$15,000.00
<i>Engineering Admin.</i>	\$0.00	\$10,500.00	\$10,500.00
Right-of Way Acquisition:	\$0.00	\$0.00	\$0.00
Contingency Amount	\$0.00	\$26,988.00	\$26,988.00
Temporary Note Interest	\$0.00	\$7,212.00	\$7,212.00
Cost of Issuance	\$0.00	\$9,615.00	\$9,615.00
Total:	\$0.00	\$497,600.00	\$497,600.00

PUBLIC HEARING:

PROJECT AUTHORITY:

a. Statutes: KSA 12-6a01 Petition Project
b. Ord./Res. No.: _____
c. Improvement District: _____
d. City at Large: _____
e. Method of Assessment: Unit Basis

Date: _____

PROJECT ENGINEER: Jeff Hunt

GO Bond Cost of Project

PROJECT: T 281062.00

Interest rate	3.50%
Number of Years	10

Cost of Issuance	2.00%
Temp Note interest	1.500%

Principal	\$480,773
Plus Temp Note Interest	\$7,212
Plus Cost of Issuance	\$9,615
Total Project Budget	\$497,600

Annual Debt Service	\$59,832
Annual Debt Service as Percent of Total	12.0%

Total Debt Service (principal and interest)	\$598,321
---	-----------

Difference Project Cost and Total Debt Service	\$100,721
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GO Bonded Indebtedness as of May 2012	\$161,130,000
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Heartland Park STAR Bonds	\$9,855,000
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College Hill TIF	\$5,605,000
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2011 Temporary Notes that Finance Future GO Bond projects	\$15,230,000
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Approved, not Included in GO Bond Issue or Temporary Notes--City Projects	\$10,566,448
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Approved, not Included in GO Bond Issue or Temporary Notes--Special Assessment Projects	\$4,195,923
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Total Indebtedness	<u>\$206,582,371</u>
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Plus Project	\$207,079,971
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City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Lisa Robertson, City Attorney
DOCUMENT #:
SECOND PARTY/SUBJECT: PROJECT #:
CATEGORY/SUBCATEGORY 013 Ordinances - Codified / 002 Administration
CIP PROJECT: No
ACTION OF COUNCIL: JOURNAL #:
PAGE #:

DOCUMENT DESCRIPTION:

ORDINANCE introduced by City Manager Jim Colson, concerning governing body meetings; veto; veto override; and vacancies, amending City of Topeka Code Section 2.15.020, 2.15.070 and 2.15.080, and repealing original sections.

(This ordinance was previously approved on May 10, 2016. Approval will correct an error in the number of votes necessary to fill a vacancy on the governing body.)

POLICY ISSUE:

Whether to reconsider the Council's action taken on May 10 and approve an identical ordinance to Ordinance No. 19998, with one change addressing the number of votes necessary to fill a vacancy on the governing body.

STAFF RECOMMENDATION:

Staff recommends approval of the ordinance.

BACKGROUND:

Ordinance No. 19998 was passed by the Council on May 10. It implemented changes in Charter Ordinance No. 114 and 117 addressing governing body meeting times, veto process, and governing body vacancies. After the ordinance was passed but before it became effective, the Legal department became aware that the provision addressing the number of votes to fill a vacancy (6) conflicted with Charter Ordinance No. 117 which provides that vacancies are filled by 'a majority vote of the *remaining members* of the governing body.'

For example, if the 'remaining members' are 8 or 9, a majority vote would be 5. If the 'remaining members' are 7, a majority vote would be 4.

In order to be consistent with Charter Ordinance No. 117, the ordinance should delete a specific number

requirement in the event of multiple vacancies.

BUDGETARY IMPACT:

none

SOURCE OF FUNDING:

n/a

ATTACHMENTS:

Description

Ordinance Revised
Summary

1 (Published in the Topeka Metro News _____)

2
3 ORDINANCE NO. _____

4
5 AN ORDINANCE introduced by City Manager Jim Colson, concerning governing
6 body meetings; veto; veto override; and vacancies, amending City
7 of Topeka Code § 2.15.020, § 2.15.070 and § 2.15.080, and
8 repealing original sections.
9

10 BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

11 Section 1. That section 2.15.020, Time of council meetings – To be open to
12 the public, of The Code of the City of Topeka, Kansas, is hereby amended to read as
13 follows:

14 **Time of ~~council~~governing body meetings – To be open to the public.**

15 (a) The ~~council~~governing body shall meet in the council chambers/municipal
16 court complex on the second floor of the municipal building, the first three Tuesdays of
17 each month at 6:00 p.m. except that the governing body shall meet on the second
18 Monday, rather than the second Tuesday, in the month of January following the general
19 municipal election.

20 (b) Notwithstanding subsection (a) of this section, when the date of a meeting
21 falls on a legal holiday or any city primary or general election, the meeting may be
22 rescheduled to another day fixed in advance by the ~~council~~governing body.

23 (c) Notwithstanding subsection (a) of this section, a ~~council~~-meeting may be
24 canceled under any of the following circumstances; provided, that the number of ~~council~~
25 meetings in a month is not less than that required by Appendix A, Section A2-26:

26 (1) By a majority vote of the ~~council~~governing body;

(2) When the mayor, with the concurrence of the deputy mayor, determines that special circumstances exist, including but not limited to the scheduling of a special event or a lack of agenda items; or

(3) By the city manager in the event of inclement weather.

Section 2. That section 2.15.070, Veto procedures, of The Code of the City of Topeka, Kansas, is hereby amended to read as follows:

Veto procedures.

(a) General Procedures.

(1) The mayor, following council adoption of an ordinance ~~or resolution,~~ legislative in nature for which state law gives the mayor the right to veto, may, on or before the next ~~council~~ governing body meeting, exercise veto authority as ~~provided for in Charter Ordinance No. 94 as amended or as otherwise provided~~ by law. If the veto authority is not so exercised, the ordinance shall then take effect without the mayor's signature. If the mayor fails to exercise the veto authority and fails to sign the ordinance on or before the next ~~council~~ governing body meeting, the city clerk shall endorse at the end of the ordinance, ~~as entered in the ordinance book,~~ that it took effect without the signature of the mayor.

(2) Neither the deputy mayor, any councilmember, or any other person shall have the authority to exercise the mayor's veto authority ~~over legislative ordinances or resolutions.~~

(3) If the mayor exercises veto authority, the veto shall be established by a written statement giving the objections and reasons ~~therefor~~. The statement of objection shall be presented to each councilmember, whereupon the councilmembers shall have 30 days to override the mayor's veto ~~as provided for~~

51 ~~in Charter Ordinance No. 98 as amended or as otherwise provided by law~~by a
52 vote of at least seven council members.

53 (4) The question to override may be placed before the council, whether
54 or not on the agenda, by any member of the council.

55 ~~(b) Line Item Veto Procedures:~~

56 ~~(1) The mayor, following council adoption of an ordinance containing items~~
57 ~~of appropriations, may on or before the next council meeting exercise line item~~
58 ~~veto authority as provided for in Charter Ordinance No. 94 as amended or as~~
59 ~~otherwise provided by law. If the veto authority is not so exercised, the ordinance~~
60 ~~shall then take effect without the mayor's signature. If the mayor fails to exercise~~
61 ~~veto authority and fails to sign the ordinance on or before the next council~~
62 ~~meeting, the city clerk shall endorse at the end of the ordinance, as entered in~~
63 ~~the ordinance book, that it took effect without the signature of the mayor.~~

64 ~~(2) If the ordinance contains more than one item of appropriation of~~
65 ~~money, the mayor may veto one or more of such items, while approving the other~~
66 ~~portions of the ordinance.~~

67 ~~(3) Neither the deputy mayor, any councilmember, or any other person~~
68 ~~shall have the authority to exercise the mayor's veto authority over appropriations~~
69 ~~ordinances.~~

70 ~~(4) If the mayor exercises veto authority, the veto shall be established by a~~
71 ~~written statement giving objections as to each item vetoed, and reasons therefor.~~
72 ~~The statement of objection shall be presented to each councilmember,~~
73 ~~whereupon the councilmembers shall have 30 days to override the mayor's veto~~
74 ~~as provided for in Charter Ordinance No. 98 as amended or as otherwise~~

75 ~~provided by law.~~

76 ~~(5) The question to override may be placed before the council, whether or~~
77 ~~not on the agenda, by any member of the council.~~

78 (eb) Veto Authority. Substantial compliance by the mayor with the procedures
79 stated in this section shall be deemed an effective exercise of veto authority.

80 Section 3. That section 2.15.080, Filling of vacancies in the office of mayor or
81 councilmember, of The Code of the City of Topeka, Kansas, is hereby amended to read
82 as follows:

83 **Filling of vacancies in the office of mayor or councilmember.**

84 Subject to ~~city of Topeka Charter Ordinance No. 94~~TMC § A2-29, as amended,
85 the following process shall be followed when filling vacancies in the offices of mayor or
86 councilmember:

87 (a) Within one week of a vacancy in the office of mayor or councilmember, the
88 city clerk shall cause to be published in the official city newspaper a notice that
89 applications are being sought for the filling of the open position.

90 (b) The deadline for applications shall be at 5:00 p.m. on the day two weeks
91 from the date of publication of the notice for the office of councilmember and four weeks
92 from the date of publication of the notice for the office of mayor. Applications shall be
93 submitted to the city clerk.

94 (c) The application shall include the following information:

95 (1) A statement of qualifications and personal background.

96 (2) A statement addressing why the applicant wishes to serve in the
97 office of mayor or councilmember (as applicable).

98 (3) A statement addressing what the applicant sees as the number one

99 problem facing Topeka city government and how the applicant would seek to
100 address the problem if chosen to serve.

101 (d) Application for the office of mayor shall include the \$100.00 filing fee or a
102 petition signed by 100 qualified electors of the city or one percent of the cast vote in the
103 last city general election. Application for the office of district councilmember shall
104 include the \$50.00 fee or a petition signed by 50 qualified electors of the council district.

105 (e) Unless an alternative date and/or time is established by the city
106 ~~council~~councilgoverning body, the ~~councilmembers~~ shall interview each applicant at the next
107 ~~council~~councilgoverning body meeting following the application deadline.

108 (f) At least one day prior to the interview date, the mayor and councilmembers
109 may each submit one question to be asked of all applicants during the interviews.

110 (g) Interviews shall be conducted in the order that applications are received.

111 (h) Interviews shall consist of an opening statement by the applicant and the
112 asking and answering of all submitted questions.

113 (i) At the conclusion of the interviews the ~~city council~~councilgoverning body may
114 conduct an election to fill the vacant position, subject to the following rules:

115 (1) The election shall be conducted only during a ~~council~~councilgoverning body
116 meeting. The election may be deferred to a subsequent meeting ~~upon approval~~
117 ~~by the city council of an appropriate motion~~. In no event shall an election be
118 deferred later than the next ~~council~~councilgoverning body meeting.

119 (2) Each councilmember and the mayor shall vote for one person on
120 each ballot by indicating in writing his or her choice and signing the ballot before
121 submitting it to the city clerk.

122 (3) The city clerk shall read the result of each ballot.

(4) Balloting shall end any time one applicant receives ~~five votes~~ a majority vote of the remaining members of the governing body.

(5) If no applicant receives ~~five~~ a sufficient number of votes ~~in the final ballot~~, additional ballots shall be cast until one of the applicants receives ~~five~~ a sufficient number of votes or the matter is deferred until a date certain, which shall not be later than the next ~~council~~ governing body meeting.

(6) The council and mayor may confer after any ballot in any manner consistent with the Kansas Open Meetings Act.

Section 4. That original § 2.15.020, § 2.15.070, and § 2.15.080 of The Code of the City of Topeka, Kansas, are hereby specifically repealed.

Section 5. This ordinance shall take effect and be in force from and after its passage, approval and publication in the official City newspaper.

Section 6. This ordinance shall supersede all ordinances, resolutions or rules, or portions thereof, which are in conflict with the provisions of this ordinance.

Section 7. Should any section, clause or phrase of this ordinance be declared invalid by a court of competent jurisdiction, the same shall not affect the validity of this ordinance as a whole, or any part thereof, other than the part so declared to be invalid.

PASSED AND APPROVED by the City Council on _____.

CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk

PROPOSED CHANGES TO “ORDINARY” ORDINANCE

VACANCIES			
<i>Topic</i>	<i>Current</i>	<i>Change</i>	<i>Reason for Change</i>
Filling vacancies: Mayor and Council [State law allows cities to establish a process to fill vacancies.]	GB appoints an elector in accordance with its current process: Five votes are required.	GB appoints an elector in accordance with its current process but vote requirement changed: Majority vote of <u>remaining</u> GB members	Makes consistent with Charter Ordinance (CO) 117. If 8 or 9 remaining members: 5 votes required. If 7 remaining members: 4 votes required etc.
GOVERNING BODY MEETINGS			
<i>Topic</i>	<i>Current</i>	<i>Change</i>	<i>Reason for Change</i>
Meeting dates [Election law revised to change the term of incoming members to begin on the 2 nd Monday in January.]	GB meets first three Tuesdays of every month.	GB will meet first three Tuesdays of every month -- except during the month of January following elections. In such case, the GB will meet on the 2 nd Monday (as opposed to the 2 nd Tuesday) in January.	Resolves transition issues associated with changes made to state law regarding elections. GB members elected in November take office the second Monday in January (per KSA 25-2120).
VETO AND VETO OVERRIDE			
<i>Topic</i>	<i>Current</i>	<i>Change</i>	<i>Reason for Change</i>
Required votes [State law provides that Council can override a mayoral veto with a 3/4 vote (i.e., 7 votes).]	Mayor has the right to vote on all items except those items over which he/she is given veto authority. Council has authority to override a Mayoral veto with six votes.	Council has authority to override a Mayoral veto with seven votes. *Line item veto procedures were removed to comply with CO 114.	Makes consistent with state law veto and veto override provisions (K.S.A. 12-3003). CO 117 removed the ability of the Council to override the Mayor's veto by a 2/3 vote (i.e., 6 votes). *CO 114 (revising A2-24) removed the Mayor's ability to line item veto appropriation ordinances.



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Brandon Kauffman/kej **DOCUMENT #:**
SECOND PARTY/SUBJECT: Monthly Expenditures **PROJECT #:**
CATEGORY/SUBCATEGORY 014 Ordinances – Non-Codified / 005 Miscellaneous
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

AN ORDINANCE introduced by City Manager Jim Colson, allowing and approving City expenditures for the period of April 30, 2016, through May 27, 2016, and enumerating said expenditures therein.

(Approval would authorize City expenditures in the amount of \$16,014,450.57.)

POLICY ISSUE:

Approve and allow weekly payments of valid operating expenditures, pursuant to Resolution No. 7607.

STAFF RECOMMENDATION:

Staff recommends the Governing Body move to adopt the ordinance.

BACKGROUND:

Pursuant to Resolution No. 7607, adopted on April 12, 2005, which provides authorization to pay for certain expenditures prior to approval by the Council in an expenditure ordinance, the expenditures being authorized by this ordinance have been previously paid, in accordance with established procedures and policies for such payments.

BUDGETARY IMPACT:

Approved expenditures for the period April 30, 2016 through May 27, 2016, in the amount of \$16,014,450.57.

SOURCE OF FUNDING:

Appropriated funds and fees-for-service revenues of various City departments.

ATTACHMENTS:

Description

Monthly Expenditures

Detail A/P Report for 4/30/16 to 5/27/16
Detail CB55 report for 4/30/16 to 5/27/16

1 (Published in the Topeka Metro News _____)

2
3
4 ORDINANCE NO. _____

5
6 AN ORDINANCE introduced by City Manager Jim Colson, allowing and approving City
7 expenditures for the period of April 30, 2016, through May 27, 2016,
8 and enumerating said expenditures herein.
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF TOPEKA, KANSAS:

11 Section 1. All expenditures made or authorized to be made by issuance of checks
12 or electronic transfers as enumerated herein, are in accordance with City of Topeka
13 Resolution No. 7607.

14 Section 2. The claims and expenditures listed in Exhibit A, which is on file in the
15 City Council Office and the City Clerk's Office and incorporated herein by said reference,
16 are hereby allowed and approved for payment.

17	<u>Section 3.</u>	Total of 476 vendor checks written this period	3,322,681.57
18		Total vendor payments voided in this period (net)	(00.00)
19		Total of 705 ACH transfers to vendors this period	9,364,671.95
20		Total of 19 payroll checks to employees this period	31,125.73
21		Total of 3700 payroll electronic transfers this period	<u>3,295,971.32</u>
22		Total for expenditures in this period	<u>\$16,014,450.57</u>

23 Section 4. This ordinance shall take effect and be in force after its passage,
24 approval and publication in the official city newspaper.

25 PASSED and APPROVED by the Governing Body _____

26
27
28 ATTEST:

Larry E. Wolgast, Mayor

29
30
31 _____
32 Brenda Younger, City Clerk

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
Electronic Payments			
49293	05/02/2016	1031 SW TAYLOR LLC	1
KIN101-0516		S+C MAY2016Payment	339.00
			339.00
49294	05/02/2016	AREA, WILLIAM C	9445
COL104-0516		S+C MAY2016Payment	495.00
WEI111-0516		S+C MAY2016Payment	287.00
			782.00
49295	05/02/2016	BAYLOR, CHARLES C	8942
ALE112-0516		S+C MAY2016Payment	522.00
			522.00
49296	05/02/2016	BERVERT, JACOB	9431
SMI109-0516		S+C MAY2016Payment	543.00
			543.00
49297	05/02/2016	BEST BUY SALES INC	8560
MEN112-0516		S+C MAY2016Payment	737.00
			737.00
49298	05/02/2016	BOOS, JOHN	10148
DIT101-0516		S+C MAY2016Payment	600.00
			600.00
49299	05/02/2016	BREAKTHROUGH HOUSE INC	599
COFF104-0516		S+C MAY2016Payment	163.00
CUN101-0516		S+C MAY2016Payment	525.00
			688.00
49300	05/02/2016	BROOKWOOD TERRACE HOUSING LP	644
ALL105-0516		S+C MAY2016Payment	455.00
AND105-0516		S+C MAY2016Payment	342.00
BAK101-0516		S+C MAY2016Payment	299.00
BRI107-0516		S+C MAY2016Payment	455.00
REE101-0516		S+C MAY2016Payment	317.00
WEA101-0516		S+C MAY2016Payment	396.00
WEB106-0516		S+C MAY2016Payment	323.00
WIL101-0516		S+C MAY2016Payment	318.00
			2,905.00
49301	05/02/2016	CARLSON, DEBORAH A	9352
BEN101-0516		S+C MAY2016Payment	500.00
			500.00
49302	05/02/2016	CASTLE HOME MANAGEMENT LLC	9474
CUN103-0416		S+C April2016Payment	601.00
CUN103-0516		S+C MAY2016Payment	721.00
CUN103-DEP		S+C MAY2016Deposit	721.00
			2,043.00
49303	05/02/2016	CJS REAL ESTATE	10107
ELL101-0516		S+C MAY2016Payment	387.00
			387.00
49304	05/02/2016	CORNERSTONE APARTMENTS LP	7173
LAD1024-0516		S+C MAY2016Payment	199.00
THO102-0516		S+C MAY2016Payment	312.00
			511.00
49305	05/02/2016	CORNERSTONE OF TOPEKA INC	1117
PET101-0516		S+C MAY2016Payment	395.00
PRI1029-0516		S+C MAY2016Payment	470.00
SIM101-0516		S+C MAY2016Payment	403.00
SUR111-0516		S+C MAY2016Payment	450.00
EDM101-0516		S+C MAY2016Payment	525.00
GAR108-0516		S+C MAY2016Payment	425.00
GOO110-0516		S+C MAY2016Payment	227.00
HAR104-0516		S+C MAY2016Payment	167.00
HOM101-0516		S+C MAY2016Payment	460.00
DOU104-0516		S+C MAY2016Payment	372.00
			3,894.00
49306	05/02/2016	COX, WILLIAM R	1151
			750.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
KIM1032-0516		S+C MAY2016Payment	750.00
49307	05/02/2016	COZY HOME RENTAL MGMT LLC 1155	423.00
EVA104-0516		S+C MAY2016Payment	112.00
SAN101-0516		S+C MAY2016Payment	311.00
49308	05/02/2016	DELTA REAL ESTATE LLC 10137	1,140.00
DAN101-0516		S+C MAY2016Payment	612.00
ROA101-0516		S+C MAY2016Payment	528.00
49309	05/02/2016	DERYL D WILSON 6401	299.00
HUG101-0516		S+C MAY2016Payment	299.00
49310	05/02/2016	DONALD, JOSEPH 12	494.00
OWE101-0516		S+C MAY2016Payment	494.00
49311	05/02/2016	DUNCAN, CLAUDE 1442	1,298.00
BOX1089-0516		S+C MAY2016Payment	334.00
BUS101-0516		S+C MAY2016Payment	645.00
SPA1055-0516		S+C MAY2016Payment	319.00
49312	05/02/2016	EBERT ROOFING INC 9028	217.00
WOO101-0516		S+C MAY2016Payment	217.00
49313	05/02/2016	ELDORADO APARTMENTS LLC 10164	4,534.00
BAK105-0416A		S+C April2016Payment	576.00
BAK105-0516		S+C MAY2016Payment	477.00
BRO111-0516		S+C MAY2016Payment	312.00
DIV101-0516		S+C MAY2016Payment	860.00
GIN101-0516		S+C MAY2016Payment	480.00
GRA101-0516		S+C MAY2016Payment	492.00
MCC102-0516		S+C MAY2016Payment	477.00
WAR101-0516		S+C MAY2016Payment	860.00
49314	05/02/2016	EMBASSY APARTMENTS LLC 10163	8,358.00
BEV101-0516		S+C MAY2016Payment	641.00
CHA104-0516		S+C MAY2016Payment	474.00
CRA100-0516		S+C MAY2016Payment	860.00
DOR101-0516		S+C MAY2016Payment	522.00
HUB101-0516		S+C MAY2016Payment	325.00
HYM101-0516		S+C MAY2016Payment	137.00
JAC103-0516		S+C MAY2016Payment	334.00
MAR103-0516		S+C MAY2016Payment	318.00
MUN113-0516		S+C MAY2016Payment	400.00
PER101-0516		S+C MAY2016Payment	742.00
PUE101-0516		S+C MAY2016Payment	477.00
RHO102-0316		S+C MARCH2016Payment	615.00
RHO102-0416		S+C APRIL2016Payment	615.00
RHO102-0516		S+C MAY2016Payment	615.00
RIT107-0516		S+C MAY2016Payment	312.00
STO101-0516		S+C MAY2016Payment	311.00
WHI108-0516		S+C MAY2016Payment	317.00
WIC105-0516		S+C MAY2016Payment	343.00
49315	05/02/2016	EVANS, WARREN L 1584	280.00
ALV108-0516		S+C MAY 2016Payment	280.00
49316	05/02/2016	FAIRBRAKE PROPERTIES LLC 9093	575.00
PIK1063-0516		S+C MAY2016Payment	575.00
49317	05/02/2016	GARNER REMODELING 1843	443.00
HOU105-0516		S+C MAY2016Payment	310.00
LAW101-0516		S+C MAY2016Payment	133.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49318 JON107-0416 JON107-0516	05/02/2016	GLENN OAKS CITY CENTRE GP LLC S+C April2016Payment S+C MAY2016Payment	9348 326.00 425.00
49319 RHO101-0516	05/02/2016	GOODALL, ROBERT G S+C MAY2016Payment	9401 560.00
49320 MAR101-0516	05/02/2016	HAPPY HOMES INC S+C MAY2016Payment	7373 477.00
49321 GAN101-0516	05/02/2016	HAROLD D GERLACH TRUST S+C MAY2016Payment	9573 308.00
49322 DAV102-0516	05/02/2016	HAUSCHILD, HARRY L S+C MAY2016Payment	10300 334.00
49323 GRI101-0516 HOL109-0516 MAR115-0516 MIC112-0516 SPA102-0516	05/02/2016	HEIDEMAN APARTMENTS LLC S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment	9237 528.00 327.00 528.00 537.00 522.00
49324 ROB105-0516 WHI107-0416	05/02/2016	JAK PROPERTIES INC S+C MAY2016Payment S+C April2016Payment	8941 525.00 498.00
49325 BRO110-0516	05/02/2016	HAINES, JARED S+C MAY2016Payment	7736 462.00
49326 BOW101-0516	05/02/2016	MASSEY, JEANETTE I S+C MAY2016Payment	8460 400.00
49327 SEX108-0516	05/02/2016	RAGSDALE, JEFF S+C MAY2016Payment	7375 71.00
49328 ALV101-0516 BLA105-0516 KAN102-0516 WEL101-0516	05/02/2016	KB INVESTMENT GROUP S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment	9880 123.00 465.00 365.00 500.00
49329 SAU101-0516	05/02/2016	MARTIN, IMA RUTH S+C MAY2016Payment	6385 293.00
49330 JON101-0516	05/02/2016	MARTINEZ, MICHELLE S+C MAY2016Payment	6365 408.00
49331 SHA101-0516	05/02/2016	MYERS, MARY CHRIS S+C MAY2016Payment	7286 695.00
49332 BRA101-0516 CHE101-0516 KAY103-0516	05/02/2016	MONARCH ASSETS LLC S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment	10185 318.00 207.00 400.00
49333 THE101-0516	05/02/2016	SAGGART, PAMELA S+C MAY2016Payment	7218 309.00
49334 BOU101-0516	05/02/2016	PARADISE PLAZA I LLC S+C MAY2016Payment	3813 599.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
WHE105-0516		S+C MAY2016PAYMENT	451.00
49335	05/02/2016	PAYNE, CLARENCE A 9694	500.00
HUG102-0516		S+C MAY2016Payment	500.00
49336	05/02/2016	PC OAKBROOK LLC 9833	2,726.00
HIL1027-0516		S+C MAY2016Payment	560.00
LYN104-0516		S+C MAY2016Payment	189.00
MCG1031-0516		S+C MAY2016Payment	790.00
MUZ101-0516		S+C MAY2016Payment	339.00
ONE103-0516		S+C MAY2016Payment	475.00
SUH101-0516		S+C MAY2016Payment	373.00
49337	05/02/2016	PETERSEN, LONNIE 3909	334.00
SHA1042-0516		S+C MAY2016Payment	334.00
49338	05/02/2016	PIONEER ADAMS II LP 7285	728.00
POR101-0516		S+C MAY2016Payment	434.00
REA105-0516		S+C MAY2016Payment	294.00
49339	05/02/2016	PIONEER CURTIS HOMES 3941	435.00
GUE101-0516		S+C MAY2016Payment	435.00
49340	05/02/2016	PIONEER MOVITIVE POWER PLACE LP 9278	1,549.00
AND102-0516		S+C MAY2016Payment	248.00
DAN102-0516		S+C MAY2016Payment	329.00
DOU105-0516		S+C MAY2016Payment	300.00
TOW102-0416		S+C April2016Payment	192.00
TOW102-0516		S+C MAY2016Payment	480.00
49341	05/02/2016	POTTERF, KATHRYN L 10001	259.00
NAS101-0516		S+C MAY2016PAYMENT	259.00
49342	05/02/2016	POTTS, GERALD 6378	363.00
WIL1047-0516		S+C MAY2016Payment	363.00
49343	05/02/2016	PROCHASKA, LUCAS 9598	263.00
LOR105-0516		S+C MAY2016Payment	263.00
49344	05/02/2016	RAK PROPERTY MANAGEMENT 9883	2,034.00
ALL108-0516		S+C MAY2016Payment	267.00
COR102-0516		S+C MAY2016Payment	491.00
FER102-0516		S+C MAY2016Payment	375.00
KOZ1041-0516		S+C MAY2016Payment	256.00
NOR101-0516		S+C MAY2016Payment	400.00
SIM105-0516		S+C MAY2016Payment	245.00
49345	05/02/2016	RENT TOPEKA HOMES 4175	1,160.00
AKI101-0516		S+C MAY2016Payment	560.00
TIS101-0516		S+C MAY2016Payment	600.00
49346	05/02/2016	RENTAL MANAGEMENT SOLUTIONS LL 4176	3,717.00
DAV114-0516		S+C MAY2016Payment	625.00
HAR103-0516		S+C MAY2016Payment	141.00
KEL106-0516		S+C MAY2016Payment	165.00
MAR102-0516		S+C MAY2016Payment	645.00
NAV101-0516		S+C MAY2016Payment	233.00
REI101-0516		S+C MAY2016Payment	230.00
SHE102-0516		S+C MAY2016Payment	245.00
SMA1044-0516		S+C MAY2016Payment	221.00
SMI104-0516		S+C MAY2016Payment	515.00
BRY101-0516		S+C MAY2016Payment	302.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
CAR111-0516		S+C MAY2016Payment	395.00
49347	05/02/2016	LAIRD SR, RICHARD D 6519	568.00
REE103-0516		S+C MAY2016Payment	568.00
49348	05/02/2016	RLT ENTERPRISES LLC 9239	2,337.00
ROB103-0516		S+C MAY2016Payment	330.00
WHE101-0516		S+C MAY2016Payment	480.00
CAR115-0516		S+C MAY2016Payment	325.00
ERI101-0516		S+C MAY2016Payment	475.00
FRO101-0516		S+C MAY2016Payment	140.00
LAC101-0516		S+C MAY2016PAYMENT	587.00
49349	05/02/2016	CUEVAS, RODOLFO 7291	349.00
FAR101-0516		S+C MAY2016Payment	349.00
49350	05/02/2016	SHAWNEE MANAGEMENT LLC 7828	667.00
JEN101-0516		S+C MAY2016PAYMENT	360.00
ROB104-0516		S+C MAY2016Payment	307.00
49351	05/02/2016	SHELLENBERGER, JAY 10190	586.00
FER101-0516		S+C MAY2016Payment	586.00
49352	05/02/2016	SIGLOW PROPERTY MANAGEMENT LLC 4558	861.00
CAR102-0516		S+C MAY2016Payment	575.00
MCF103-0516		S+C MAY2016Payment	286.00
49353	05/02/2016	ST GREGORY LLC 4712	538.00
CHA103-0516		S+C MAY2016Payment	323.00
HOL101-0516		S+C MAY2016 PAYMENT	215.00
49354	05/02/2016	TAGS LLC 9036	1,284.00
SAN105-0516		S+C MAY2016Payment	410.00
ACK101-0516		S+C MAY2016Payment	285.00
AMO101-0416		S+C APRIL 2016 PAYMENT	38.00
AMO101-0516		S+C MAY2016Payment	287.00
LIT102-0516		S+C MAY2016Payment	264.00
49355	05/02/2016	TRINITY PROPERTIES LLC 5098	9,947.00
ROW115-0516		S+C MAY2016Payment	528.00
SEI101-0516		S+C MAY2016Payment	219.00
CON101-0516		S+C MAY2016Payment	325.00
PRI101-0516		S+C MAY2016Payment	197.00
WEL1035-0516		S+C MAY2016Payment	332.00
WHI1111-0516		S+C MAY2016Payment	216.00
WIN105-0516		S+C MAY2016Payment	319.00
FOR104-0516		S+C MAY2016Payment	332.00
FRE108-0516		S+C MAY2016PAYMENT	537.00
HAL101-0516		S+C MAY2016Payment	528.00
HAM101-0516		S+C MAY2016Payment	500.00
HAR101-0516		S+C MAY2016Payment	528.00
HAR102-0516		S+C MAY2016Payment	535.00
HOP101-0516		S+C MAY2016Payment	205.00
HOR101-0516		S+C MAY2016Payment	528.00
JEF105-0516		S+C MAY2016Payment	537.00
JUD1019-0516		S+C MAY2016Deposit	443.00
KUT108-0516		S+C MAY2016Payment	325.00
LUC104-0516		S+C MAY2016Payment	319.00
BLA106-0516		S+C MAY2016Payment	25.00
BOO101-0516		S+C MAY2016Payment	327.00
BRA102-0516		S+C MAY2016Payment	450.00
CAR101-0516		S+C MAY2016Payment	317.00
CHA102-0516		S+C MAY2016Payment	535.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
AND106-0516		S+C MAY2016Payment	528.00
BIR101-0516		S+C MAY2016Payment	312.00
49356	05/02/2016	VALLEY BROTHERS LLC 9674	1,400.00
COL115-0516		S+C MAY2016Payment	642.00
JOH120-0516		S+C MAY2016Payment	249.00
MYE109-0516		S+C MAY2016Payment	264.00
PRY104-0516		S+C MAY2016Payment	245.00
49357	05/02/2016	VANHOUSE, DANIEL W 5201	675.00
RET101-0516		S+C MAY2016Payment	675.00
49358	05/02/2016	WANAMAKER VIEW APARTMENTS LLC 9342	318.00
ROB101-0516		S+C MAY2016Payment	318.00
49359	05/02/2016	WCW ENTERPRISES INC 5339	483.00
HEN103-0516		S+C MAY2016Payment	306.00
RAM105-0516		S+C MAY2016Payment	306.00
49360	05/02/2016	WENDT, ROXANNE M 9870	525.00
KOL101-0516		S+C MAY2016Payment	525.00
49361	05/02/2016	WM INVESTMENTS LLC 10106	135.00
ATK103-0416A		S+C April2016Payment	450.00
ATK103-0516		S+C MAY2016Payment	450.00
ATK103-DEP		S+C MAY2016Deposit	475.00
SHO101-0516		S+C MAY2016Payment	475.00
49362	05/02/2016	WOLFE, JO ANN 5517	270.00
ALL104-0516		S+C MAY2016Payment	475.00
CRO101-0516		S+C MAY2016Payment	321.00
PAY106-0516		S+C MAY2016Payment	321.00
49363	05/02/2016	WOOD, JAMES U 10311	313.00
WEB107-0416		S+C April2016Payment	375.00
WEB107-0516		S+C MAY2016Payment	375.00
49364	05/06/2016	WHITNEY B DAMRON PA 5418	5,750.00
33615 MAR 2016	33615		5,750.00
49365	05/06/2016	SOTO, VICTOR J 4661	467.55
30466 FINAL	30466	FINAL FOR 2015	800.00
34387	34387		800.00
49366	05/06/2016	5SC - HOLLIDAY SQUARE LLC 8851	6,155.81
APRIL 2016	CID HOLLIDAY		6,155.81
49367	05/06/2016	A B CREATIVE INC 15	5,538.00
16108	34969		5,538.00
49368	05/06/2016	A-1 RENTAL INC 20	90.00
51005	33456		90.00
51008	33488		90.00
49369	05/06/2016	AAA CLUB ALLIANCE INC 10251	38.50
289390	34546		38.50
289393	34556		38.50
290038	34556		38.50
290040	34556		38.50
290189	34556		38.50
290258	34556		38.50
290320	34546		38.50

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
290322	34556		38.50
290323	34556		38.50
290636	34546		38.50
290644	34556		38.50
290645	34556		38.50
290646	34556		38.50
291035	34546		38.50
291066	34556		38.50
291068	34556		38.50
291275	34556		38.50
283030	34556		38.50
283350	34556		38.50
283351	34556		38.50
283511	34556		38.50
49370	05/06/2016	ADVANCED HEALTHSTYLES FITNESS 10150	9,734.64
24473	33121		9,734.64
49371	05/06/2016	ALAMAR UNIFORMS LLC 103	372.99
495144 01	33884		372.99
49372	05/06/2016	ALEXANDER OPEN SYSTEMS 112	12,861.27
10085703	34826		12,861.27
49373	05/06/2016	AMERIPRIDE 197	306.17
2300658294	33559		6.16
2300658297	33559		41.39
2300658302	33559		130.11
2300658306	33559		60.53
2300658450	33559		67.98
49374	05/06/2016	ARMSTRONG CONSTRUCTION 255	1,549.00
3057	35080		1,549.00
49375	05/06/2016	BARTLETT & WEST ENGINEERS 391	27,201.55
730055736	34475		3,760.00
730055884	24381		23,323.80
730055887	28103		70,141.15
730055887CR	28103		-70,141.15
730056122	28103		117.75
49376	05/06/2016	BENEFITFOCUS 8410	2,534.00
7536	33643		2,534.00
49377	05/06/2016	BLUE CROSS BLUE SHIELD INC 528	84,609.62
MAY 2016 ADMIN	33397		84,609.62
49378	05/06/2016	BLUE CROSS BLUE SHIELD INC 528	103,434.77
W/E 05/03/16	33397		103,434.77
49379	05/06/2016	BOETTCHER SUPPLY INC 543	84.50
967749 1	33496		45.40
967772 1	33258		28.41
969053 1	33258		10.69
49380	05/06/2016	BOYS & GIRLS CLUB OF TOPEKA 576	4,096.77
16 01	34380		4,096.77
49381	05/06/2016	C & C PRODUCE 7788	566.50
000973448	33233		566.50
49382	05/06/2016	C&M TIRE 1183	4,616.50

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
20208688	33268		385.09
20208976	33268		1,076.00
20209037	33268		347.35
20209058	33268		32.25
20209138	33268		121.15
20209182	33268		408.60
20209242	33268		133.63
20209244	33268		367.71
20209245	33268		153.19
20209248	33268		108.00
20209270	33268		32.25
20209556	33268		1,451.28
49383	05/06/2016	CDW GOVERNMENT INC 857	1,505.52
CSB4017	34973		1,505.52
49384	05/06/2016	CENTURY BUSINESS TECHNOLOGIES 870	3,089.06
409382	33174		3,089.06
49385	05/06/2016	CHEMTRADE CHEMCIALS 1864	3,208.65
91788430	33191		3,208.65
49386	05/06/2016	CODE PUBLISHING COMPANY 999	321.75
52825	33620		321.75
49387	05/06/2016	COLUMBIA CAPITAL MANAGEMENT LL 1038	4,000.00
16116007	33841		4,000.00
49388	05/06/2016	CONCRETE SUPPLY OF TOPEKA 1066	320.00
110064	33204		320.00
49389	05/06/2016	CONSOLIDATED ELECTRICAL 6778	2,337.82
8795 531174	33673		20.00
8795 531305	33673		154.09
8795 531348	33673		849.21
8795 531384	33673		333.98
8795 531410	33673		198.82
8795 531657	33673		359.14
8795 531719	33673		90.43
8795 531841	33673		288.67
8795 531959	33673		43.48
49390	05/06/2016	CORNERSTONE OF TOPEKA INC 1116	21,355.50
13045	34451		21,355.50
49391	05/06/2016	CREATIVE LANDSCAPE INC 1166	87,432.93
32224 4	32224		87,432.93
49392	05/06/2016	DELTA DENTAL OF KANSAS INC 1323	8,712.48
W/E 04/28/16	33776		8,712.48
49393	05/06/2016	DILLONS COMPANY 2918	63.92
0316461282	33238		35.96
0316461840	33238		27.96
49394	05/06/2016	DURKIN EQUIPMENT CO 1451	3,219.20
120006093	33192		3,219.20
49395	05/06/2016	EAST TOPEKA COUNCIL ON AGING 1469	5,144.75
2016 1	34381		5,144.75
49396	05/06/2016	ELECTRONICS SUPPLY CO INC 1505	252.04

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
1619103	33381		252.04
49397	05/06/2016	ETHANOL PRODUCTS LLC 9576	1,529.60
CO2159843	33195		1,529.60
49398	05/06/2016	EUROFINS EATON ANALYTICAL INC 8594	2,120.00
L0259893	33193		2,120.00
49399	05/06/2016	EXPRESS SERVICES INC 9622	4,490.16
17161196 5	34739		544.64
17161197 3	34635		3,945.52
49400	05/06/2016	FLEETMATICS USA LLC 8154	2,912.14
IN1105119	33481		504.00
IN1108120	33758		100.00
IN1141075	34721	RE-BILL IN883118-12/1/15-6/11/	2,308.14
49401	05/06/2016	FOLEY EQUIPMENT COMPANY 9605	1,472.65
SS340004636	34628		1,472.65
49402	05/06/2016	FOLEY INDUSTRIES INC 1734	3,130.20
PS200052300	33273		754.71
SS340004628	33633		2,375.49
49403	05/06/2016	GREAT SOUTHERN BANK 9969	18,089.97
APRIL 2016	CID CROSSWINDS		18,089.97
49404	05/06/2016	HENRY OUTDOOR POWER LLC 8004	3,704.50
0666	34878		50.00
0672	34812		170.00
0673	34811		555.00
0675	34992		145.00
0676	34991		65.00
0677	34878		50.00
0680	34788		1,097.50
0681	34848		333.00
0682	34849		84.00
0683	34812		170.00
0684	34811		555.00
0686	34992		145.00
0687	34991		65.00
0689	34999		40.00
0690	34996		180.00
49405	05/06/2016	HOUSING & CREDIT COUNSELING IN 2312	17,836.00
1STQTR2016	34889		17,836.00
49406	05/06/2016	ILLINOIS TOOL WORKS INC 5559	750.00
358696	33354		750.00
49407	05/06/2016	INFOR US INC 8591	329,700.00
20455941 US0AB	35093		329,700.00
49408	05/06/2016	KAN EQUIPMENT INC 2621	31.36
6 219482	33288		31.36
49409	05/06/2016	KANSAS CHILDRENS SERVICE 2651	25,769.96
20655 1	34884		13,810.00
21928 1	34888		7,020.87
22077 1	34436		4,939.09
49410	05/06/2016	KANSAS DEPT OF CORRECTIONS 2673	12,009.41

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
2016 03 AH	34163		8,005.62
2016 03 CI	34164		4,003.79
49411	05/06/2016	KANSAS PERSONNEL SERVICES INC 2849	6,994.26
3038525	33567		704.90
3038609	34456		612.00
3038610	33409		3,913.54
3038611	33472		293.37
3038612	33567		888.91
3038614	34568		581.54
49412	05/06/2016	KCR INTERNATIONAL TRUCKS INC 1347	591.84
130109222	33269		25.22
130109238	33269		530.73
130109257	33269		12.61
130109297	33269		23.28
49413	05/06/2016	KEEP AMERICA BEAUTIFUL INC 2806	3,523.00
04042016	34881		3,523.00
49414	05/06/2016	KEY WORKFORCE SOLUTIONS INC 9879	939.60
3038606	33428		939.60
49415	05/06/2016	LAWMENS AND SHOOTERS 9381	936.14
138369	34236		936.14
49416	05/06/2016	LAWYERS TITLE OF TOPEKA INC 3002	300.00
14571	33636		150.00
14599	33636		150.00
49417	05/06/2016	LEAGUE OF KANSAS 6585	130.00
16 577	35158		65.00
16 584	35158		65.00
49418	05/06/2016	LETS HELP 5775	5,565.89
20151231	32660		5,565.89
49419	05/06/2016	LEWIS, GAIL A 9952	2,083.00
0000011	33535		2,083.00
49420	05/06/2016	LIGHTHOUSE CONTRACTING INC 3061	11,623.00
1116SW5 P	34524		11,623.00
49421	05/06/2016	LP S EXCAVATING INC 3125	4,053.00
2016129	34732		4,053.00
49422	05/06/2016	MATHER FLARE RENTAL INC 5791	5,254.98
3022	33509		105.30
3023	33989		700.00
3024	33989		500.00
3025	33429		964.18
3026	33429		2,400.40
3027	33429		515.92
3029	33539		60.00
3030	33539		9.18
49423	05/06/2016	MATHESON TRI-GAS INC 7179	171.50
13203433	33208		171.50
49424	05/06/2016	MINNESOTA ELEVATOR INC 7834	2,430.52
657206	34437		2,430.52

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49425	05/06/2016	NEENAN COMPANY 3649	3,403.68
S2318273 001	33470		63.07
S2318273 002	33470		2,342.59
S2320538 001	33470		140.51
S2322058 001	33470		34.33
S2325431 001	33470		122.48
S2325434 001	33470		610.82
S2326289 001	33470		89.88
49426	05/06/2016	O REILLY AUTO PARTS 3714	65.69
0152 230982	33215		14.98
0152 230983	33215		-7.49
0152 231014	33300		4.99
0152 232309 ADJ	33212		4.89
0152 233575	33300		-7.83
0152 233655	33300		34.91
0152 233733	33300		2.44
0152 233846	33215		4.96
0152 235043	33300		6.85
0191 196364	33212		6.99
49427	05/06/2016	ONEILL EXCAVATING INC 10202	4,290.00
000046	34871		4,290.00
49428	05/06/2016	PAPANS LANDING SENIOR CENTER 3811	5,070.75
34887 1	34887		5,070.75
49429	05/06/2016	PROFESSIONAL ENGINEERING 4018	748,177.41
513271	30759		442,944.75
513272	30759		293,145.16
513287	19318		115.00
513289	30262		9,042.50
513291	27738		2,930.00
49430	05/06/2016	PROFESSIONAL FIRE ALARM SYSTEM 4019	356.50
9908 0323	34946		356.50
49431	05/06/2016	R & R VENTURES OF TOPEKA INC 4065	1,440.00
2016 09	33747		1,440.00
49432	05/06/2016	RAY O HERRON COMPANY 4118	33.40
1621484 IN	32902		33.40
49433	05/06/2016	SARIK LLC 9207	1,895.72
2591	34873		1,895.72
49434	05/06/2016	SCHMIDT, BECK & BOYD 8999	22,823.40
1811	34662		9,125.00
1812	32055		7,286.00
1817	30908		6,412.40
49435	05/06/2016	SELLERS EQUIPMENT INC 4470	2,574.90
IC223473	33303		324.17
IC223520	33303		196.71
IC223532	33350		2,054.02
49436	05/06/2016	SHAWNEE COUNTY 4503	46,060.46
34577 MAR 2016	34577		46,060.46
49437	05/06/2016	SHAWNEE COUNTY MEDICAL SOCIETY 4515	14,710.50
0001	34382		14,710.50

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49438	05/06/2016	SHAWNEE MISSION FORD INC 4524	51,925.00
97072	33133		
49439	05/06/2016	SHAWNEE REGIONAL PREVENTION & 4525	67,083.40
CPP2016 1	34434		35,299.54
EI2016 1	34438		15,963.15
SS2016 1	34886		15,820.71
49440	05/06/2016	STAPLES CONTRACT N COMMERCIAL 4725	2,503.47
3298931925	34854		271.80
3298931929	34867		271.80
3298931931	34876		271.80
3299047466	34910		280.12
3299164190	34831		24.98
3299164191	34914		90.20
3299164192	34915		97.36
3299164193	34928		926.75
3299264005	34938		33.49
3299332402	34947		44.45
3299332403	34959		117.78
3299332404	34959		72.94
49441	05/06/2016	SUNFLOWER PAVING INC 4815	89,092.39
1880	34872		7,716.30
33117 2	33117		81,376.09
49442	05/06/2016	SUPERIOR LAMP INC 10295	636.47
S2858386	34945		388.63
S2858400	34945		247.84
49443	05/06/2016	SUPERIOR SIGNALS INC 6761	210.70
411114	33317		
49444	05/06/2016	TDC LEARNING CENTERS INC 4889	6,956.33
34882 1	34882		4,639.72
34885 2	34885		2,316.61
49445	05/06/2016	THE GOODYEAR TIRE & RUBBER CO 9375	1,075.79
123 1052277	33361		-146.10
123 1052282	33361		1,221.89
49446	05/06/2016	THE TERMINIX INTERNATIONAL 10096	203.98
21230431	33231		
49447	05/06/2016	YOUNG WOMENS CHRISTIAN 5583	7,634.16
2016 1	34677		2,646.00
2016 SCS 01	34378		4,988.16
49448	05/06/2016	TOPEKA AIDS PROJECT INC 5011	7,379.99
2016 1	34880		
49449	05/06/2016	TRIA HEALTH LLC 6938	2,600.00
0516 0006	33574		
49450	05/06/2016	TRUCK PARTS & EQUIPMENT INC 5102	6,306.83
416766	33310		279.00
416866	33310		137.46
417047	33310		1,200.27
417230	33310		1,514.38
417419	33310		62.39
417425	33310		2,189.49
417500	33310		25.13

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
417526	33310		531.28
417639	33310		279.00
417917	33310		1.36
418019	33310		87.07
49451	05/06/2016	U S LIME COMPANY - ST CLAIR 5117	14,674.93
156920	33196		7,452.94
156930	33196		3,604.75
156964	33196		3,617.24
49452	05/06/2016	UMB BANK NA 5127	68,408.33
PCARD04292016			68,408.33
49453	05/06/2016	UNIVERSAL SYSTEMS INC 5161	4,430.40
13881	34724		346.00
349107	34724		4,084.40
49454	05/06/2016	VARNER, DANIEL D 9518	1,700.00
4 1 15/19	30533		1,700.00
49455	05/06/2016	VICTOR L PHILLIPS COMPANY INC 5225	836.10
WT35240	33312		836.10
49456	05/06/2016	WALKER TOWEL & UNIFORM 5266	164.30
2120185	33404		88.05
2123915	33218		12.45
2123924	33374		32.25
2124504	33218		7.65
2124505	33218		23.90
49457	05/06/2016	WESTSIDE STAMP & AWARDS INC 5865	64.50
156144	34940		64.50
49458	05/06/2016	NATIONAL GUARDIAN LIFE 5737	124.38
IA503237 MAR 201	33890		124.38
49459	05/06/2016	TOPEKA CITY EMPLOYEES CREDIT 5021	180.00
34659 2	34659		180.00
49460	05/06/2016	ACE ELECTRIC JONES COMPANY INC 35	112.50
3219	35150		112.50
49461	05/06/2016	ANCOR INFORMATION MANAGEMENT 7058	22,000.00
0616 PA	33431		22,000.00
49462	05/06/2016	BORDER STATES INDUSTRIES INC 9824	420.33
S5365289 001	33417		87.90
S5365975 001	33417		227.45
S5366527 001	33417		104.98
49463	05/06/2016	CAPITAL BELT & SUPPLY INC 776	24.50
91717	33377		24.50
49464	05/06/2016	CAPITAL CITY OIL CO INC 778	16,024.69
1051985	33331		16,024.69
49465	05/06/2016	CONSOLIDATED ELECTRICAL 4174	9,440.88
8792 563691	33564		2,874.22
8792 563784	33564		58.01
8792 563791	33564		2,597.85
8792 563880	33564		2,105.52
8792 563914	33564		849.18

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
8792 563971	33564		101.10
8792 564015	33564		93.32
8792 564199	33564		234.31
8792 564211	33564		18.80
8792 564259	33564		71.67
8792 564453	33672		346.10
8792 564569	33564		41.18
8792 564600	33564		49.62
49466	05/06/2016	DAVIN ELECTRIC INC 1264	5,400.00
1526 6	32113		5,400.00
49467	05/06/2016	FERGUSON ENTERPRISES INC 1639	410.19
2489175	33475		410.19
49468	05/06/2016	FLU-CON INC 1729	298.79
P 16187 0	33272		240.90
P 16188 0	33272		20.39
P 16209 0	33272		33.90
P 16226 0	33272		3.60
49469	05/06/2016	HD SUPPLY WATERWORKS LTD 2146	5,299.96
F192045	34504		1,649.00
F230444	34618		2,233.80
F286708	34618		947.16
F322976	34833		470.00
49470	05/06/2016	IBT INC 2377	115.90
6775424	33283		115.90
49471	05/06/2016	KEY EQUIPMENT & SUPPLY CO 2847	250.00
246263	34941		250.00
49472	05/06/2016	KRIZ DAVIS COMPANY 2916	0.95
S101312744 001	33667		0.95
49473	05/06/2016	LINDYSPRING WATER LLC 3071	129.70
1015005	33202		13.00
1015006	33202		13.00
1015339	33202		19.50
1015340	33202		13.00
1022378	33202		23.20
1025573	33202		8.00
1025645	33202		30.00
1026897	33202		10.00
49474	05/06/2016	MCELROY'S INC 3289	3,750.00
SVC31235	33732		3,750.00
49475	05/06/2016	RAY LINDSEY COMPANY INC 4117	3,750.00
2016646	31850		3,750.00
49476	05/06/2016	SALISBURY SUPPLY COMPANY INC 4352	1,042.20
74685	33565		106.33
74690	33565		91.00
74707	33565		18.80
74873	33565		62.00
75039	33497		15.00
75180	33565		146.47
75193	33565		362.66
75342	33497		12.99
75344	33499		231.84
0152 232309	33212		-4.89

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49477	05/06/2016	TAZCO INC	4885
3229	34464		6,508.50
49478	05/06/2016	TFM COMM INC	4914
180641	33561		2,358.56
180669	33561		2,312.42
49479	05/06/2016	TOPEKA BLUE PRINT INC	5015
164978	33584		87.00
49480	05/06/2016	TOPEKA ELECTRIC MOTOR REPAIR	5025
42426	33634		5,441.75
49481	05/13/2016	AAA CLUB ALLIANCE INC	10251
289378	34556		38.50
289381	34556		38.50
289401	34556		38.50
289411	34556		38.50
289412	34556		38.50
289413	34556		38.50
289754	34556		38.50
289755	34556		38.50
290041	34556		38.50
290179	34556		38.50
290187	34546		38.50
290195	34556		38.50
290259	34556		38.50
290321	34556		38.50
290326	34556		38.50
290328	34556		38.50
290440	34556		38.50
291041	34556		38.50
291255	34556		38.50
291277	34546		38.50
291279	34556		38.50
291280	34556		38.50
291281	34556		38.50
2380516	34558		650.00
272379	34546		38.50
283026	34556		38.50
283040	34556		38.50
283352	34556		38.50
283353	34556		38.50
283505	34556		38.50
49482	05/13/2016	ALEXANDER OPEN SYSTEMS	112
I0085784	35209		340.00
49483	05/13/2016	AMERICAN PRESORT	177
APRIL 2016	POSTAGE		9,967.38
49484	05/13/2016	AMERIPRIDE	197
2300660736	33559		6.16
2300660738	33559		41.18
2300660740	33559		130.11
2300660743	33559		60.32
2300660964	33559		67.98
49485	05/13/2016	ANSWER TOPEKA	237
160400024	33234		74.50
160400025	33199		1,403.45

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49486	05/13/2016	APPLICATION SOFTWARE INC 8140	747.00
APRIL 16 FLEX FEI	PAYROLL		
49487	05/13/2016	ARMSTRONG CONSTRUCTION 255	1,050.00
3058	35080		
49488	05/13/2016	BARTLETT & WEST ENGINEERS 391	95,047.32
730056123	34828		70,000.00
730056208	31672		3,800.00
730056226	33949		1,491.00
730056247	21889		3,154.32
730056253	31654		5,250.00
730056501	29826		11,352.00
49489	05/13/2016	BLACK & VEATCH CORPORATION 505	14,715.00
1222836	24920		
49490	05/13/2016	BLUE CROSS BLUE SHIELD INC 528	96,599.82
W/E 05/10/16	33397		
49491	05/13/2016	BOETTCHER SUPPLY INC 543	141.41
970018 1	33258		13.46
971522 1	33258		17.69
971780 1	33258		31.62
972496 1	33258		63.57
972529 1	33258		15.07
49492	05/13/2016	BREATHING AIR SERVICES INC 601	1,361.08
2300	33880		
49493	05/13/2016	BRENNTAG MID SOUTH 607	4,440.38
BMS343224	33189		
49494	05/13/2016	C & C PRODUCE 7788	698.00
000976530	33233		523.50
000977578	33233		174.50
49495	05/13/2016	C&M TIRE 1183	1,162.96
20209448	33268		208.63
20209687	33268		771.20
20209705	33268		133.63
20209720	33268		32.25
20209746	33268		17.25
49496	05/13/2016	CDW GOVERNMENT INC 857	37.14
CGZ2301	34519		
49497	05/13/2016	CHEMTRADE CHEMCIALS 1864	3,076.49
91797095	33191		
49498	05/13/2016	COMMUNITY RESOURCES COUNCIL 1056	15,000.00
2016 4 15	34937		
49499	05/13/2016	CONCRETE SUPPLY OF TOPEKA 1066	960.00
110874	33204		
49500	05/13/2016	CONSOLIDATED ELECTRICAL 6778	169.20
8795 531989	33673		
49501	05/13/2016	CONSOLIDATED RURAL WATER 1075	2,851.63
33392 4	33392		

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49502 35770	05/13/2016 26717	COOK FLATT & STROBEL ENGINEERS 1089	71,568.92
49503 33776 ADMIN APR W/E 05/05/16	05/13/2016 33776 33776	DELTA DENTAL OF KANSAS INC 1323	11,977.50 3,545.60 8,431.90
49504 SI320409	05/13/2016 35001	DLT SOLUTIONS LLC 1370	3,117.57
49505 2283 44894 BID ADMIN :	05/13/2016 34149 34149	DOWNTOWN TOPEKA INC 1408	9,639.63 1,529.11 8,110.52
49506 1619701	05/13/2016 33381	ELECTRONICS SUPPLY CO INC 1505	43.84
49507 36056	05/13/2016 33817	EMBROIDERY PLUS 1522	191.52
49508 CO2159999 CO2160243	05/13/2016 33195 33195	ETHANOL PRODUCTS LLC 9576	3,126.92 1,530.80 1,596.12
49509 902602625	05/13/2016 33441	EVOQUA WATER TECHNOLOGIES LLC 9245	11,256.00
49510 17201948 1 17201949 9	05/13/2016 34739 34635	EXPRESS SERVICES INC 9622	4,887.60 544.64 4,342.96
49511 IN1135979 IN1141090	05/13/2016 33758 33758	FLEETMATICS USA LLC 8154	840.00 420.00 420.00
49512 SS340004648	05/13/2016 34628	FOLEY EQUIPMENT COMPANY 9605	179.23
49513 SS340004795	05/13/2016 33633	FOLEY INDUSTRIES INC 1734	333.81
49514 2015 2040	05/13/2016 34734	GO BLUE LLC 7071	4,369.25
49515 376 377 378	05/13/2016 34731 35072 34785	HARRIS & SONS ENTERPRISES INC 7996	29,908.00 12,246.00 4,912.00 12,750.00
49516 33239 APR 2016	05/13/2016 33239	HELPING HANDS HUMANE SOCIETY I 2183	2,772.00
49517 0691 0692 0693 0700 0701	05/13/2016 34788 34848 34849 34999 34996	HENRY OUTDOOR POWER LLC 8004	1,734.50 1,097.50 333.00 84.00 40.00 180.00
49518 33873 4 33873 4 EXPENSE:	05/13/2016 33873 33873	IMPACT MARKETING GROUP INC 10052	5,272.28 5,000.00 272.28

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49519 105863	05/13/2016 33799	INLAND BUSINESS SYSTEMS INC 2404	373.00 373.00
49520 N681394 N681395 N681401	05/13/2016 DE DE DE	JAYHAWK FILE EXPRESS LLC W/O#N065958 4/6/16 W/O#N065950 4/6/16 W/O#N066728 4/27/16	2502 61.00 367.50 37.00
49521 69 IN 16	05/13/2016 34804	JP CONSTRUCTION LLC 10289	11,800.00 11,800.00
49522 6 219652 6 219698	05/13/2016 33288 33288	KAN EQUIPMENT INC 2621	505.69 117.69 388.00
49523 11802 11875	05/13/2016 35168 35168	KANSAS FENCING INC 2703	2,616.00 816.00 1,800.00
49524 5100367971003101	05/13/2016 KS GAS WATER	KANSAS GAS SERVICE 2707	90.13 90.13
49525 100 31	05/13/2016 27041	KANSAS HEAVY CONSTRUCTION LLC 9260	203,583.96 203,583.96
49526 3038522 3038696 3038697 3038698 3038699 3038701	05/13/2016 34456 34456 33409 33472 33567 34568	KANSAS PERSONNEL SERVICES INC 2849	6,666.20 623.48 612.00 3,591.47 307.34 965.00 566.91
49527 130109444 130109529 130202065C 130202094C	05/13/2016 33269 33269 33269 33269	KCR INTERNATIONAL TRUCKS INC 1347	733.90 209.65 121.74 384.85 17.66
49528 3038693	05/13/2016 33428	KEY WORKFORCE SOLUTIONS INC 9879	1,044.00 1,044.00
49529 83128 111214	05/13/2016 33207	KUNKEL PROPERTIES INC 9406	240.10 240.10
49530 14526 14605 14608 14610 14616 14617 14618 14636 14643	05/13/2016 35227 33636 33636 33636 33636 33636 33636 33636 33636	LAWYERS TITLE OF TOPEKA INC 3002	1,500.00 300.00 150.00 150.00 150.00 150.00 150.00 150.00 150.00
49531 5647	05/13/2016 35081	LFM LLC 1190	69.00 69.00
49532 1234JACK F	05/13/2016 33149	LIGHTHOUSE CONTRACTING INC 3061	2,075.00 2,075.00

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49533	05/13/2016	MATHER FLARE RENTAL INC 5791	3,971.08
3037	33989		900.00
3038	33429		513.76
3039	33429		1,384.60
3040	33429		188.10
3041	33539		14.96
3042	33539		90.00
3045	33989		600.00
3048	33539		163.20
3049	33539		48.96
3059	33539		67.50
49534	05/13/2016	MATHESON TRI-GAS INC 7179	149.95
13232010	33208		54.95
13237593	33419		95.00
49535	05/13/2016	MEDTRAK SERVICES LLC 3330	116,311.97
201617	33777		74,636.40
201876	33777		36,149.34
201877	33777		5,526.23
49536	05/13/2016	METROPOLITAN TOPEKA 3366	1,116.11
0027908 IN	35226		1,116.11
49537	05/13/2016	MICHAEL & SONS INC 3377	15,077.21
675360	34990		15,077.21
49538	05/13/2016	MINNESOTA ELEVATOR INC 7834	6,861.80
655760	35009		425.30
655902	35131		700.00
655936	35128		787.50
656492	35130		809.10
656493	35129		1,249.00
658896	35121		789.00
659054	35127		614.90
659628	33849		1,487.00
49539	05/13/2016	MURPHY, EUGENE EDWARD 9492	251.00
774242	35045		251.00
49540	05/13/2016	MYGOV LLC 9627	1,600.00
1405	33638		1,600.00
49541	05/13/2016	O REILLY AUTO PARTS 3714	675.10
0152 231509	33300		89.27
0152 231605	33300		25.96
0152 232494	33300		198.38
0152 232495	33300		3.73
0152 232781	33300		91.19
0152 235549	33215		1.14
0152 235676	33300		30.25
0152 236097	33300		11.75
0152 236124	33300		105.70
0152 236396	33300		7.34
0152 236468	33300		3.33
0152 236855	33300		107.06
49542	05/13/2016	ONEILL EXCAVATING INC 10202	5,404.00
000048	34989		5,404.00
49543	05/13/2016	PACE ANALYTICAL SERVICES 3794	1,580.00
165986	33433		160.00

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
166199309	33433		1,420.00
49544	05/13/2016	PEOPLES COMMERCIAL INSURANCE 6948	80.00
8938	35027		80.00
49545	05/13/2016	PROFESSIONAL ENGINEERING 4018	5,723.30
246998	27738		1,639.70
513290	27385		4,083.60
49546	05/13/2016	PRUETT, MELODEE K 9855	1,950.00
64855 2	34855		1,950.00
49547	05/13/2016	QAL-TEK ASSOCIATES LLC 8335	800.00
16 16328	35159		800.00
49548	05/13/2016	RANDY LONG TRUCKING LLC 4105	23,560.00
7094	33459		23,560.00
49549	05/13/2016	RED THE UNIFORM TAILOR INC 4131	299.85
00R23465	34691		299.85
49550	05/13/2016	REIN, LINNEA S 4166	274.00
808137	33945		68.00
808141	33503		20.00
808142	33503		25.00
808143	33503		83.00
808144	33503		30.00
808147	33503		48.00
49551	05/13/2016	ROBERT A ELLIS 4373	7,938.00
2111	34754		7,938.00
49552	05/13/2016	ROBERTS, WAYNE J 10153	5,814.00
102	34488		5,814.00
49553	05/13/2016	RONALD E BERGQUIST 6593	725.00
6097	34933		725.00
49554	05/13/2016	SARIK LLC 9207	3,214.68
2706	34873		777.33
2707	34874		937.24
2708	34873		1,500.11
49555	05/13/2016	SELLERS EQUIPMENT INC 4470	1,627.50
IC223527	33303		1,627.50
49556	05/13/2016	SOUTHERN UNIFORM & EQUIPMENT 4672	34.15
31821	33601		34.15
49557	05/13/2016	STAPLES CONTRACT N COMMERCIAL 4725	833.03
3299047467	34912		91.28
3299690103	34977		105.58
3299690104	35000		9.49
3299690108	34970		120.24
3299754928	34988		100.46
3299754929	35000		328.70
3299946735	35022		22.14
3300020987	35031		55.14
49558	05/13/2016	STERBENZ & CO INC 4750	2,785.00
16 0877	34958		2,785.00

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49559	05/13/2016	SUPERIOR SIGNALS INC 6761	1,123.00
410395	33357		437.00
410398	33357		686.00
49560	05/13/2016	THE TERMINIX INTERNATIONAL 10096	203.98
21230432	33231		203.98
49561	05/13/2016	TOPEKA YOUTH PROJECT INC 5060	13,349.00
11093	33708		11,000.00
11901	34390		2,349.00
49562	05/13/2016	U S LIME COMPANY - ST CLAIR 5117	15,166.48
157001	33196		3,721.79
157022	33196		7,648.00
157037	33196		3,796.69
49563	05/13/2016	UMB BANK NA 5127	30,298.49
PCARD05062016			30,298.49
49564	05/13/2016	VANDERBILT'S NO 6 5199	324.97
285272	34789	BOOTS & SHOES-ROBIN BLANSHAN	194.98
285956	33219		129.99
49565	05/13/2016	VETERINARY MEDICAL & SURGICAL 5222	276.67
93548	33626		276.67
49566	05/13/2016	VICTOR L PHILLIPS COMPANY INC 5225	866.75
WT35321	33312		866.75
49567	05/13/2016	WALKER TOWEL & UNIFORM 5266	218.45
2126199	33404		88.05
2126860	33218		12.45
2127438	33218		7.65
2127439	33218		23.90
2127443	33557		8.00
2128031	33557		16.90
2128032	33557		2.40
2128033	33557		27.70
2128034	33557		4.80
2128035	33557		15.00
2128036	33557		11.60
49568	05/13/2016	KENNEY, BRUCE RANDALL 10353	809.00
MCL101-0516		S+C MAY2016Payment	384.00
MCL101-DEP		S+C MAY2016Deposit	425.00
49569	05/13/2016	PROCHASKA, LUCAS 9598	117.00
LOR105-0516A		S+C MAY2016Payment	117.00
49570	05/13/2016	VANHOUSE, DANIEL W 5201	1,808.00
HAR106-0516		S+C MAY2016Payment	858.00
HAR106-DEP		S+C MAY2016Deposit	950.00
49571	05/13/2016	VALEO BEHAVIORAL HEALTH CARE 5187	99,136.07
2016QTR01	34439		99,136.07
49572	05/13/2016	AFSCME MISSOURI STATE COUNCIL 83	1,905.75
UNA116051323042		Union Dues - AFSCME	311.85
UNA116051323042		Union Dues - AFSCME	346.50
UNA116051323042		Union Dues - AFSCME	485.10
UNA116051323042		Union Dues - AFSCME	762.30

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49573	05/13/2016	AMERICAN HERITAGE LIFE 147	2,589.40
SD5516051323042		SHORT TERM DISABILITY EE AT	562.14
SD5516051323042		SHORT TERM DISABILITY EE AT	326.84
SD5516051323042		SHORT TERM DISABILITY EE AT	116.64
SD5516051323042		SHORT TERM DISABILITY EE AT	152.45
SD5516051323042		SHORT TERM DISABILITY EE AT	236.54
SD5516051323042		SHORT TERM DISABILITY EE AT	25.36
SD5516051323042		SHORT TERM DISABILITY EE AT	259.50
SD5516051323042		SHORT TERM DISABILITY EE AT	219.20
SD5516051323042		SHORT TERM DISABILITY EE AT	207.19
SD5516051323042		SHORT TERM DISABILITY EE AT	425.02
SD5516051323042		SHORT TERM DISABILITY EE AT	58.52
49574	05/13/2016	CITY OF TOPEKA FRIENDSHIP FUND 948	295.50
FR1016051323042		Friendship Fund	47.00
FR1016051323042		Friendship Fund	25.00
FR1016051323042		Friendship Fund	32.00
FR1016051323042		Friendship Fund	16.00
FR1016051323042		Friendship Fund	3.00
FR1016051323042		Friendship Fund	10.00
FR1016051323042		Friendship Fund	4.00
FR1016051323042		Friendship Fund	11.00
FR1016051323042		Friendship Fund	21.00
FR1016051323042		Friendship Fund	87.50
FR1016051323042		Friendship Fund	33.00
FR1016051323042		Friendship Fund	6.00
49575	05/13/2016	FIREMENS OFF DUTY RELIEF FUND 1676	3,463.30
FO1016051323042		Firefighter's Off Duty Relief	3,463.30
49576	05/13/2016	INTERNATIONAL ASSOCIATION OF 2424	7,586.40
ADMIN FEE 5/13/16	PAYROLL		-14.10
UNI116051323042		Union Dues - IAFF	7,600.50
49577	05/13/2016	KANSAS ASSOCIATION OF PUBLIC 2630	1,916.75
UNK116051323042		Union Dues - KAPE	221.19
UNK116051323042		Union Dues - KAPE	221.19
UNK116051323042		Union Dues - KAPE	67.77
UNK116051323042		Union Dues - KAPE	44.71
UNK116051323042		Union Dues - KAPE	89.42
UNK116051323042		Union Dues - KAPE	218.81
UNK116051323042		Union Dues - KAPE	281.92
UNK116051323042		Union Dues - KAPE	771.74
49578	05/13/2016	KANSAS PAYMENT CENTER 2732	228.92
0000000741605132		Child Support - Amt	228.92
49579	05/13/2016	KANSAS PAYMENT CENTER 2732	163.43
0000000861605132		Child Support - Amt	163.43
49580	05/13/2016	KANSAS PAYMENT CENTER 2732	442.15
0000001191605132		Child Support - Amt	442.15
49581	05/13/2016	KANSAS PAYMENT CENTER 2732	320.92
0000001451605132		Child Support - Amt	320.92
49582	05/13/2016	KANSAS PAYMENT CENTER 2732	183.69
0000002041605132		Child Support - Amt	183.69
49583	05/13/2016	KANSAS PAYMENT CENTER 2732	991.11
0000002221605132		Child Support - Amt	991.11

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49584	05/13/2016	KANSAS PAYMENT CENTER 2732	53.08
0000002421605132		Child Support - Amt	53.08
49585	05/13/2016	KANSAS PAYMENT CENTER 2732	144.00
0000002941605132		Child Support - Amt	144.00
49586	05/13/2016	KANSAS PAYMENT CENTER 2732	112.15
0000003161605132		Child Support - Amt	112.15
49587	05/13/2016	KANSAS PAYMENT CENTER 2732	259.85
0000003241605132		Child Support - Amt	259.85
49588	05/13/2016	KANSAS PAYMENT CENTER 2732	277.38
0000003401605132		Child Support - Amt	277.38
49589	05/13/2016	KANSAS PAYMENT CENTER 2732	498.46
0000003431605132		Child Support - Amt	498.46
49590	05/13/2016	KANSAS PAYMENT CENTER 2732	184.15
0000003451605132		Child Support - Amt	184.15
49591	05/13/2016	KANSAS PAYMENT CENTER 2732	183.29
0000003481605132		Child Support - Amt	183.29
49592	05/13/2016	KANSAS PAYMENT CENTER 2732	25.15
0000003801605132		Child Support - Amt	25.15
49593	05/13/2016	KANSAS PAYMENT CENTER 2732	368.88
0000003851605132		Child Support - Amt	368.88
49594	05/13/2016	KANSAS PAYMENT CENTER 2732	144.46
0000004171605132		Child Support - Amt	144.46
49595	05/13/2016	KANSAS PAYMENT CENTER 2732	185.13
0000004471605132		Child Support - Amt	185.13
49596	05/13/2016	KANSAS PAYMENT CENTER 2732	361.85
0000004521605132		Child Support - Amt	361.85
49597	05/13/2016	KANSAS PAYMENT CENTER 2732	230.77
0000004901605132		Child Support - Amt	230.77
49598	05/13/2016	KANSAS PAYMENT CENTER 2732	129.23
0000005861605132		Child Support - Amt	129.23
49599	05/13/2016	KANSAS PAYMENT CENTER 2732	267.69
0000006411605132		Child Support - Amt	267.69
49600	05/13/2016	KANSAS PAYMENT CENTER 2732	323.08
0000006411605132		Child Support - Amt	323.08
49601	05/13/2016	KANSAS PAYMENT CENTER 2732	415.51
0000006671605132		Child Support - Amt	415.51
49602	05/13/2016	KANSAS PAYMENT CENTER 2732	192.00
0000007081605132		Child Support - Amt	192.00
49603	05/13/2016	KANSAS PAYMENT CENTER 2732	121.88
0000007321605132		Child Support - Amt	121.88
49604	05/13/2016	KANSAS PAYMENT CENTER 2732	209.08

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
0000007541605132		Child Support - Amt	209.08
49605	05/13/2016	KANSAS PAYMENT CENTER 2732	230.77
0000007791605132		Child Support - Amt	230.77
49606	05/13/2016	KANSAS PAYMENT CENTER 2732	69.23
0000007851605132		Child Support - Amt	69.23
49607	05/13/2016	KANSAS PAYMENT CENTER 2732	185.08
0000007851605132		Child Support - Amt	185.08
49608	05/13/2016	KANSAS PAYMENT CENTER 2732	122.77
0000007911605132		Child Support - Amt	122.77
49609	05/13/2016	KANSAS PAYMENT CENTER 2732	306.09
0000008151605132		Child Support - Amt	306.09
49610	05/13/2016	KANSAS PAYMENT CENTER 2732	256.15
0000008271605132		Child Support - Amt	256.15
49611	05/13/2016	KANSAS PAYMENT CENTER 2732	184.62
0000008631605132		Child Support - Amt	184.62
49612	05/13/2016	KANSAS PAYMENT CENTER 2732	443.08
0000008661605132		Child Support - Amt	443.08
49613	05/13/2016	KANSAS PAYMENT CENTER 2732	464.91
0000009111605132		Child Support - Amt	464.91
49614	05/13/2016	KANSAS PAYMENT CENTER 2732	147.23
0000009241605132		Child Support - Amt	147.23
49615	05/13/2016	KANSAS PAYMENT CENTER 2732	88.64
0000009361605132		Child Support - Amt	88.64
49616	05/13/2016	KANSAS PAYMENT CENTER 2732	304.15
0000009591605132		Child Support - Amt	304.15
49617	05/13/2016	KANSAS PAYMENT CENTER 2732	487.38
0000009821605132		Child Support - Amt	487.38
49618	05/13/2016	KANSAS PAYMENT CENTER 2732	144.51
0000010151605132		Child Support - Amt	144.51
49619	05/13/2016	KANSAS PAYMENT CENTER 2732	124.15
0000010221605132		Child Support - Amt	124.15
49620	05/13/2016	KANSAS PAYMENT CENTER 2732	182.77
0000010431605132		Child Support - Amt	182.77
49621	05/13/2016	KANSAS PAYMENT CENTER 2732	77.77
0000010561605132		Child Support - Amt	77.77
49622	05/13/2016	KANSAS PAYMENT CENTER 2732	153.69
0000010931605132		Child Support - Amt	153.69
49623	05/13/2016	KANSAS PAYMENT CENTER 2732	386.31
0000010971605132		Child Support - Amt	386.31
49624	05/13/2016	KANSAS PAYMENT CENTER 2732	392.43
0000011291605132		Child Support - Amt	392.43

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49625 0000011321605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	279.78 279.78
49626 0000011811605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	335.64 335.64
49627 0000011891605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	113.11 113.11
49628 0000011891605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	219.69 219.69
49629 0000011931605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	153.69 153.69
49630 0000011931605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	140.31 140.31
49631 0000012001605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	56.31 56.31
49632 0000014741605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	183.23 183.23
49633 0000019791605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	384.46 384.46
49634 0000021541605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	115.38 115.38
49635 0000021911605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	160.62 160.62
49636 0000022591605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	412.62 412.62
49637 0000023351605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	180.46 180.46
49638 0000023791605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	86.77 86.77
49639 0000024101605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	108.33 108.33
49640 0000024761605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	1,127.54 1,127.54
49641 0000024781605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	461.53 461.53
49642 0000024931605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	68.77 68.77
49643 0000025031605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	74.31 74.31
49644 0000025151605132	05/13/2016	KANSAS PAYMENT CENTER Child Support - Amt 2732	127.85 127.85

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49645	05/13/2016	KANSAS PAYMENT CENTER 2732	251.08
0000025291605132		Child Support - Amt	251.08
49646	05/13/2016	KANSAS PAYMENT CENTER 2732	228.00
0000026221605132		Child Support - Amt	228.00
49647	05/13/2016	NATIONAL GUARDIAN LIFE 5737	9.18
IA515521 APR 2016	33890		9.18
49648	05/13/2016	NATIONAL GUARDIAN LIFE 5737	4,538.70
ADJ-MARKER C 5/	PAYROLL		18.36
ADJ-ROUSE J 5/13	PAYROLL		9.18
ADJ-WATKINS S 5/	PAYROLL		9.18
ADJ-WORDEN R 5/	PAYROLL		9.18
VS20160513230421		VISION EE PRE TAX	471.51
VS20160513230421		VISION EE PRE TAX	1,098.09
VS20160513230421		VISION EE PRE TAX	202.41
VS20160513230421		VISION EE PRE TAX	133.29
VS20160513230421		VISION EE PRE TAX	138.06
VS20160513230421		VISION EE PRE TAX	144.81
VS20160513230421		VISION EE PRE TAX	57.51
VS20160513230421		VISION EE PRE TAX	227.61
VS20160513230421		VISION EE PRE TAX	225.36
VS20160513230421		VISION EE PRE TAX	1,370.97
VS20160513230421		VISION EE PRE TAX	361.17
VS20160513230421		VISION EE PRE TAX	62.01
49649	05/13/2016	TEAMSTERS LOCAL UNION 696 4892	901.00
UNT116051323042		Union Dues - Teamsters	901.00
49650	05/13/2016	UNITED WAY OF GREATER TOPEKA 5157	95.00
UW1016051323042		United Way	27.00
UW1016051323042		United Way	7.00
UW1016051323042		United Way	1.00
UW1016051323042		United Way	1.00
UW1016051323042		United Way	6.00
UW1016051323042		United Way	16.00
UW1016051323042		United Way	12.00
UW1016051323042		United Way	17.00
UW1016051323042		United Way	8.00
49651	05/13/2016	UNITED WORKERS OF 10010	670.50
ADMIN FEE 5/13/16	PAYROLL		-4.50
UNW216051323042		UWETT - Union Dues	675.00
49652	05/13/2016	ACE ELECTRIC JONES COMPANY INC 35	2,669.32
2997	33728		1,596.02
3194	33728		568.64
3224	33728		504.66
49653	05/13/2016	BERRY COMPANIES INC 5408	226.85
06150758	33314		212.65
06150796	33314		14.20
49654	05/13/2016	BETTIS ASPHALT & CONSTRUCTION 470	249,873.93
1605 031	34847		5,617.93
1605 032	34719		244,256.00
49655	05/13/2016	BORDER STATES INDUSTRIES INC 9824	965.48
S5340055 002	33417		426.62
S5366527 002	33417		354.57
S5369341 001	33417		64.63
S5369341 002	33417		119.66

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49656	05/13/2016	CAPITAL BELT & SUPPLY INC 776	398.96
91913	33474		83.19
91931	33474		220.90
91995	33377		94.87
49657	05/13/2016	CAPITAL CITY OIL CO INC 778	19,283.91
1051494	33333		478.25
1052239	33331		16,033.25
1052471	33333		175.80
FF 096	33331		438.09
FF 582	33331		248.12
L 15297	33333		1,910.40
49658	05/13/2016	CHAMPION BRANDS LLC 883	910.09
498708	33336		
49659	05/13/2016	EMCON INC 1523	5,074.00
12541	35076		2,668.00
12542	35076		2,406.00
49660	05/13/2016	FERGUSON ENTERPRISES INC 1639	591.50
2493723	33475		417.00
2496270	33475		15.57
2498010	33383		149.69
2498341	33475		9.24
49661	05/13/2016	FLU-CON INC 1729	587.09
P 16262 0	33272		95.14
P 16310 0	33272		65.18
P 16312 0	33272		44.70
P 16352 0	33272		17.01
P 16361 0	33272		20.39
P 16373 0	33272		204.54
P 16416 0	33272		140.13
49662	05/13/2016	HD SUPPLY FACILITIES 5175	184.20
933327	33449		
49663	05/13/2016	HD SUPPLY WATERWORKS LTD 2146	22,372.31
F368081	34956		1,691.54
F372899	34930		7,651.60
F386925	34966		3,932.50
F393078	34956		8,672.80
F394174	34956		423.87
49664	05/13/2016	HME INC 2261	2.40
400299	33375		
49665	05/13/2016	MID-AMERICAN SIGNAL INC 3393	2,390.00
15 562 1	31747		8,471.00
15 562 1CR	31747		-8,471.00
15 563 1	31749		8,471.00
15 563 1CR	31749		-8,471.00
16 299	34980		2,390.00
49666	05/13/2016	SALISBURY SUPPLY COMPANY INC 4352	308.09
75586	33565		60.22
75735	33565		87.90
75751	33565		39.84
75755	33565		30.95
75865	33565		7.52
75873	33565		7.40

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
76207	33565		74.26
49667	05/13/2016	SCHMIDTLEIN EXCAVATING INC 4406	109,559.39
15128 WATER01	31386		109,559.39
49668	05/13/2016	TAZCO INC 4885	27,424.75
3230	34543		19,012.50
3231	34542		8,412.25
49669	05/13/2016	TFM COMM INC 4914	791.70
180976	33217		35.19
180978	33485		756.51
49670	05/20/2016	AAA CLUB ALLIANCE INC 10251	1,218.50
289415	34556		63.50
289418	34556		38.50
289497	34556		38.50
289498	34556		38.50
289548	34556		38.50
289761	34556		38.50
289763	34556		38.50
289764	34556		38.50
289767	34556		38.50
290196	34556		38.50
290261	34556		38.50
290330	34556		38.50
290331	34556		38.50
290333	34556		38.50
290334	34556		38.50
290335	34556		38.50
290336	34556		38.50
290337	34556		38.50
290338	34556		38.50
290340	34556		38.50
291284	34556		38.50
244056	34546		38.50
283042	34556		38.50
283043	34556		38.50
283045	34556		38.50
283069	34546		38.50
283361	34556		38.50
283362	34556		38.50
283363	34556		38.50
283364	34556		38.50
283366	34556		38.50
49671	05/20/2016	AMERIPRIDE 197	308.50
2300663216	33559		67.98
2300663434	33559		6.16
2300663437	33559		44.12
2300663443	33559		130.11
2300663445	33559		60.13
49672	05/20/2016	BARTLETT & WEST ENGINEERS 391	179,534.57
730056437	24381		17,432.58
730056443	27680		13,007.30
730056445	34828		47,758.18
730056446	35236		21,286.73
730056447	34248		9,720.00
730056448	32397		10,931.40
730056449	32656		6,764.55
730056451	35057		52,633.83

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49673	05/20/2016	BASF CORPORATION 6538	12,047.04
135496031	33190		
49674	05/20/2016	BINSWANGER ENTERPRISES LLC 7825	249.72
I593009012	33322		
49675	05/20/2016	BLUE CROSS BLUE SHIELD INC 528	97,489.24
W/E 05/17/16	33397		
49676	05/20/2016	C & C PRODUCE 7788	520.50
000979517	33233		
49677	05/20/2016	CENTER FOR PUBLIC SAFETY 9937	11,559.09
1155	31160		985.16
1214	31160		7,100.00
1230	31160		3,473.93
49678	05/20/2016	CENTURY BUSINESS TECHNOLOGIES 870	11,277.37
411245	33174		1.73
411246	33174		288.74
411357	33174		5,409.46
411379	33174		1,158.37
411393	33174		749.28
411394	33174		537.79
411724	33174		3,132.00
49679	05/20/2016	CHESNEY PARK NIA 914	70.00
35261	35261		
49680	05/20/2016	CODE PUBLISHING COMPANY 999	193.05
336207	33620		
49681	05/20/2016	COLLECTION BUREAU 1023	2,458.14
3699	33749		1,742.58
3701	33822		655.56
3702	33436		60.00
49682	05/20/2016	CONCEPTS FOR BUSINESS LLC 1063	210.38
41944	33516		
49683	05/20/2016	CONCRETE SUPPLY OF TOPEKA 1066	1,728.00
111488	33204		
49684	05/20/2016	CONSOLIDATED ELECTRICAL 6778	229.22
8795 532116	33673		
49685	05/20/2016	CORNERSTONE OF TOPEKA INC 1116	31,484.70
13055	33985		
49686	05/20/2016	DELTA DENTAL OF KANSAS INC 1323	8,662.30
W/E 05/12/16	33776		
49687	05/20/2016	ELECTRONICS SUPPLY CO INC 1505	678.30
1620813	33381		618.80
1620814	33381		59.50
49688	05/20/2016	EMBROIDERY PLUS 1522	302.82
36077	34981		154.87
36078	34903		147.95
49689	05/20/2016	ETHANOL PRODUCTS LLC 9576	1,501.80
CO2160557	33195		

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49690 0032591219	05/20/2016 CONSTELLATION	EXELON CORPORATION 8898	11,263.24 11,263.24
49691 17228807 8 17228808 6	05/20/2016 34739 34635	EXPRESS SERVICES INC 9622	272.32 3,702.76 3,975.08
49692 23685 14	05/20/2016 23685	GARNEY COMPANIES INC 5785	390,603.57 390,603.57
49693 34595 #3709300 3/	05/20/2016 34595	GISH, RONALD J 10048	92.50 92.50
49694 0694 0695 0697 0698 0702 0703 0704 0711 0712	05/20/2016 34812 34811 34992 34991 34788 34848 34849 34999 34996	HENRY OUTDOOR POWER LLC 8004	170.00 555.00 145.00 65.00 1,097.50 333.00 84.00 40.00 180.00 2,669.50
49695 252	05/20/2016 33513	INNOVATIVE BUSINESS CONCEPTS 8226	13.46 13.46
49696 6 219686 6 219694 6 219852	05/20/2016 33288 33288 33288	KAN EQUIPMENT INC 2621	120.40 58.63 93.87 272.90
49697 2016 04 AH 2016 04 CI	05/20/2016 34163 34164	KANSAS DEPT OF CORRECTIONS 2673	7,979.28 3,990.59 11,969.87
49698 5105899141447465 5106094271423661 5106114511447478 5106114512023925 5104557811003101 5105050161003101 5100783221646795 5101029401003101 5103036391452105 5104001871447455	05/20/2016 KS GAS 3245 WA KS GAS MUNICIP KS GAS PARK KS GAS ZOO KS GAS CODE KS GAS WPC KS GAS WPC KS GAS FIRE KS GAS POLICE KS GAS WPC	KANSAS GAS SERVICE 2707	268.78 860.37 1,220.04 62.31 148.85 1,341.14 1,140.46 2,508.75 474.36 905.33 8,930.39
49699 3038613 3038700 3038786 3038787 3038788 3038789 3038790 3038791	05/20/2016 34165 34165 34456 33409 33472 33567 34165 34568	KANSAS PERSONNEL SERVICES INC 2849	592.18 605.15 612.00 3,009.56 293.37 946.95 484.12 402.33 6,945.66
49700 APRIL 2016	05/20/2016 DE	KANSAS STATE TREASURER 2757	42,971.61 42,971.61

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49701	05/20/2016	KCR INTERNATIONAL TRUCKS INC 1347	2,408.72
130109640	33269		68.94
130109678	33269		193.96
130109690	33269		312.07
130202223	33269		1,518.99
130202233	33269		314.76
49702	05/20/2016	KEY WORKFORCE SOLUTIONS INC 9879	835.20
3038783	33428		835.20
49703	05/20/2016	KUNKEL PROPERTIES INC 9406	585.89
83128 111316	33207		585.89
49704	05/20/2016	LEMAC CO INC 7109	2,250.00
12632	33152		2,250.00
49705	05/20/2016	LIGHTHOUSE CONTRACTING INC 3061	10,500.00
17PINE F	34644		10,500.00
49706	05/20/2016	MATHER FLARE RENTAL INC 5791	10,904.80
3046	33539		2,025.00
3047	33539		3,465.00
3062	33539		857.12
3063	33539		222.60
3064	33539		1,265.00
3065	33539		221.68
3066	33429		683.40
3085	33539		225.00
3086	33539		1,940.00
49707	05/20/2016	MATHESON TRI-GAS INC 7179	172.31
13267380	33419		172.31
49708	05/20/2016	MEALS ON WHEELS OF SHAWNEE AND 3327	8,611.00
MAR 2016	34384		8,611.00
49709	05/20/2016	MEDTRAK SERVICES LLC 3330	137,522.79
202657	33777		79,362.17
202916	33777		53,020.28
202917	33777		5,140.34
49711	05/20/2016	NCH CORPORATION 875	377.24
2299135	33335		377.24
49712	05/20/2016	O REILLY AUTO PARTS 3714	454.26
0152 232456	33349		55.99
0152 233482	33300		4.69
0152 233515	33300		4.69
0152 233531	33300		15.98
0152 233742	33300		189.41
0152 233836	33300		-10.00
0152 233961	33300		-2.49
0152 233965	33212		2.84
0152 234114	33300		2.99
0152 234222	33300		113.89
0152 234554	33300		4.69
0152 237132	33300		44.46
0152 237200	33300		4.60
0152 237303	33300		12.73
0152 237410	33300		9.79
49713	05/20/2016	OMEGA DOOR AND HARDWARE 3747	1,351.18

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
056127	33733		972.00
056139	33733		379.18
49714	05/20/2016	ONEILL EXCAVATING INC 10202	3,941.00
000049	35106		3,941.00
49715	05/20/2016	PACE ANALYTICAL SERVICES 3794	165.00
1660003251	33466		165.00
49716	05/20/2016	PROTECTION 1 ALARM MONITORING 6532	1,383.36
109240112	33885		168.00
109389326	PROTECTION 1		1,215.36
49717	05/20/2016	R & R VENTURES OF TOPEKA INC 4065	1,320.00
2016 10	33747		1,320.00
49718	05/20/2016	R E PEDROTTI COMPANY 4067	12,456.00
00053160 TOKSWL	32932		12,456.00
49719	05/20/2016	REIN, LINNEA S 4166	76.00
908152	33503		21.00
908153	33503		30.00
908154	33503		25.00
49720	05/20/2016	SARIK LLC 9207	1,895.72
2712	34873		1,895.72
49721	05/20/2016	SIMPLIFILE LC 9508	1,312.00
APRIL 2016	DE		1,312.00
49722	05/20/2016	STAPLES CONTRACT N COMMERCIAL 4725	3,644.74
3299464600	34959		10.02
3300106725	35023		217.44
3300106731	35018		271.80
3300106733	34993		2,174.40
3300106734	35004		54.36
3300210869	35041		262.88
3300324010	34977		8.92
3300324011	35046		56.05
3300324012	35046		36.92
3300493500	35000		28.11
3300574829	35083		194.87
3300646173	35096		283.24
3300646174	35108		45.73
49723	05/20/2016	SUNGARD PUBLIC SECTOR INC 4820	1,307.81
118591	33427		1,307.81
49724	05/20/2016	THE GOODYEAR TIRE & RUBBER CO 9375	1,785.14
123 1052354	33361		1,785.14
49725	05/20/2016	THE TERMINIX INTERNATIONAL 10096	203.98
21230433	33231		203.98
49726	05/20/2016	THE TIRE CUTTERS INC 5633	1,225.50
50733	33494		1,225.50
49727	05/20/2016	THERMO FISHER SCIENTIFIC LLC 4949	228.87
2810385	33194		228.87
49728	05/20/2016	U S LIME COMPANY - ST CLAIR 5117	14,890.30
157080	33196		3,612.56

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
157103	33196		3,768.61
157120	33196		7,509.13
49729	05/20/2016	UMB BANK NA 5127	40,979.72
PCARD05132016			40,979.72
49730	05/20/2016	VANDERBILT'S NO 6 5199	369.97
283113	35279		109.99
283668	35279		159.99
286971	33219		99.99
49731	05/20/2016	WALKER TOWEL & UNIFORM 5266	76.25
2129801	33218		12.45
2129811	33374		32.25
2130407	33218		7.65
2130408	33218		23.90
49732	05/20/2016	WESTERN WATERPROOFING CO INC 7364	73,210.50
32036	29946		73,210.50
49733	05/20/2016	WESTSIDE STAMP & AWARDS INC 5865	2,240.00
156465	34807		2,240.00
49734	05/20/2016	BALANCED PROPERTY MANAGEMENT 10373	519.00
MAR115-0516B		S+C MAY2016 Payment	319.00
MAR115-DEP		S+C MAY2016 Deposit	200.00
49735	05/20/2016	DELAPP, PATRICK 1315	675.00
ESP101-0516		S+C MAY2016 Payment	280.00
ESP101-DEP		S+C MAY2016 Deposit	395.00
49736	05/20/2016	HEIDEMAN APARTMENTS LLC 9237	786.00
GRI101-0516A		S+C MAY2016 Payment	170.00
HOL109-0516A		S+C MAY2016 Payment	105.00
MAR115-0516A		S+C MAY2016 Payment	170.00
MIC112-0516A		S+C MAY2016 Payment	173.00
SPA102-0516A		S+C MAY2016 Payment	168.00
49737	05/20/2016	MELARA SANDOVAL, NELSON RENAN 10372	867.00
BAR102-0516		S+C MAY2016 Payment	323.00
BAR102-DEP		S+C MAY2016 Deposit	544.00
49738	05/20/2016	PIONEER MOVITIVE POWER PLACE LP 9278	409.00
PAY107-0516		S+C MAY2016 Payment	209.00
PAY107-DEP		S+C MAY2016 Deposit	200.00
49739	05/20/2016	RENTAL MANAGEMENT SOLUTIONS LL 4176	448.00
SPA102-0516B		S+C MAY2016 Payment	248.00
SPA102-DEP		S+C MAY2016 Deposit	200.00
49740	05/20/2016	TRINITY PROPERTIES LLC 5098	886.00
MIC112-0516B		S+C MAY2016 Payment	386.00
MIC112-DEP		S+C MAY2016 Deposit	500.00
49741	05/20/2016	WYATT, MELISSA 9856	758.00
RET101-DMGS		S+C MAY2016 Damages	758.00
49742	05/20/2016	ACE ELECTRIC JONES COMPANY INC 35	3,001.81
3222	35208		866.55
3229	35215		285.52
3230	35208		471.06
3232	33728		342.75

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
3233	33728		398.43
3234	33728		375.00
3237	35208		262.50
49743	05/20/2016	BERRY COMPANIES INC 5408	69.84
06151086	33314		69.84
49744	05/20/2016	BORDER STATES INDUSTRIES INC 9824	216.27
S5373813 001	33417		16.93
S5374045 001	33417		199.34
49745	05/20/2016	CAPITAL BELT & SUPPLY INC 776	26.06
92090	33377		26.06
49746	05/20/2016	CAPITAL CITY OIL CO INC 778	15,495.58
1052718	33331		15,020.93
FF818	33430		474.65
49747	05/20/2016	DANCO SYSTEMS INC 1243	2,512.66
59654	34838		2,512.66
49748	05/20/2016	EMCON INC 1523	2,159.00
12543	35157		2,159.00
49749	05/20/2016	FERGUSON ENTERPRISES INC 1639	723.69
2498010 1	33383		167.51
2504549	33383		28.50
2507954	33383		527.68
49750	05/20/2016	FLU-CON INC 1729	5.89
P 15520 0	33272		5.89
49751	05/20/2016	HACH COMPANY 2038	325.00
9907083	33379		325.00
49752	05/20/2016	HD SUPPLY WATERWORKS LTD 2146	27,940.29
F373213	34949		7,192.94
F386895	34962		3,611.30
F393223	34956		11,500.30
F399179	35007		331.75
F454952	34621		5,304.00
49753	05/20/2016	HME INC 2261	91.80
400313	33375		91.80
49754	05/20/2016	KRIZ DAVIS COMPANY 2916	389.63
S101290504 001	33667		370.00
S101321306 001	33415		19.63
49755	05/20/2016	NEPTUNE TECHNOLOGY GROUP INC 3658	16,640.00
N448284	34964		16,640.00
49756	05/20/2016	NORTHEAST KANSAS HYDRAULICS IN 3705	1,191.08
30389	33299		736.06
30390	33299		402.52
30391	33299		52.50
49757	05/20/2016	SALISBURY SUPPLY COMPANY INC 4352	56.88
76332	33540		6.48
76636	33302		25.20
76637	33302		25.20

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49758	05/20/2016	SCHMIDTLEIN EXCAVATING INC 4406	411,675.64
15118 STREET06	30922		74,359.88
15128 08	31386		337,315.76
49759	05/20/2016	TAZCO INC 4885	64,775.60
3234	34025		52,925.63
3235	34950		6,314.00
3236	35102		3,641.00
3237	34918		1,894.97
49760	05/20/2016	TFM COMM INC 4914	1,974.00
181100	33561		1,394.00
181159	33403		475.00
181162	33403		105.00
49761	05/20/2016	TOPEKA BLUE PRINT INC 5015	81.72
165316	33584		74.72
76500	33584		7.00
49762	05/20/2016	UDDIN, SHOEB 8137	1,350.00
SD 14 11 2 FINAL	30835		1,350.00
49763	05/27/2016	COOK & ASSOCIATES LLC 10126	9,660.00
44766 2016	CONTRACT		9,660.00
49764	05/27/2016	WHITNEY B DAMRON PA 5418	5,750.00
33615 APR 2016	33615		5,750.00
49765	05/27/2016	STANLEY, CHRIS D 9135	560.00
EE 42496 7310	34101		560.00
49766	05/27/2016	A 1 LOCK & KEY LLC 13	30.12
85815	33188		30.12
49767	05/27/2016	A-1 RENTAL INC 20	395.00
51006	33455		125.00
51007	33456		270.00
49768	05/27/2016	AAA CLUB ALLIANCE INC 10251	731.50
289421	34556		38.50
289424	34556		77.00
289502	34556		38.50
289769	34556		38.50
289771	34556		38.50
290045	34556		38.50
290046	34556		38.50
290262	34556		38.50
290342	34556		38.50
290344	34556		38.50
291205	34556		38.50
291285	34556		38.50
291287	34556		38.50
291290	34556		38.50
283078	34546		38.50
283368	34556		38.50
283369	34556		38.50
283370	34556		38.50
49769	05/27/2016	ACISS SYSTEMS INC 40	6,578.10
101255	35146		6,578.10
49770	05/27/2016	ALAMAR UNIFORMS LLC 103	874.96

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
504556	33884		266.17
512576	34994		622.79
512576 80	34994		-14.00
49771	05/27/2016	ALEXANDER OPEN SYSTEMS 112	2,997.39
I0086076	35073		723.41
I0086152	34633		2,273.98
49772	05/27/2016	ALTERNATIVES EAP LLC 8445	1,681.47
6767	33646		1,681.47
49773	05/27/2016	AMERICAN MESSAGING SERVICES 5814	119.57
F1050996QE	33400		119.57
49774	05/27/2016	AMERIPRIDE 197	308.29
2300665882	33559		6.16
2300665889	33559		43.91
2300665895	33559		130.11
2300665901	33559		60.13
2300666012	33559		67.98
49775	05/27/2016	ARTHUR J GALLAGHER RISK 9717	10,725.00
91794	34748		10,725.00
49776	05/27/2016	BENEFITFOCUS 8410	2,536.00
8737	33643		2,536.00
49777	05/27/2016	BERRY COMPANIES INC 463	418.88
03020549	33257		418.88
49778	05/27/2016	BLUE CROSS BLUE SHIELD INC 528	84,842.46
JUNE 2016 ADMIN	33397		84,842.46
49779	05/27/2016	BLUE CROSS BLUE SHIELD INC 528	132,493.39
W/E 05/24/16	33397		132,493.39
49780	05/27/2016	BLUEREVIEW LLC 10363	6,000.00
12831	35281		6,000.00
49781	05/27/2016	BRB CONTRACTORS INC 597	198,603.00
34927 1	34927		198,603.00
49782	05/27/2016	BRENNTAG MID SOUTH 607	3,178.67
BMS360172	33480		3,178.67
49783	05/27/2016	C & C PRODUCE 7788	648.00
000982527	33233		648.00
49784	05/27/2016	CDW GOVERNMENT INC 857	1,189.78
CZB4223	35207		1,189.78
49785	05/27/2016	CENTURY BUSINESS TECHNOLOGIES 870	2,690.45
412387	33174		1,022.13
412420	33174		806.56
412455	33174		640.09
412482	33174		221.67
49786	05/27/2016	CHEMTRADE CHEMCIALS 1864	3,182.34
91811285	33191		3,182.34
49787	05/27/2016	COLUMBIA CAPITAL MANAGEMENT LL 1038	20,000.00
16116005	BONDS		20,000.00

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49788 92337	05/27/2016 34936	CUT N EDGE INC 5919	788.00 788.00
49789 78473961A 78473961B 78516626 78516627 78516628 78516629	05/27/2016 30650 34615 558935 14764 17453 18266	DELL FINANCIAL SERVICES LP 1320	10,925.47 11,291.98 1,190.70 2,572.77 483.00 364.03 26,827.95
49790 W/E 05/19/16 W/E 05/26/16	05/27/2016 33776 33776	DELTA DENTAL OF KANSAS INC 1323	9,576.20 9,835.20 19,411.40
49791 120006170	05/27/2016 32956	DURKIN EQUIPMENT CO 1451	29,526.00 29,526.00
49792 1621725 1621726	05/27/2016 33381 33381	ELECTRONICS SUPPLY CO INC 1505	1,607.66 71.38 1,679.04
49793 36100	05/27/2016 35148	EMBROIDERY PLUS 1522	142.45 142.45
49794 CO2160907	05/27/2016 33195	ETHANOL PRODUCTS LLC 9576	1,515.08 1,515.08
49795 L0262327	05/27/2016 33193	EUROFINS EATON ANALYTICAL INC 8594	450.00 450.00
49796 902615370	05/27/2016 33441	EVOQUA WATER TECHNOLOGIES LLC 9245	1,250.00 1,250.00
49797 17254620 2 17254621 0	05/27/2016 34739 34635	EXPRESS SERVICES INC 9622	255.30 2,888.96 3,144.26
49798 47417	05/27/2016 BONDS	FINANCIAL PRINTING RESOURCE 1662	1,662.95 1,662.95
49799 31189 3	05/27/2016 31189	FINNEY & TURNIPSEED 1669	4,877.04 4,877.04
49800 SS340004796	05/27/2016 35285	FOLEY INDUSTRIES INC 1734	218.85 218.85
49801 10204562	05/27/2016 33684	GARDA CL SOUTHWEST INC 1839	742.50 742.50
49802 102609	05/27/2016 34531	GEAR CLEANING SOLUTIONS LLC 6548	260.41 260.41
49803 SIN001394	05/27/2016 BONDS	GRANT STREET GROUP 1965	1,750.00 1,750.00
49804 010201836	05/27/2016 35134	HARCROS CHEMICALS INC 2090	2,357.13 2,357.13
49805 383	05/27/2016 33555	HARRIS & SONS ENTERPRISES INC 7996	4,587.55 11,296.45

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
384	35152		952.50
385	35103		3,120.00
386	35033		2,636.40
49806	05/27/2016	HELPING HANDS HUMANE SOCIETY I	2183
44141 2016	CONTRACT		25,635.91
			25,635.91
49807	05/27/2016	HENRY OUTDOOR POWER LLC	8004
			4,804.50
0657	35230		150.00
0663	35230		150.00
0674	35230		150.00
0685	35230		150.00
0688	34878		50.00
0696	35230		150.00
0699	34878		50.00
0705	34812		170.00
0706	34811		555.00
0707	35230		150.00
0708	34992		145.00
0709	34991		65.00
0710	34878		50.00
0713	34788		1,097.50
0714	34848		333.00
0715	34849		84.00
0716	34812		170.00
0717	34811		555.00
0718	35230		150.00
0719	34992		145.00
0720	34991		65.00
0722	34999		40.00
0723	34996		180.00
49808	05/27/2016	INNOVATIVE BUSINESS CONCEPTS	8226
41849 2016	CONTRACT		1,263.52
			1,263.52
49809	05/27/2016	JC EHRLICH COMPANY INC	9677
			653.00
30856240	33897		10.00
30856241	33897		50.00
30856242	33897		50.00
30856243	33897		19.00
30856244	33897		19.00
30856245	33897		10.00
30856246	33897		10.00
30856247	33897		10.00
30856248	33897		10.00
30856249	33897		10.00
30856250	33897		10.00
30856251	33897		10.00
30856252	33897		10.00
30856253	33897		10.00
30856254	33897		10.00
30856255	33897		10.00
30856256	33897		10.00
30856257	33897		10.00
30856258	33897		7.00
30856259	33897		7.00
30856260	33897		7.00
30856261	33897		7.00
30856262	33897		7.00
30856263	33897		7.00
30856264	33897		7.00
30856265	33897		7.00
30856266	33897		7.00

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
30856267	33897		7.00
30856268	33897		7.00
30856269	33897		7.00
30856270	33897		7.00
30856271	33897		7.00
30856272	33897		10.50
30856273	33897		10.50
30856274	33897		10.50
30856275	33897		10.50
30856276	33897		10.50
30856277	33897		10.50
30856278	33897		10.50
30856279	33897		10.50
30856280	33897		10.50
30856281	33897		10.50
30856282	33897		10.50
30856283	33897		10.50
30856284	33897		10.50
30856285	33897		10.50
30856286	33897		10.50
30856287	33897		10.50
30856288	33897		10.50
30856289	33897		10.50
30856290	33897		10.50
30856291	33897		10.50
30856292	33897		10.50
30856293	33897		10.50
30856294	33897		10.00
30856295	33897		10.00
30858731	33897		26.00
49810	05/27/2016	KANE, ALAN C	9152
1011	33424		17,100.00
49811	05/27/2016	KANSAS GAS SERVICE	2707
5107329101447470KS GAS 1901 WE			91.84
5104416141447463KS GAS 201 TOP			204.74
1500003431452095KS GAS 620 MAD			556.92
5102026671447452KS GAS TRAFFIC			69.99
49812	05/27/2016	KANSAS PERSONNEL SERVICES INC	2849
3038875	34456		657.90
3038876	33409		3,602.40
3038877	33472		293.37
3038879	34568		585.20
3038880	33661		425.60
49813	05/27/2016	KANSAS STATE TREASURER/DEBT	9781
GO BOND 5/19/16	BONDS		4,080.00
GO BOND 5/23/16	BONDS		200.00
49814	05/27/2016	KCR INTERNATIONAL TRUCKS INC	1347
130109801	33269		434.23
130202226	33269		4,109.52
49815	05/27/2016	KEY WORKFORCE SOLUTIONS INC	9879
3038872	33428		626.40
49816	05/27/2016	LANGUAGE LINE SERVICES INC	2967
3821723	34745		84.15
49817	05/27/2016	LAWYERS TITLE OF TOPEKA INC	3002
14762	33636		150.00

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
14767	33636		150.00
14789	33636		150.00
49818	05/27/2016	LEAGUE OF KANSAS 3010	125.00
16 1293	35303		100.00
16 795	35354		25.00
49819	05/27/2016	LIGHTHOUSE CONTRACTING INC 3061	3,698.00
311WEST F	33828		3,698.00
49820	05/27/2016	LOVES ENTERPRISES 3112	4,961.50
125483	35244		2,432.75
125484	35250		2,528.75
49821	05/27/2016	LYNN PEAVEY COMPANY 3149	235.50
317632	35090		235.50
49822	05/27/2016	MARSTON, NANCY ELISE 10374	210.00
35239	35239		210.00
49823	05/27/2016	MARTINEK & FLYNN 6522	3,000.00
35278	35278		3,000.00
49824	05/27/2016	MATHER FLARE RENTAL INC 5791	410.44
3129	33429		35.44
3130	33539		50.00
3131	33539		25.00
3132	33539		300.00
49825	05/27/2016	MATHESON TRI-GAS INC 7179	559.05
50984428	33208		142.20
50984429	33208		49.20
50984430	33208		36.90
50984431	33372		46.35
50984434	33419		213.30
50984435	33419		71.10
49826	05/27/2016	MHC SOFTWARE INC 7206	295.00
0120793	35368		295.00
49827	05/27/2016	MICHAEL & SONS INC 3377	17,235.97
675361	35101		13,235.97
675362	35220		4,000.00
49828	05/27/2016	MSTC HENDU PRODUCTION 9539	1,000.00
249	35198		1,000.00
49829	05/27/2016	NATIONAL FLEET TESTING 8885	1,475.00
TOPEKAFORESTR	33205		1,475.00
49830	05/27/2016	O REILLY AUTO PARTS 3714	724.48
0152 235296	33300		30.32
0152 235304	33215		49.99
0152 236144	33212		15.99
0152 236202	33300		66.22
0152 236467	33300		46.62
0152 238997	33349		154.84
0152 239278	33300		94.70
0152 239325	33300		12.73
0152 239530	33349		10.97
0152 239539	33300		173.77
0152 239693	33300		33.72

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
0152 240537	33300		8.11
0152 240653	33300		26.50
49831	05/27/2016	ONEILL EXCAVATING INC 10202	7,525.64
000050	34917		7,525.64
49832	05/27/2016	PACE ANALYTICAL SERVICES 3794	23.00
165830	33433		23.00
49833	05/27/2016	PETERS, TERESA L 10046	112.74
35304 CASE#1453:	35304		112.74
49834	05/27/2016	PROFESSIONAL ENGINEERING 4018	13,525.00
513416	19318		57.50
513417	30262		2,528.75
513419	30759		10,195.00
513420	30759		743.75
49835	05/27/2016	PROTECTION 1 ALARM MONITORING 6532	210.00
105118979	35345		210.00
49836	05/27/2016	RAY O HERRON COMPANY 4118	3,684.73
1626642 IN	33915		3,684.73
49837	05/27/2016	ROKK CONCRETE INC 10348	10,151.63
35173	35173		10,151.63
49838	05/27/2016	SARIK LLC 9207	2,017.38
2713	34874		937.24
2714	34873		636.36
2715	34873		443.78
49839	05/27/2016	SHAWNEE COUNTY 4503	44,373.38
34577 APR 2016	34577		44,373.38
49840	05/27/2016	SHAWNEE MISSION FORD INC 4524	66,845.00
95785	34578		20,128.00
95786	32838		22,288.00
95787	34670		24,429.00
49841	05/27/2016	SIRCHIE FINGERPRINT LABS 4585	153.57
0253034 IN	35088		153.57
49842	05/27/2016	SOUND PRODUCTS INC 4663	47.96
3183824 IN	33833		47.96
49843	05/27/2016	SOUTHERN UNIFORM & EQUIPMENT 4672	1,191.21
32687	34986		1,191.21
49844	05/27/2016	STANDARD AND POORS LLC 1212	18,804.59
11305998	BONDS		18,804.59
49845	05/27/2016	STAPLES CONTRACT N COMMERCIAL 4725	2,495.48
3299464601	34960		129.17
3301159119	35143		740.70
3301517093	34912		47.00
3301517096	34912		50.15
3301517097	35136		177.38
3301517099	35137		253.64
3301517101	35143		352.82
3301647028	35136		15.56
3301647029	35151		373.96

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
3301789276	35166		237.67
3301789277	35189		18.23
3301789278	35190		78.32
3301789279	35200		20.88
3302769506	34831		-56.98
3298850395	34831		56.98
49846	05/27/2016	SUGGS III, FRANK L 9554	24.16
34645 #975212 5/6,	34645		24.16
49847	05/27/2016	THE GOODYEAR TIRE & RUBBER CO 9375	194.20
123 1052400	33361		194.20
49848	05/27/2016	THE TERMINIX INTERNATIONAL 10096	340.00
21233312	33231		203.98
21233573	33206		45.34
21233583	33206		45.34
21233824	33206		45.34
49849	05/27/2016	THERMO FISHER SCIENTIFIC LLC 4949	270.39
2889560	33194		270.39
49850	05/27/2016	U S LIME COMPANY - ST CLAIR 5117	14,698.36
157165	33196		3,809.18
157177	33196		7,318.75
157197	33196		3,570.43
49851	05/27/2016	UMB BANK NA 5127	45,839.53
PCARD05202016			45,839.53
49852	05/27/2016	VANDERBILT'S NO 6 5199	244.98
285420	35279		29.99
285775	35279		70.00
286146	35279		144.99
49853	05/27/2016	VETERINARY MEDICAL & SURGICAL 5222	799.36
92878	33626		758.37
93131	33626		40.99
49854	05/27/2016	WALKER TOWEL & UNIFORM 5266	130.40
2132813	33218		12.45
2133408	33218		7.65
2133409	33218		23.90
2133414	33557		8.00
2134084	33557		16.90
2134085	33557		2.40
2134086	33557		27.70
2134087	33557		4.80
2134088	33557		15.00
2134089	33557		11.60
49855	05/27/2016	WALTERS MORGAN 9692	241,046.33
28420 17	28420		241,046.33
49856	05/27/2016	WESTSIDE STAMP & AWARDS INC 5865	20.00
156621	35277		20.00
49857	05/27/2016	WILLIS OF GREATER KANSAS INC 5472	5,833.00
1171177	33573		5,833.00
49858	05/27/2016	AMERICAN HERITAGE LIFE 147	2,564.68
SD5516052710373		SHORT TERM DISABILITY EE AT	562.14

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
SD5516052710373		SHORT TERM DISABILITY EE AT	320.99
SD5516052710373		SHORT TERM DISABILITY EE AT	116.64
SD5516052710373		SHORT TERM DISABILITY EE AT	152.45
SD5516052710373		SHORT TERM DISABILITY EE AT	218.00
SD5516052710373		SHORT TERM DISABILITY EE AT	25.36
SD5516052710373		SHORT TERM DISABILITY EE AT	265.35
SD5516052710373		SHORT TERM DISABILITY EE AT	219.20
SD5516052710373		SHORT TERM DISABILITY EE AT	207.19
SD5516052710373		SHORT TERM DISABILITY EE AT	425.02
SD5516052710373		SHORT TERM DISABILITY EE AT	58.52
ADJ-WATKINS MAI	PAYROLL		-6.18
49859	05/27/2016	CITY OF TOPEKA FRIENDSHIP FUND	948
FR1016052710373		Friendship Fund	47.00
FR1016052710373		Friendship Fund	25.00
FR1016052710373		Friendship Fund	32.00
FR1016052710373		Friendship Fund	16.00
FR1016052710373		Friendship Fund	3.00
FR1016052710373		Friendship Fund	10.00
FR1016052710373		Friendship Fund	4.00
FR1016052710373		Friendship Fund	11.00
FR1016052710373		Friendship Fund	21.00
FR1016052710373		Friendship Fund	87.50
FR1016052710373		Friendship Fund	33.00
FR1016052710373		Friendship Fund	6.00
49860	05/27/2016	COLONIAL LIFE & ACCIDENT	8789
5/13/16 PAYROLL	PAYROLL		3,681.38
5/27/16 PAYROLL	PAYROLL		3,681.38
ADJ-ROUSE MAY :	PAYROLL		23.66
49861	05/27/2016	INTERNATIONAL ASSOCIATION OF	2424
ADMIN FEE 5/27/16	PAYROLL		-13.50
UNI116052710373		Union Dues - IAFF	7,600.50
49862	05/27/2016	KANSAS PAYMENT CENTER	2732
0000000741605271		Child Support - Amt	228.92
49863	05/27/2016	KANSAS PAYMENT CENTER	2732
0000000861605271		Child Support - Amt	163.43
49864	05/27/2016	KANSAS PAYMENT CENTER	2732
0000001191605271		Child Support - Amt	442.15
49865	05/27/2016	KANSAS PAYMENT CENTER	2732
0000001451605271		Child Support - Amt	320.92
49866	05/27/2016	KANSAS PAYMENT CENTER	2732
0000002041605271		Child Support - Amt	183.69
49867	05/27/2016	KANSAS PAYMENT CENTER	2732
0000002221605271		Child Support - Amt	1,036.64
49868	05/27/2016	KANSAS PAYMENT CENTER	2732
0000002421605271		Child Support - Amt	53.08
49869	05/27/2016	KANSAS PAYMENT CENTER	2732
0000002941605271		Child Support - Amt	144.00
49870	05/27/2016	KANSAS PAYMENT CENTER	2732
0000003161605271		Child Support - Amt	112.15

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49871	05/27/2016	KANSAS PAYMENT CENTER 2732	259.85
0000003241605271		Child Support - Amt	259.85
49872	05/27/2016	KANSAS PAYMENT CENTER 2732	277.38
0000003401605271		Child Support - Amt	277.38
49873	05/27/2016	KANSAS PAYMENT CENTER 2732	498.46
0000003431605271		Child Support - Amt	498.46
49874	05/27/2016	KANSAS PAYMENT CENTER 2732	184.15
0000003451605271		Child Support - Amt	184.15
49875	05/27/2016	KANSAS PAYMENT CENTER 2732	183.29
0000003481605271		Child Support - Amt	183.29
49876	05/27/2016	KANSAS PAYMENT CENTER 2732	25.15
0000003801605271		Child Support - Amt	25.15
49877	05/27/2016	KANSAS PAYMENT CENTER 2732	368.88
0000003851605271		Child Support - Amt	368.88
49878	05/27/2016	KANSAS PAYMENT CENTER 2732	144.46
0000004171605271		Child Support - Amt	144.46
49879	05/27/2016	KANSAS PAYMENT CENTER 2732	185.13
0000004471605271		Child Support - Amt	185.13
49880	05/27/2016	KANSAS PAYMENT CENTER 2732	361.85
0000004521605271		Child Support - Amt	361.85
49881	05/27/2016	KANSAS PAYMENT CENTER 2732	230.77
0000004901605271		Child Support - Amt	230.77
49882	05/27/2016	KANSAS PAYMENT CENTER 2732	129.23
0000005861605271		Child Support - Amt	129.23
49883	05/27/2016	KANSAS PAYMENT CENTER 2732	267.69
0000006411605271		Child Support - Amt	267.69
49884	05/27/2016	KANSAS PAYMENT CENTER 2732	323.08
0000006411605271		Child Support - Amt	323.08
49885	05/27/2016	KANSAS PAYMENT CENTER 2732	415.51
0000006671605271		Child Support - Amt	415.51
49886	05/27/2016	KANSAS PAYMENT CENTER 2732	346.15
0000006821605271		Child Support - Amt	346.15
49887	05/27/2016	KANSAS PAYMENT CENTER 2732	192.00
0000007081605271		Child Support - Amt	192.00
49888	05/27/2016	KANSAS PAYMENT CENTER 2732	121.88
0000007321605271		Child Support - Amt	121.88
49889	05/27/2016	KANSAS PAYMENT CENTER 2732	209.08
0000007541605271		Child Support - Amt	209.08
49890	05/27/2016	KANSAS PAYMENT CENTER 2732	230.77
0000007791605271		Child Support - Amt	230.77
49891	05/27/2016	KANSAS PAYMENT CENTER 2732	185.08

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
0000007851605271		Child Support - Amt	185.08
49892	05/27/2016	KANSAS PAYMENT CENTER 2732	122.77
0000007911605271		Child Support - Amt	122.77
49893	05/27/2016	KANSAS PAYMENT CENTER 2732	306.09
0000008151605271		Child Support - Amt	306.09
49894	05/27/2016	KANSAS PAYMENT CENTER 2732	256.15
0000008271605271		Child Support - Amt	256.15
49895	05/27/2016	KANSAS PAYMENT CENTER 2732	184.62
0000008631605271		Child Support - Amt	184.62
49896	05/27/2016	KANSAS PAYMENT CENTER 2732	443.08
0000008661605271		Child Support - Amt	443.08
49897	05/27/2016	KANSAS PAYMENT CENTER 2732	464.91
0000009111605271		Child Support - Amt	464.91
49898	05/27/2016	KANSAS PAYMENT CENTER 2732	147.23
0000009241605271		Child Support - Amt	147.23
49899	05/27/2016	KANSAS PAYMENT CENTER 2732	88.64
0000009361605271		Child Support - Amt	88.64
49900	05/27/2016	KANSAS PAYMENT CENTER 2732	304.15
0000009591605271		Child Support - Amt	304.15
49901	05/27/2016	KANSAS PAYMENT CENTER 2732	487.38
0000009821605271		Child Support - Amt	487.38
49902	05/27/2016	KANSAS PAYMENT CENTER 2732	144.51
0000010151605271		Child Support - Amt	144.51
49903	05/27/2016	KANSAS PAYMENT CENTER 2732	124.15
0000010221605271		Child Support - Amt	124.15
49904	05/27/2016	KANSAS PAYMENT CENTER 2732	182.77
0000010431605271		Child Support - Amt	182.77
49905	05/27/2016	KANSAS PAYMENT CENTER 2732	77.77
0000010561605271		Child Support - Amt	77.77
49906	05/27/2016	KANSAS PAYMENT CENTER 2732	153.69
0000010931605271		Child Support - Amt	153.69
49907	05/27/2016	KANSAS PAYMENT CENTER 2732	386.31
0000010971605271		Child Support - Amt	386.31
49908	05/27/2016	KANSAS PAYMENT CENTER 2732	392.43
0000011291605271		Child Support - Amt	392.43
49909	05/27/2016	KANSAS PAYMENT CENTER 2732	279.78
0000011321605271		Child Support - Amt	279.78
49910	05/27/2016	KANSAS PAYMENT CENTER 2732	335.64
0000011811605271		Child Support - Amt	335.64
49911	05/27/2016	KANSAS PAYMENT CENTER 2732	113.11
0000011891605271		Child Support - Amt	113.11

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49912 0000011891605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	219.69
49913 0000011931605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	153.69
49914 0000011931605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	140.31
49915 0000012001605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	56.31
49916 0000014741605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	183.23
49917 0000019791605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	384.46
49918 0000021541605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	115.38
49919 0000021911605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	160.62
49920 0000022591605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	412.62
49921 0000023351605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	180.46
49922 0000024101605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	99.48
49923 0000024761605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	1,127.54
49924 0000024781605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	461.53
49925 0000024931605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	68.77
49926 0000025031605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	74.31
49927 0000025151605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	127.85
49928 0000025291605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	251.08
49929 0000026221605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	228.00
49930 0000026371605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	262.62
49931 0000026371605271	05/27/2016	KANSAS PAYMENT CENTER Child Support - Amt	161.54

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49932	05/27/2016	NATIONAL GUARDIAN LIFE 5737	4,465.26
VS2016052710373		VISION EE PRE TAX	462.33
VS2016052710373		VISION EE PRE TAX	1,098.09
VS2016052710373		VISION EE PRE TAX	190.89
VS2016052710373		VISION EE PRE TAX	128.70
VS2016052710373		VISION EE PRE TAX	138.06
VS2016052710373		VISION EE PRE TAX	131.04
VS2016052710373		VISION EE PRE TAX	57.51
VS2016052710373		VISION EE PRE TAX	239.13
VS2016052710373		VISION EE PRE TAX	225.36
VS2016052710373		VISION EE PRE TAX	1,370.97
VS2016052710373		VISION EE PRE TAX	361.17
VS2016052710373		VISION EE PRE TAX	62.01
49933	05/27/2016	UNITED WAY OF GREATER TOPEKA 5157	95.00
UW1016052710373		United Way	27.00
UW1016052710373		United Way	7.00
UW1016052710373		United Way	1.00
UW1016052710373		United Way	1.00
UW1016052710373		United Way	6.00
UW1016052710373		United Way	16.00
UW1016052710373		United Way	12.00
UW1016052710373		United Way	17.00
UW1016052710373		United Way	8.00
49934	05/27/2016	ACE ELECTRIC JONES COMPANY INC 35	1,701.52
3218	35342		486.67
3244	33668		1,214.85
49935	05/27/2016	ANCOR INFORMATION MANAGEMENT 7058	11,910.98
00004884C	33431		11,910.98
49936	05/27/2016	BORDER STATES INDUSTRIES INC 9824	859.35
S5374203 001	33417		332.00
S5377991 001	33417		30.20
S5377991 002	33417		93.00
S5379606 001	33417		5.47
S5379620 002	33417		398.68
49937	05/27/2016	CAPITAL BELT & SUPPLY INC 776	517.79
92211	33377		68.59
92280	33377		412.95
92314	33377		36.25
49938	05/27/2016	CAPITAL CITY OIL CO INC 778	15,618.54
1053002	33331		15,584.76
1053017	33331		33.78
49939	05/27/2016	CHAMPION BRANDS LLC 883	943.16
499535	33336		943.16
49940	05/27/2016	FERGUSON ENTERPRISES INC 1639	1,601.88
2503937	33475		1,352.59
2513397	33383		249.29
49941	05/27/2016	FLU-CON INC 1729	249.28
P 16713 0	33272		249.28
49942	05/27/2016	KRIZ DAVIS COMPANY 2916	758.24
S101323931 001	33415		415.82
S101326502 001	33415		342.42

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
49943	05/27/2016	LINDYSPRING WATER LLC 3071	203.50
1018229	33863		-8.00
1021482	33549		19.50
1021483	33202		13.00
1021487	33541		58.00
1021796	33202		13.00
1021800	33541		19.50
1023301	33808		13.00
1023302	33202		19.50
1024781	33863		8.00
1032262	33202		8.00
1032334	33202		30.00
1033577	33202		10.00
49944	05/27/2016	MCELROY'S INC 3289	5,567.00
SVC28007	33732		2,575.00
SVC28479	33732		220.00
SVC30297	33732		910.00
SVC32054	35259		1,862.00
49945	05/27/2016	RAY LINDSEY COMPANY INC 4117	28,696.90
2016715	33463		28,696.90
49946	05/27/2016	SALISBURY SUPPLY COMPANY INC 4352	411.87
77337	33565		79.60
77346	33216		17.00
77363	33216		42.99
77662	33302		25.20
77664	33302		25.20
77669	33565		23.25
77673	33565		129.79
77681	33565		68.84
49947	05/27/2016	TAZCO INC 4885	32,143.00
3238	30342		32,143.00
49948	05/27/2016	TOPEKA ELECTRIC MOTOR REPAIR 5025	1,536.54
41808	33423		604.04
42491	33423		932.50
Total for Electronic Payments			6,799,845.36
Need to Define MNL			
202	05/06/2016	GREAT WEST LIFE & ANNUITY 9755	2,762.91
620858741 4/29/16	PAYROLL		2,762.91
203	05/06/2016	VERIFONE INC 5217	200.00
VERIFONE 4/2016	ACH DEBT		200.00
204	05/06/2016	DEPT OF TREASURY 9805	502,424.25
PAYROLL 4/29/16	PAYROLL		502,424.25
205	05/06/2016	KANSAS DEPT OF REVENUE 9806	89,220.91
PAYROLL 4/29/16	PAYROLL		89,220.91
206	05/06/2016	KPERS 9818	541,638.47
PAYROLL-KPERS	PAYROLL		162,224.79
PAYROLL-KPF 4/25/16	PAYROLL		379,413.68
207	05/20/2016	GREAT WEST LIFE & ANNUITY 9755	50,400.31
622629438 5/13/16	PAYROLL		50,400.31
208	05/20/2016	DEPT OF TREASURY 9805	475,572.73

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
PAYROLL 5/13/16	PAYROLL		475,572.73
209	05/20/2016	KANSAS DEPT OF REVENUE 9806	84,252.86
PAYROLL 5/13/16	PAYROLL		84,252.86
210	05/20/2016	KPERS 9818	547,948.37
PAYROLL-KPERS 5/13/16	PAYROLL		166,357.70
PAYROLL-KPF 5/13/16	PAYROLL		381,590.67
211	05/27/2016	NICHOLS & WOLFE CHARTERED 3676	100,425.01
SERIES 2016 A	BONDS		100,425.01
212	05/27/2016	ASI DAILY EMPLOYEE PAYMENTS 9872	32,488.14
W/E 4/22/16	ACH DEBT		9,237.76
W/E 4/29/16	ACH DEBT		7,367.97
W/E 5/13/16	ACH DEBT		7,696.94
W/E 5/6/16	ACH DEBT		8,185.47
213	05/27/2016	AUTOMATED MERCHANT SYSTEMS INC 9931	2,857.40
1603250086 4/2016	ACH DEBT		2,857.40
214	05/27/2016	TRANSFIRST HOLDINGS INC 9923	31,716.67
CC FEE APRIL 2016	ACH DEBT		31,716.67
215	05/27/2016	CORVEL HEALTHCARE CORPORATION 8818	95,196.36
W/E 4/22/16	ACH DEBT		16,765.19
W/E 4/29/16	ACH DEBT		51,892.72
W/E 5/13/16	ACH DEBT		8,973.82
W/E 5/6/16	ACH DEBT		17,564.63
Total for Need to Define MNL			2,557,104.39
Need to Define PPD			
5852	05/06/2016	WILLIAMS, BONNIE 7057	167.19
42492.6461		WICHITA KS 4/28-5/1/16 KLPI SE	167.19
5853	05/06/2016	CAMPOS JR, VIDAL A 769	178.85
42489.4445		ADV-WASHINGTON DC 5/12-16/16	178.85
5854	05/06/2016	COBB, MATTHEW P 991	178.85
42489.4428		ADV-WASHINGTON DC 5/12-16/16	178.85
5855	05/06/2016	COLE, JERI A 1012	144.00
42487.4686		TORRANCE CA 4/24-26/16	144.00
5856	05/06/2016	DANIELSON, MATT A 1247	178.85
42489.4434		ADV-WASHINGTON DC 5/12-16/16	178.85
5857	05/06/2016	HEASLET, JOSHAWA 9454	178.85
42489.4423		ADV-WASHINGTON DC 5/11-16/16	178.85
5858	05/06/2016	KAUFFMAN, BRANDON 9476	236.36
42489.6408		WICHITA KS 4/27-28/16	236.36
5859	05/06/2016	LANGSTON, SHANNON L 8907	73.55
42487.6717		OSAGE BEACH MO 4/13-15/16	53.55
42489.6893		EE-SHRM CHPT MEETING LUNCHEON	20.00
5860	05/06/2016	LOWE, JESSE J 3118	970.55
42453.5940		ADV-GRAND RAPIDS MI 5/8-28/16	970.55
5861	05/06/2016	MARTIN, NATHAN 10277	75.50
42485.3801		FORT ROYAL VA 4/10-16/16	75.50

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
5862 42489.4413	05/06/2016	PURNEY, CODY ADV-WASHINGTON DC 5/11-16/16	9466 178.85
5863 42489.3826	05/06/2016	PURNEY, STEVEN R ADV-WASHINGTON DC 5/12-16/16	6306 307.05
5864 42121.6182	05/06/2016	RUSSELL, JACQUELYN M EE-10 \$10 GC-WELLNESS INCENT	4309 100.00
5865 42487.4412	05/06/2016	SHERER, JESSE L TORRANCE CA 4/24-26/16	4537 144.00
5866 42489.4439	05/06/2016	BLOCK, STEVEN ADV-WASHINGTON DC 5/11-16/16	7073 178.85
5867 42489.5651	05/06/2016	WOLFE, PHIL EE-MILEAGE 1/1-4/30/16	5518 35.37
5868 42482.8576	05/13/2016	STANDIFER, ANTONY TOPEKA KS 3/16-19/16 SCAFFA	7174 25.00
5869 42499.6697	05/13/2016	BLAKE, SEAN P MANHATTAN KS 5/5-6/16 KAPIO	10361 28.05
5870 42453.3495	05/13/2016	BOYD, JASON T EE-MILEAGE 1/1-3/31/16	9331 39.53
5871 42465.3744	05/13/2016	ADAMS, BRANDON L EE-MILEAGE 1/1-3/31/16	8188 4.54
5872 42495.3792	05/13/2016	CLARK, JOY EE-MAY 4TH PICNIC FOOD CHICKEN	5645 1,200.00
5873 42458.6610 42485.6824	05/13/2016	HAWKINS, DIANE KAY OVELAND OHIO 2/25-27/16 TOPEKA KS 3/16-19/16 SCAFFA	10055 155.25 25.00
5874 42485.7030	05/13/2016	MELLEN, RYAN EE-MILEAGE 1/1-3/31/16	3341 20.63
5875 42500.5573	05/13/2016	PETTY, ALYSON MICHELLE MANHATTAN KS 5/5-6/16 KAPIO	9947 62.64
5876 42479.3884	05/13/2016	RUSSELL, JACQUELYN M EE-15 PONCHOS-VOLUNTEERS 4/18	4309 15.88
5877 42439.4930	05/20/2016	KAUFFMAN, BRANDON ADV-TORONTO CAN 5/21-25/16	9476 488.75
5878 42439.4928	05/20/2016	LEE, NICOLE ADV-TORONTO CAN 5/21-25/16	9502 488.75
5879 42507.3277	05/27/2016	BEDWELL, DAVID EE-CDL/ABC LICENSE	420 55.00
5880 42495.7193	05/27/2016	BURNS, MICHAEL EE-DAMAGED EYE GLASSES	7951 378.00
5881 42513.4550	05/27/2016	WALTER, CATHERINE A OVERLAND PARK KS 5/17/16	7450 78.13

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
5882 42503.3738	05/27/2016	GREENWALD, DAVID SALINA KS 5/10-11/16 DUI BOOTC	10382 180.68
5883 42500.4721	05/27/2016	HAUGEN, ROSEANNA M EE-PAPER PRODUCTS MTG 4/12	2123 43.27
5884 42510.4358	05/27/2016	NIEMACKL, REBECCA EE-AIRFARE RETURNING ON 5/7/16	3683 218.98
5885 42509.5800	05/27/2016	SCHULZ, KEVIN M WASHINGTON DC 5/11-16/16	4421 178.85
5886 42509.3281	05/27/2016	LLIZO, SHIRLEY GIBSONTON FL 5/9-10/16	6968 48.60
5887 EE 42501 3560	05/27/2016 34103	WAGGONER, PAUL	9946 660.00
Total for Need to Define PPD			7,722.20
Check Payments			
720303 CHR101-0516 FRI1060-0516 SIS101-0516 SOP101-0516 THO1065-0516 WIL1050-0516	05/02/2016	FAIRLAWN PARTNERS LLC S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment	7176 575.00 447.00 288.00 447.00 242.00 362.00
720304 BOZ101-0516	05/02/2016	HANRAHAN, DONALD P S+C MAY2016Payment	6407 293.00
720305 BRO118-0516 GAT107-0516 HAT104-0516 SAF101-0516 SER105-0516	05/02/2016	JEFFERSON MADISON BUILDING LP S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment S+C MAY2016Payment	4374 198.00 414.00 238.00 77.00 315.00
720306 BUR101-0516	05/02/2016	KANSAS CARRIAGE HOUSE LLC S+C MAY2016Payment	10256 470.00
720307 ALL105-0516 BOU101-0516 BRI107-0516 BUS101-0516 CAR102-0516 MAR102-0516 NOR101-0516 WEB107-0416 WEB107-0516 CRO101-0516 CUN103-0416 CUN103-0516 HOM101-0516 KAY103-0516 KIM1032-0516 RET101-0516 SAN105-0516 SHA101-0516	05/02/2016	KANSAS GAS SERVICE INC 512481187 510872690 510752268 512101896 512096422 510912803 510465073 510416164 510416164 512426625 512499126 512499126 512478895 512348978 510137930 512062323 512482830 512171948	2708 73.00 88.00 35.00 276.00 45.00 133.00 33.00 68.00 61.00 79.00 114.00 136.00 125.00 125.00 54.00 116.00 76.00 147.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720308	05/02/2016	OAKWOOD MANOR L P 3719	136.00
COO106-0516		S+C MAY2016Payment	136.00
720309	05/02/2016	PALMER, ROBERT C 9526	717.00
MUN112-0516		S+C MAY2016Payment	717.00
720310	05/02/2016	RAK INVESTMENTS II LLC 7908	312.00
MON109-0516		S+C MAY2016Payment	312.00
720311	05/02/2016	REAGER, CRAIG 9752	990.00
SMI118-0516		S+C MAY2016Payment	990.00
720312	05/02/2016	TOPEKA RENTALS LLC 5046	10,852.00
ACK103-0416		S+C April2016Payment	438.00
ACK103-0516		S+C MAY2016Payment	316.00
ACK103-DEP		S+C MAY2016Deposit	525.00
ALE101-0516		S+C MAY2016Payment	315.00
BIC102-0516		S+C MAY2016Payment	296.00
BIC102-DEP		S+C MAY2016Deposit	525.00
BOY102-0416		S+C April2016Payment	280.00
BOY102-0516		S+C MAY2016Payment	525.00
BOY102-DEP		S+C MAY2016Deposit	525.00
CAS113-0516		S+C MAY2016Payment	324.00
CHA101-0516		S+C MAY2016Payment	310.00
CRU101-0516		S+C MAY2016Payment	695.00
DOM101-0516		S+C MAY2016Payment	245.00
FIL101-0516		S+C MAY2016Payment	525.00
FLO101-0516		S+C MAY2016Payment	525.00
HAR105-0516		S+C MAY2016Payment	475.00
HOU101-0516		S+C MAY2016Payment	625.00
NEL103-0516		S+C MAY2016Payment	321.00
PER108-0516		S+C MAY2016Payment	63.00
PUR102-0516		S+C MAY2016Payment	330.00
THO107-0516		S+C MAY2016Payment	520.00
TUC101-0516		S+C MAY2016Payment	525.00
WEN101-0516		S+C MAY2016Payment	540.00
WHE106-0516		S+C MAY2016Payment	113.00
WOO1111-0516		S+C MAY2016Payment	431.00
WUN101-0516		S+C MAY2016Payment	540.00
720313	05/02/2016	WESTAR ENERGY 5377	4,207.00
ATK103-0416A		1236875989	19.00
ATK103-0516		1236875989	62.00
BAK105-0516		2115660183	50.00
BEV101-0516		1829281648	44.00
BLA105-0516		9025683602	102.00
BRA102-0516		9912228668	69.00
BRI107-0516		1544479540	38.00
BUS101-0516		6129260622	276.00
GUE101-0516		6740249205	95.00
HAM101-0516		3143055826	85.00
HIL1027-0516		7842696027	75.00
JON101-0516		7615676908	88.00
JON107-0416		8049247045	29.00
JON107-0516		8049247045	38.00
MAR102-0516		8070085744	134.00
MCC102-0516		5724387281	50.00
MCG1031-0516		1449386986	195.00
MEN112-0516		2632736284	61.00
CAR102-0516		3721699906	45.00
CAR111-0516		1463369861	59.00
CAR115-0516		4236773947	59.00
CHR101-0516		7296619109	71.00

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
COL115-0516		740576701	75.00
CRA100-0516		5381405960	67.00
CRO101-0516		7617206904	80.00
CUN103-0416		720738689	114.00
CUN103-0516		720738689	137.00
DAV114-0516		9497347064	46.00
DIT101-0516		2452946040	14.00
ERI101-0516		3372475229	135.00
FER102-0516		9715194165	59.00
GAR108-0516		9700322460	70.00
GIN101-0516		568761384	48.00
KAN102-0516		8272947723	137.00
RET101-0516		6987976363	116.00
RHO102-0316		2623819181	60.00
RHO102-0416		2623819181	60.00
RHO102-0516		2623819181	60.00
ROB103-0516		4226569842	60.00
SHA101-0516		2960808586	148.00
SUR111-0516		2229941120	59.00
TIS101-0516		5523244345	89.00
TOW102-0416		6429386725	22.00
TOW102-0516		6429386725	55.00
WAR101-0516		8907852400	80.00
WEB107-0416		9958330481	68.00
WEB107-0516		9958330481	62.00
NOR101-0516		9715194165	33.00
ONE103-0516		8362355788	59.00
PET101-0516		8252675002	91.00
PIK1063-0516		2660690846	106.00
POR101-0516		8874362604	70.00
WEL101-0516		7959596749	60.00
WHE101-0516		2070672787	48.00
PRI1029-0516		3200745547	25.00
PUE101-0516		9601175785	50.00
720314	05/06/2016	AMERI-CRETE INC 9644	11,538.20
1511	31913		6,932.30
1512	31859		4,605.90
720315	05/06/2016	ANIMAL EQUIPMENT BY STONEY LLC 10322	74.95
160414	35015		74.95
720316	05/06/2016	ARAMARK UNIFORM & CAREER 9589	205.46
310984170	33493		137.22
310984171	33220		15.63
310984172	33220		30.13
310984173	33220		22.48
720317	05/06/2016	AT&T 281	19,165.45
APRIL 2016	MONTHLY PHONE		19,165.45
720318	05/06/2016	AT&T 282	274.56
0738033665 04251	CIRCUITS		274.56
720319	05/06/2016	AT&T 282	811.49
0780773571 04251	CIRCUITS		811.49
720320	05/06/2016	AUTO ZONE INC 310	309.97
1634061168	33253		309.97
720321	05/06/2016	BA DESIGNS LLC 327	1,366.20
BA17201	34492		1,366.20

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720322	05/06/2016	BIG TWIN INC 5031	520.85
668712	33307		520.85
720323	05/06/2016	BOYLES INC 574	56.70
400115	33786		56.70
720324	05/06/2016	BRIDGESTONE AMERICAS INC 1855	461.42
526 48123	33340		30.00
526 48232	33274		
720325	05/06/2016	CAPITAL CITY GUN CLUB 10327	130.00
35049 DINWIDDIE	35049		130.00
720326	05/06/2016	CARPET ONE 812	332.60
CF186028	35139		
720327	05/06/2016	CITY OF GOODYEAR 10301	13,591.66
1460	35109		13,591.66
720328	05/06/2016	CONRAD FIRE EQUIPMENT INC 1073	46.71
506141	33883		1,765.26
506144	33883		101.94
506147	33883		
720329	05/06/2016	CRAFCO INC 9801	5,658.80
25000020	34493		5,658.80
720330	05/06/2016	DEN-TEX CENTRAK INC 1329	48.22
209812	33386		15.58
209852	33386		
720331	05/06/2016	DOUG RICHERT PONTIAC CADILLAC 1397	29.50
257092	33270		59.00
257093	33270		
720332	05/06/2016	ED BOZARTH CHEVROLET INC 578	29.90
677593	33259		41.62
677783	33259		
720333	05/06/2016	ELLIOTT AUTO SUPPLY COMPANY 5676	-210.74
8 641735	33243		71.92
8 641971	33243		222.15
8 642035	33243		65.44
8 642048	33243		243.70
8 642198	33355		162.66
8 642420	33243		22.88
8 642428	33243		-97.71
8 642450	33243		389.30
8 6428477	33355		53.45
8 643207	33355		185.46
8 643335	33355		82.25
8 Z03118	33355		517.08
8 Z03123	33355		189.00
8 Z03124	33355		228.72
8 Z03133	33243		517.08
8 Z03156	33355		240.42
8 Z03179	33355		
720334	05/06/2016	FINLAY AUTOMOTIVE SUPPLY INC 10237	29.09
010837	34115		37.82
368230	34115		

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720335 15775	05/06/2016 35011	FISHER PARKING & SECURITY 5802	1,050.00
720336 35140	05/06/2016 35140	FOREST PARK CONFERENCE AND 10324	810.00
720337 003518659 004907789 004969485 005231924	05/06/2016 30645 33927 32918 34968	GALLS INC 1829	426.58 -130.00 -34.75 74.47 516.86
720338 5 4/10/16	05/06/2016 33389	GLORY DAYS PIZZA FLEMING PLACE 7650	74.21
720339 307583	05/06/2016 34791	HALL SIGNS INC 10292	7,998.00
720340 306077	05/06/2016 33982	HAROLD BECK & SONS INC 9649	14,265.00
720341 4010	05/06/2016 35098	HERO INDUSTRIES INC 10094	4,075.00
720342 S 11132 S 11926 S 12150	05/06/2016 33281 33345 33281	SPENCER & COMPANY 2321	991.71 304.40 595.12 92.19
720343 34967	05/06/2016 34967	J G MEIER & SONS 2462	500.00
720344 138210	05/06/2016 33287	KA-COMM INC 2615	245.92
720345 2876843 2877008 2877093 2877120 2877363 2877417 2877612 2877693 2877735 2877775 2877805 2877982 2878016 2878112 2878123 2878209 2878305 2878325 2878332 2878384 2878405 2878407 2878421 2878436 2878575 2878625 2878648	05/06/2016 33289 33289 33289 33289 33289 33289 33289 33289 33289 33289 33289 33289 33289 33289 33214 33214 33210 33210 33289 33289 33214 33214 33289 33210 33210 33214 33210 33214 33210 33214 33289	KANSAS AUTOMOTIVE INC 2639	3,256.41 11.50 2.28 10.48 4.86 14.20 3.97 5.57 11.56 10.11 5.12 24.00 4.26 5.11 3.60 13.31 206.69 93.40 -24.97 193.94 131.01 -70.67 5.01 3.12 55.00 5.38 27.13 55.62

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
2878685	33289		100.44
2878838	33289		4.67
2878841	33289		1.40
2878949	33289		17.00
2879071	33346		106.62
2879121	33289		22.29
2879156	33289		19.86
2879302	33214		3.25
2879315	33214		13.52
2879329	33289		1.17
2879333	33214		1,011.66
2879339	33214		6.41
2879417	33289		5.64
2879498	33289		22.49
2879545	33289		34.80
2879623	33214		39.09
2879684	33289		4.14
2879772	33289		35.50
2879810	33289		18.02
2879973	33289		9.45
2879985	33289		10.39
2880155	33289		41.37
2880179	33289		11.45
2880395	33289		24.98
2880486	33289		23.50
2880608	33289		104.10
2880635	33289		113.22
2880658	33210		17.18
2880732	33214		5.62
2880770	33289		95.76
2880775	33346		399.58
2880807	33289		6.53
2880870	33214		17.60
2880899	33289		7.46
2881038	33289		66.60
2881337	33289		13.46
2881358	33289		5.33
2881615	33289		0.60
2881746	33289		3.67
720346	05/06/2016	KANSAS AWWA	2640
34953	34953		375.00
720347	05/06/2016	KANSAS DEPT OF REVENUE	2691
003 0230 1 000 (2)(DE		65,198.39
720348	05/06/2016	KANSAS POWERTRAIN &	6935
30815	33358		1,218.32
720349	05/06/2016	KRANZ OF KANSAS CITY	9531
KC252185	32699		13,792.00
720350	05/06/2016	L & H MOBILE ELECTRONICS LLC	2930
97445	33293		675.00
97866	33293		310.00
98271	33293		270.00
720351	05/06/2016	LAIRD NOLLER FORD INC	2939
1172981	33294		28.80
1173067	33294		138.16
1173157	33294		77.06
1173223	33294		14.92
1173442	33294		54.42

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
1173477	33294		69.60
1173620	33294		158.98
1173656	33294		11.60
1173678	33294		5.90
1173902	33294		107.73
1173951	33294		330.53
1173953	33294		107.73
1173954	33294		630.53
1173955	33294		50.70
1174006	33294		-300.00
8093781	33294		784.26
8094405	33294		5,680.39
720352	05/06/2016	MIOVISION TECHNOLOGIES 10319	795.94
23265	35066		
720353	05/06/2016	NAILL ENTERPRISES LTD 4931	96.15
7062 47	33462		
720354	05/06/2016	ONCELL SYSTEMS INC 10331	2,149.20
11824	35113		
720355	05/06/2016	MENTZER, OTHO W 7520	4,565.00
14901	35055		
720356	05/06/2016	OYLER, ANNA L 9790	250.00
042016TPD	33695		
720357	05/06/2016	POLICE IMPREST FUNDS 3971	1,360.00
33717 7	33717		
720358	05/06/2016	REEVES WIEDEMAN COMPANY INC 4154	24.95
4803568	33416		
720359	05/06/2016	RISKANALYTICS HOLDINGS LLC 10323	25,137.00
7127	33953		
720360	05/06/2016	ROSIN PRESERVATION LLC 7896	9,000.00
1544 2	32340		
720361	05/06/2016	SAMS CLUB 4357	159.20
004682	33861		
720362	05/06/2016	SANCHEZ PROFESSIONAL CLEANING 10169	508.75
7A	34469		90.00
7B	34469		
720363	05/06/2016	SBC GLOBAL SERVICES INC 286	5,562.99
SB915095	33235		1,110.44
SW126004	33235		
720364	05/06/2016	SHAWNEE COUNTY 4506	14,500.00
35097 ORD#18676	35097		
720365	05/06/2016	SHAWNEE COUNTY 4521	136,980.17
095220300100100C	35175	2ND HALF 2015-SPECIALS	
720366	05/06/2016	SIMILAR MODE UNIFORMS INC 4563	547.55
56478	34190		562.25
56479	34108		
720367	05/06/2016	SOUTHWEST PAPER COMPANY INC 4674	986.82

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
898882	33701		97.07
898883	33701		59.43
898884	33701		16.22
898885	33701		88.00
898886	33701		59.43
898887	33701		124.07
898888	33701		68.57
898889	33701		474.03
720368	05/06/2016	SPRINT 4704	804.80
986018815 101	DE		804.80
720369	05/06/2016	STATE OF KANSAS 2775	3,000.00
2659	35078		600.00
2660	35078		1,800.00
2677	35142		600.00
720370	05/06/2016	SYMBOLARTS 4849	1,020.00
0255866 IN	34686		1,020.00
720371	05/06/2016	TOPEKA FOUNDRY & IRON WORKS IN 5029	88.43
4007 TF16	33306		52.30
4065 BS16	33306		36.13
720372	05/06/2016	TOPEKA LULAC SENIOR CENTER 5036	4,285.13
2016 1	34883		4,285.13
720373	05/06/2016	UNITED PARCEL SERVICE INC 5140	259.40
0000693358176	33250		259.40
720374	05/06/2016	VAC-CON SERVICES INC 8824	488.14
9324	33616		296.24
9332	33616		191.90
720375	05/06/2016	WILLIAMSON, JACK T 9792	550.00
33694 4	33694		550.00
720376	05/06/2016	ARC PHYSICAL THERAPY PLUS 9956	1,350.00
1008672	33984		1,350.00
720377	05/06/2016	CORVEL CORPORATION INC 8931	2,882.00
INDEMNITY 4/1-30,	33957		2,882.00
720397	05/06/2016	STONE, CYNTHIA 9637	8.99
PK00000904		REFUND-TOWNSITE GARAGE	8.99
720398	05/06/2016	DANIEL R HOUSER INC 7046	912.50
20160120	33406		912.50
720399	05/06/2016	FASTENAL COMPANY 1619	17.97
KSTOP227467	33382		3.77
KSTOP227481	33271		3.61
KSTOP227485	33382		10.59
720400	05/06/2016	GRAINGER 1964	20.96
9078750057	33213		20.96
720401	05/06/2016	KANSAS FIRE & SAFETY EQUIPMENT 2704	813.00
57192	34772		109.00
57234	34772		704.00
720402	05/06/2016	KANSAS SAND & CONCRETE 2744	2,448.50

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
90039612	33407		510.00
90040406	33538		410.00
90040407	33407		306.00
90040408	33407		382.50
90041083	33538		840.00
720403	05/06/2016	MIDWEST MOTOR SUPPLY CO INC 2854	2,917.27
4841886	33478		840.59
4842594	33478		457.35
4843078	33478		601.84
4844667	33478		616.44
4870948	33478		401.05
720404	05/06/2016	RICK'S CONCRETE SAWING 4207	200.00
16 0047	34619		150.00
16 0047 CR	34619		-150.00
16 0050	34619		150.00
16 0050 CR	34619		-150.00
16 0550	35141		200.00
720405	05/06/2016	ROACH HARDWARE 4230	41.74
115625	33413		1.89
115676	33413		3.49
115683	33413		13.93
115763	33413		8.97
115775	33413		13.46
720406	05/06/2016	SAFETY CONSULTING INC 4335	1,760.00
160440	33589		1,045.00
160441	33903		220.00
160442	33420		165.00
160443	33492		330.00
720407	05/06/2016	SAFETY SUPPLIES 4336	586.48
SSI 160445	33421		400.00
SSI 160450	33421		186.48
720408	05/06/2016	SAMCO INC 4355	3,720.00
SVC04241	35138		3,720.00
720409	05/06/2016	SHAWNEE COUNTY 4504	100,689.67
APRIL 2016	DE		100,689.67
720410	05/06/2016	SHAWNEE COUNTY 4518	700,058.88
APRIL 2016	DE		700,058.88
720411	05/06/2016	SHAWNEE COUNTY 7574	211,903.18
APRIL 2016	DE		211,903.18
720412	05/06/2016	TESSENDORF WELDING & MACHINE I 4909	160.00
60752	33569		160.00
720413	05/13/2016	BUTLER & ASSOCIATES PA 730	426.42
0000008281605132		Garnishment - Pct of Net	426.42
720414	05/13/2016	BUTLER & ASSOCIATES PA 730	261.69
0000003271605132		Garnishment - Pct of Net	261.69
720415	05/13/2016	BUTLER & ASSOCIATES PA 730	38.38
0000023811605132		Garnishment - Pct of Net	38.38
720416	05/13/2016	BUTLER & ASSOCIATES PA 730	38.38

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
0000023811605132		Garnishment - Pct of Net	38.38
720417	05/13/2016	BUTLER & ASSOCIATES PA 730	38.38
0000023811605132		Garnishment - Pct of Net	38.38
720418	05/13/2016	BUTLER & ASSOCIATES PA 730	38.38
0000023811605132		Garnishment - Pct of Net	38.38
720419	05/13/2016	H KENT HOLLINS ATTORNEY AT LAW 6502	113.58
0000025581605132		Garnishment - Pct of Net	113.58
720420	05/13/2016	H KENT HOLLINS ATTORNEY AT LAW 6502	319.66
0000023031605132		Garnishment - Pct of Net	319.66
720421	05/13/2016	TOPEKA LEGAL PROFESSIONALS 8479	124.00
BREWER LINDY 2C 35174			62.00
WILLIAMS BONNIE 35174			62.00
720422	05/13/2016	ZIMMERMAN & ZIMMERMAN PA 5186	113.58
0000025581605132		Garnishment - Pct of Net	113.58
720423	05/13/2016	ADEBOYE, AGNES 10356	1,000.00
35186 PERM EASE 35186			500.00
35186 TEMP EASE 35186			500.00
720424	05/13/2016	FLORES, FRANCES E 10367	500.00
35229 R-O-W EASE 35229			500.00
720425	05/13/2016	GRAY, JOHN 10337	500.00
35123 TEMP EASE 35123			500.00
720426	05/13/2016	HOOVER, TIMOTHY J 10340	860.00
35117 PERM EASE 35117			800.00
35117 TEMP EASE 35117			60.00
720427	05/13/2016	IVORY, DENISE 10338	500.00
35125 TEMP EASE 35125			500.00
720428	05/13/2016	MILLER, RICHARD L 10358	500.00
35183 TEMP EASE 35183			500.00
720429	05/13/2016	PARTAIN, FRANCES J 10342	670.00
35118 PERM EASE 35118			628.00
35118 TEMP EASE 35118			42.00
720430	05/13/2016	PUFF, JESSICA J 10355	500.00
35187 PERM EASE 35187			500.00
720431	05/13/2016	RANGEL, MARGO R 10359	800.00
35182 TEMP EASE 35182			800.00
720432	05/13/2016	ROSE, MARY L 10368	670.00
35228 PERM EASE 35228			628.00
35228 TEMP EASE 35228			42.00
720433	05/13/2016	ROWLAND, WILLIAM 10343	46,560.00
35116 PERM EASE 35116			43,156.00
35116 TEMP EASE 35116			3,404.00
720434	05/13/2016	SMITH, JANETTE A 10341	670.00
35119 PERM EASE 35119			628.00
35119 TEMP EASE 35119			42.00

COUNCIL REPORT OF VENDOR PAYMENTS

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720435 35126 TEMP EASE	05/13/2016 35126	STOKES, KENNETH A 7035	500.00 500.00
720436 35122 TEMP EASE	05/13/2016 35122	STOVALL JR, THOMAS J 10336	500.00 500.00
720437 35124 TEMP EASE	05/13/2016 35124	STOVALL, DYLOM C 10339	500.00 500.00
720438 35120 TEMP EASE	05/13/2016 35120	TAYLOR, MARTHA L 10335	500.00 500.00
720439 35185 PERM EASE 35185 TEMP EASE	05/13/2016 35185 35185	UNDERWOOD, ROGER K 10357	760.00 40.00 800.00
720440 35184 PERM EASE 35184 TEMP EASE	05/13/2016 35184 35184	WHITE, JOY L 10360	628.00 42.00 670.00
720441 35188 PERM EASE 35188 TEMP EASE	05/13/2016 35188 35188	WOLF, TAMRA M 10354	465.00 35.00 500.00
720442 6D13002	05/13/2016 33454	ACCURATE ENVIRONMENTAL LLC 9725	895.00 895.00
720443 311009231 311009232 311009233 311009234	05/13/2016 33493 33220 33220 33220	ARAMARK UNIFORM & CAREER 9589	141.07 15.63 30.13 22.48 209.31
720444 022216112735562	05/13/2016 34746	ARMSTRONG BICYCLE COMPANY INC 795	58.28 58.28
720445 3573061301	05/13/2016 33687	AT&T 281	613.38 613.38
720446 148547694 4/25/16WELLNESS UVERS	05/13/2016	AT&T 281	75.00 75.00
720447 1634065974 1634066024	05/13/2016 34547 34547	AUTO ZONE INC 310	171.32 4.34 175.66
720448 13 0144	05/13/2016 34837	AXIOM INSTRUMENTATION SERVICES 10290	3,801.79 3,801.79
720449 BA17235 BA17236	05/13/2016 34735 34783	BA DESIGNS LLC 327	3,791.55 410.80 4,202.35
720450 52 48334 526 48335 526 48405 526 48479	05/13/2016 33340 33274 33274 33274	BRIDGESTONE AMERICAS INC 1855	246.76 340.02 106.42 935.88 1,629.08
720451 138953	05/13/2016 33260	BME INC 621	343.31 343.31

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720452	05/13/2016	BROWNS SUPER SERVICE INC 670	450.00
45054	33261		200.00
45119	33261		250.00
720453	05/13/2016	CAIR PARAVEL LATIN SCHOOL INC 10351	135.00
21536	35161		135.00
720454	05/13/2016	CONRAD FIRE EQUIPMENT INC 1073	6,439.68
506259	33267		3,121.15
506265	33267		52.51
506268	33883		1,846.24
506269	33267		1,246.79
506282	33883		172.99
720455	05/13/2016	CUMMINS - ALLISON CORP 1201	495.00
1265645	35225		495.00
720456	05/13/2016	DOUG RICHERT PONTIAC CADILLAC 1397	47.39
257365	33270		47.39
720457	05/13/2016	ELLIOTT AUTO SUPPLY COMPANY 5676	507.59
8 643248	33243		250.92
8 643262	33243		167.64
8 643498	33355		4.78
8 643669	33243		84.25
720458	05/13/2016	FINLAY AUTOMOTIVE SUPPLY INC 10237	346.20
009756	34115		10.05
011723	34116		256.42
011726	34115		64.00
011997	34115		15.73
720459	05/13/2016	GALLS INC 1829	336.00
005263115	34968		336.00
720460	05/13/2016	GENERAL PARTS INC 814	30.26
2386 318169	33334		30.26
720461	05/13/2016	HERNANDEZ, CHRISTOPHER GEORGE 10352	130.00
327867	35160		130.00
720462	05/13/2016	SPENCER & COMPANY 2321	3,278.44
S 11656	33345		595.12
S 12176	33281		214.63
S 12214	33345		233.80
S 12215	33281		88.57
S 12254	33281		14.40
S 12269	33281		173.74
S 12270	33281		67.48
W 14500	33281		1,890.70
720463	05/13/2016	JAMES L DUNLAP 2533	124.81
122786	33285		11.96
415701	33285		42.95
415711	33285		69.90
720464	05/13/2016	JMA INFORMATION TECHNOLOGY 2536	2,787.37
35598	34779		2,787.37
720465	05/13/2016	JUSTICE SYSTEMS 2606	44,089.50
1500543 IN	31760		44,089.50

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720466	05/13/2016	KANSAS AUTOMOTIVE INC 2639	311.61
2881818	33346		201.02
2882583	33289		2.60
2882584	33214		14.99
2882745	33214		25.50
2882920	33289		1.33
2883066	33210		66.17
720467	05/13/2016	KANSAS CITY FREIGHTLINER SALES 2654	109,089.00
18754	31449		109,089.00
720468	05/13/2016	L & H MOBILE ELECTRONICS LLC 2930	100.00
98601	33293		100.00
720469	05/13/2016	LAIRD NOLLER FORD INC 2939	878.64
1173796	33294		40.27
1174002	33294		48.80
1174140	33294		789.57
720470	05/13/2016	LIBERTY PROCESS EQUIPMENT INC 10271	9,977.00
0062243 IN	34660		9,977.00
720471	05/13/2016	MAGSTER INC 6584	1,960.00
140083205	34694		1,960.00
720472	05/13/2016	MGT OF AMERICA INC 9882	6,200.00
28148	35156		6,200.00
720473	05/13/2016	MOTHERS AGAINST DRUNK DRIVING 3544	345.00
35167 APR 2016	35167		345.00
720474	05/13/2016	NAILL ENTERPRISES LTD 4931	96.15
7062 48	33462		96.15
720475	05/13/2016	NEBRASKALAND TIRE INC 8548	53.57
61255	33359		33.82
61256	33227		19.75
720476	05/13/2016	O J DU PREE COMPANY LLC 3713	1,090.00
13882	34668		1,090.00
720477	05/13/2016	OZARK INTEGRATED PEST SERVICE 3791	265.00
1454042216	33422		35.00
1455042216	33422		230.00
720478	05/13/2016	PRODUCTS PLUS INC 9311	881.00
5625041916	33360		499.50
5642042016	33360		381.50
720479	05/13/2016	REEVES WIEDEMAN COMPANY INC 4154	190.05
4802209	33416		185.00
4807514	33416		5.05
720480	05/13/2016	SCHULTE SUPPLY INC 9563	10,531.10
S1114059 001	34978		10,531.10
720481	05/13/2016	SIMILAR MODE UNIFORMS INC 4563	6,871.74
56496	33956		6,871.74
720482	05/13/2016	SOUTHWEST PAPER COMPANY INC 4674	456.24
900049	33701		456.24

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Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720483 4269 BS16	05/13/2016 33306	TOPEKA FOUNDRY & IRON WORKS IN 5029	114.95
720484 0000656FE0176	05/13/2016 34532	UNITED PARCEL SERVICE INC 5140	24.60
720485 052	05/13/2016 33367	WELLS, DAVID L 5359	2,000.00
720486 4727296348-4.16 4732150028-4.16 4756774986-4.16 4789320685-4.16 4901109460-4.16 416151990-4.16 4181861543-4.16 4208864031-4.16 4264149424-4.16 4269643687-4.16 9673824013J-4.16 9673824013K-4.16 9673824013L-4.16 9673824013M-4.16 9673824013N-4.16 9673824013O-4.16 9673824013P-4.16 9673824013Q-4.16 9673824013R-4.16 969270611-4.16 3675168021-4.16 3675521733-4.16 3703989372-4.16 3704094176-4.16 3769422865-4.16 3791139844-4.16 9415932749-4.16 9464440167-4.16 9511026279-4.16 9553074355-4.16 9561558646-4.16 9610319286-4.16 9619954781-4.16 9662481100-4.16 3890967088-4.16 3962419033-4.16 4010895542-4.16 4058088318-4.16 4141273470-4.16 9673824013-4.16 9673824013B-4.16 9673824013C-4.16 9673824013D-4.16 9673824013E-4.16 9673824013F-4.16 9673824013G-4.16 9673824013H-4.16 9673824013I-4.16 3145100253-4.16 3182415820-4.16 3216962429-4.16 3235310123-4.16	05/13/2016	WESTAR ENERGY INC 5376 324 SE JEFFERSON - FIRE 3033 SW WANAMAKER ST LT 3930 SW WANAMAKER 415 SE 43RD PUMP TOWNSITE/120 SE 6TH BURNETTS MOUND (tower) 500 NE STRAIT AVE. WINTER & I70 4748 NW GREEN HILLS RD 2901 SE CROCO 320 S KANSAS AVE ANIMAL CONTRO 320 S KANSAS AVE REC/PROP 6.0% 320 S KANSAS AVE PD IT .32% 320 S KANSAS AVE NARC 3.0% 320 S KANSAS AVE BIKE UNIT 1.0 320 S KANSAS AVE CANINE UNIT 2 320 S KANSAS AVE - FLEET 8.44% 320 S KANSAS AVE - CORONER 4.0 320 S KANSAS AVE - SHERIFF 27. 3700 FAIRLAWN PUMP 3105 NW GREEN HILLS RD HALF DA 1200 JEFFERSON 810 NW US HIGHWAY 24 PUMP 2744 SE 33RD TERR. 639 SW GAGE BLVD- ZOO RAIN FO 3441 SHORELINE DR. 1615 NW 8TH ST 1801 SW 44TH SCHOOL SPEED FLASHER 434 SE NORWOOD 2447 SE 29TH STREET #9 99.98% 1900 SW 17TH ST LT 6548 SW 21ST ST ST LT 5605 SW FOXCROFT CIR S 635 SW GAGE BLVD #1 - OFFICE 545 NE LAKE 400 NE SPRUCE LN PUMP 5000 1/2 SW REDBUD LN. 934 NE QUINCY 320 S KANSAS AVE CHIEF OFF 3.0 320 S KANSAS AVE EXEC SRV 1.0 320 S KANSAS AVE TRAIN 1.0% 320 S KANSAS AVE ADULT CRIME 7 320 S KANSAS AVE CRIME SCENE 1 320 S KANSAS AVE FIELD OPS 26. 320 S KANSAS AVE COMM POLICE 2 320 S KANSAS AVE SCHOOL RES 2. 320 S KANSAS AVE MOTORCYCLE UN 1901 WESTERN 3919 SE 29TH STREET 5950 SW 41ST 550 NW 46TH	489,798.04

COUNCIL REPORT OF VENDOR PAYMENTS

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
3358892424-4.16		635 SW GAGE BLVD #14 - QUARAN	91.45
3359889707-4.16		318 NW CRANE ST	32.71
8917561729-4.16		120 NW CRANE - EMER WATER PUMP	468.41
8927971666-4.16		1200 DIVISION ST.	6,910.91
8990425420-4.16		PEDESTRIAN ST LIGHTS	2,516.83
9163909456-4.16		5610 SW FOXCROFT CIR.	52.83
9172705484-4.16		6255 CALIFORNIA (Gun Range)	263.26
3377855825-4.16		3332 SW WANAMAKER ST LT	69.37
3379200926-4.16		3140 SW WANAMAKER ST LT CENTER	74.37
342334703-4.16		6315 SW 29TH ST ST LT	125.98
3429732386-4.16		QUINCY ST PUMP FPM	29.40
3468280796-4.16		201 NE CURTIS ST	120.48
3481742208-4.16		1419 NE SEWARD AVE	269.52
9244495706-4.16		2001 NW WINTER ST	34.44
9281634463-4.16		635 SW GAGE BLVD - EXHIBIT	30.49
9381575612-4.16		1115 NE POPLAR ST	30,158.57
9388419420-4.16		1908 SE 29TH ST A	62.18
9396200104-4.16		1325 SW 16TH STREET	32.52
9406297791-4.16		720 SW 21st STREET	1,053.00
1047755001-4.16		635 SW GAGE BLVD B ZOO BEARS	34.72
1079563957-4.16		1215 SW OAKLEY AVE	259.45
1119938145-4.16		402 SE BRANNER ST LT	65.58
1213827529-4.16		635 SW Gage #19 - ARC BUILDING	222.73
1315447745-4.16		5928 SW 53RD ST PUMP	50.53
5044012316-4.16		6400 UNIVERSITY	596.47
5080166655-4.16		CRANE & N HARRISON (PAL)(Impou	644.81
5162823140-4.16		ITS CAMERAS	77.05
5209177869-4.16		322 NW CRANE ST (Impound)	119.17
5237660226-4.16		1439 NE ATCHISON AVE	151.93
1421891304B-4.16		215 SE 7TH - IT/ERP 7.32%	790.30
1421891304C-4.16		215 SE 7TH - FACILITIES .20%	21.59
1421891304D-4.16		215 SE 7TH - TPAC 60%	6,477.83
1421891304E-4.16		215 SE 7TH - COURT 5.6%	604.60
1421891304F-4.16		215 SE 7TH - CREDIT UNION 1.2%	129.56
1421891304G-4.16		215 SE 7TH - CITY CLERK 1.6%	172.74
1421891304H-4.16		215 SE 7TH - HR/WEELLNESS 4.7%	507.43
1421891304I-4.16		215 SE 7TH - PROSECUTION 1.86%	200.81
1421891304J-4.16		215 SE 7TH - PROBATION 2.4%	259.11
1421891304K-4.16		215 SE 7TH - COUNCIL OFFICE 1.	118.76
1421891304L-4.16		215 SE 7TH - CITY4 .86%	92.85
5380218945-4.16		831 NE US HWY 24	32.86
5652128807-4.16		1641 SW ANCASTER	146.71
5755425065-4.16		635 SW GAGE BLVD - A-QUARANTEE	780.70
575745505-4.16		4545 NW 43RD ST PUMP	45.31
6029216846-4.16		635 SW GAGE BLVD #24 - APES	524.36
6043959044-4.16		CRANE & N HARRISON (PAL) (Impo	18.65
0115356084-4.16		METERED TRAFFIC SIGNALS	10,117.89
0262780905-4.16		1127 INNOVATION PKWY PUMP	51.11
5026432749-4.16		2816 SW 29TH ST.- WW	6,163.38
5033670348-4.16		700 JEFFERSON- COMMONS .14%	0.44
5033670348A-4.16		700 JEFFERSON- HOLLIDAY ROOM 5	17.47
5033670348B-4.16		700 JEFFERSON - WELLNESS CLINI	10.39
5033670348C-4.16		700 JEFFERSON - TPD INTERNAL A	4.64
5033670348D-4.16		700 JEFFERSON- WATER 3.6%	11.43
5033670348E-4.16		700 JEFFERSON- HND 14.6%	46.37
5033670348F-4.16		700 JEFFERSON- IT 5.3%	16.83
5033670348G-4.16		700 JEFFERSON- TSG 5.6%	17.79
4542484126-4.16		JACKSON/512 SW JACKSON	2,512.05
4565831865-4.16		6305 SW 9TH B B	1,917.94
4634088434-4.16		1019 SW 22ND	5,578.26
4672756422-4.16		3205 NW HICKORY RIDGE LN	67.64
4688166907-4.16		3300 SE DOWNING DR	59.47
994842527-4.16		2010 SW 37TH ST	529.26
4284165684-4.16		815 SW GAGE BLVD-ZOO COMMISSAR	392.42

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
4398184091-4.16		1901 WESTERN AVE A	177.58
4451931225-4.16		2906 SW KANZA DR LT	158.19
4495154762-4.16		315 SE 21ST	58.11
4495259422-4.16		6402 SW 21ST ST ST LT	75.75
4500418622-4.16		201 NW TOPEKA-STREET 55.2.%	1,041.15
4500418622A-4.16		201 NW TOPEKA-FLEET 28.2%	531.89
4500418622B-4.16		201 NW TOPEKA-FORESTRY 13.7%	258.40
4500418622C-4.16		201 NW TOPEKA-FACILITIES 2.9%	54.70
9772420004-4.16		6900 SW CRESTWOOD	62.54
9785702480-4.16		2306 SE SAGIS CT	153.16
9804384888-4.16		1901 SW 17TH ST ST LT	109.13
9905880069-4.16		1200 NE DIVISION (PAL)	33.76
0552066743-4.16		4103 SW POSTOAK DRIVE	228.14
0681383808-4.16		101 SW US HIGHWAY 75 SIGN	44.69
0749842804-4.16		2200 WATERWORKS DR	23.85
0793252472-4.16		927 HARRISON OFFICE	737.32
0843913860-4.16		5261 NW BRICKYARD RD	28.92
0846578667-4.16		801 NE KINCAID RD	74.70
5033670348H-4.16		700 JEFFERSON- PARKING 3.12%	9.91
5033670348I-4.16		700 JEFFERSON- ENG 18.8%	59.71
5033670348J-4.16		700 JEFFERSON- CODE 4.9%	15.56
5033670348K-4.16		700 JEFFERSON- DSD PERMIT 6.45	20.49
5033670348L-4.16		700 JEFFERSON- DSD INSPECTION	20.49
5033670348M-4.16		700 JEFFERSON- TPD EMER COMM 2	9.27
5033670348N-4.16		700 JEFFERSON- FIRE INS 2.52%	8.00
5033670348O-4.16		700 JEFFERSON- PW ADMIN 4.07%	12.93
5033670348P-4.16		700 JEFFERSON- PLANNING 11.3%	35.87
1348331074-4.16		3305 SE WESTEDGE	64.43
1408512766-4.16		1215 SW 38TH	1,992.81
1421891304-4.16		215 SE 7TH - COMMONS 2.69%	290.42
1421891304A-4.16		215 SE 7TH - CONTRACTS 1.95%	210.53
5256371057-4.16		N TYLER & KS RV	23.96
5278673283-4.16		3306 SE CROCO RD	268.77
528113064-4.16		2222 NW 35TH ST	209.55
52866323-4.16		6009 SW 29TH ST ST LT	93.73
5288815051-4.16		5961 SW 10TH	533.86
5365632154-4.16		322 NW CRANE ST (PAL)	266.84
1720154406-4.16		6834 SW 17TH STREET PUMP	143.89
1737172307-4.16		6531 SW 29TH ST S LT	123.76
1747452090-4.16		2400 NW WATERWORKS	8,619.98
1762092009-4.16		1908 SE 29TH ST B	59.94
1793486451-4.16		120 NW CRANE -SW	23.85
6600935533-4.16		BURNETT'S MOUND	82.87
6684018868-4.16		5002 NW KENDALL DR	43.65
6806672566-4.16		1610 BUTTON RD.	92.12
6878412783-4.16		3245 NW WATER WORKS DR	96.26
1830815552-4.16		420 NW WAITE ST	24.42
1883517398-4.16		619 SE RICE RD	372.61
1894285067-4.16		1115 NE POPLAR ST B	45.29
1911987884-4.16		4827 NW 17TH ST PUMP (SUNFLOWE	29.20
1947734359-4.16		201 NW TOPEKA-STREET PAL	530.70
1977020420-4.16		2521 SE 2ND ST	72.60
6987642013-4.16		2860 SE GOLDEN	38.20
7006406272-4.16		2000 NW TYLER	88.47
7052702107-4.16		2101 SW URISH RD	430.96
7054526981-4.16		DECORATIVE STREET LIGHTS	1,209.15
7093577888-4.16		2000 NW 17TH ST	578.70
1421891304M-4.16		215 SE 7TH - LEGAL 1.3%	140.35
1421891304N-4.16		215 SE 7TH - LEGAL SPEC LIABIL	140.35
1421891304NO-4.1		215 SE 7TH - MAYOR .82%	88.53
1421891304OP-4.1		215 SE 7TH - CITY MGR 1.3%	140.35
1421891304Q-4.16		215 SE 7TH - FINANCE 3.80%	410.26
1519476504-4.16		813 SW CLAY STREET	342.26
1597278899-4.16		419 SE 13TH ST.	32.83

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
6145729420-4.16		318 NW CRANE ST	210.74
6149102541-4.16		600 SW 42ND ST TANK	25.97
2069150421-4.16		7325 SW 40TH	54.23
2158288989-4.16		400 BROADMOOR	458.66
2189423730-4.16		2700 SW FAIRLAWN RD	519.63
2266273903-4.16		825 S KANSAS AVE G CENTRE CITY	1,618.77
2272608403-4.16		800 SE MONROE ST (PAL)	199.15
2273632565-4.16		1800 NE GRANTVILLE RD	95.40
7129070441-4.16		324 SE JEFFERSON	1,616.68
7165756657-4.16		400 US HWY 24	48.56
7222261768-4.16		138 N KS AVE	80.13
7291675894-4.16		300 SE 40TH	73.49
249842055B-4.16		215 SE 7TH - IT/ERP 7.32%	166.36
249842055C-4.16		215 SE 7TH - FACILITIES .20%	4.55
249842055D-4.16		215 SE 7TH - TPAC 60%	1,363.61
249842055E-4.16		215 SE 7TH - COURT 5.6%	127.27
249842055F-4.16		215 SE 7TH - CREDIT UNION 1.2%	27.27
249842055G-4.16		215 SE 7TH - CITY CLERK 1.6%	36.36
249842055H-4.16		215 SE 7TH - HR/WEELLNESS 4.7%	106.82
249842055I-4.16		215 SE 7TH - PROSECUTION 1.86%	42.27
249842055J-4.16		215 SE 7TH - PROBATION 2.4%	54.54
249842055K-4.16		215 SE 7TH - COUNCIL OFFICE 1.	25.00
7561894529-4.16		8TH & MONROE (PAL)	103.25
7634627729-4.16		3030 SE CROCO RD.	69.07
7672355786-4.16		3450 SW BELLE AVE POND	307.38
7678466617-4.16		200 NE CRANE	105.98
7781238941-4.16		STREET LIGHTS	148,388.11
2527930189B-4.16		620 MADISON - WELLNESS CLINIC	189.68
2527930189C-4.16		620 MADISON - TPD INTERNAL AFF	84.69
2527930189D-4.16		620 MADISON - WATER 3.6%	208.82
2527930189E-4.16		620 MADISON - HND 14.6%	846.88
2527930189F-4.16		620 MADISON - IT 5.3%	307.43
2527930189G-4.16		620 MADISON - TSG 5.6%	324.83
2527930189H-4.16		620 MADISON - PARKING 3.12%	180.98
2527930189I-4.16		620 MADISON - ENG 18.8%	1,090.51
2527930189J-4.16		620 MADISON - CODE 4.9%	284.23
8045856673-4.16		932 NE Quincy - FIRE	267.86
8101041023-4.16		3158 1/2 SE 6TH AVE	27.22
8276026298-4.16		322 NW CRANE ST (PAL) (Impound	32.71
8290044485-4.16		3414 SE 35TH ST.	94.29
1601805968-4.16		3500 SW WANAMAKER ST LT	72.19
1644917029-4.16		3245 NW WATER WORKS DR	113,683.56
1671696488-4.16		7215 SW TOPEKA BLVD	31.04
1677223701-4.16		635 SW GAGE BLVD A - VET CLINI	275.99
1709729387-4.16		201 NW TOPEKA-STREET	23.85
6358801391-4.16		2700 NE MERIDEN RD	859.87
6385101124-4.16		4540 NW SIOUX	177.46
6418900406-4.16		230 SE ALKIRE	49.81
6473225120-4.16		4300 SE 23RD TERR	645.63
6548990643-4.16		PARKNSHOP/611 QUINCY	1,390.31
2909742456-4.16		200 N KANSAS AVE	23.85
2952910200-4.16		3305 SW 46TH	69.09
2978671422-4.16		635 SW GAGE BLVD 2 - CONCESSIO	342.26
3068995963-4.16		2739 SE LAKE TERR	46.96
309522996-4.16		201 NW TOPEKA-STREET PAL	189.43
8718757529-4.16		1703 INDIAN HILLS	105.73
8797295426-4.16		3107 SE SILVERLEAF CT	65.45
8828977802-4.16		6305 SW 9TH ST	1,414.53
889044562-4.16		1419 NE SEWARD AVE	14.73
2527930189K-4.16		620 MADISON - DSD PERMIT 6.45%	374.14
2527930189L-4.16		620 MADISON - DSD INSPECTION 6	374.14
2527930189M-4.16		620 MADISON - TPD EMER COMM 2.	169.38
2527930189N-4.16		620 MADISON - FIRE INS 2.52%	146.17
2527930189O-4.16		620 MADISON - PW ADMIN 4.07%	236.08

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2527930189P-4.16		620 MADISON - PLANNING 11.3%	655.46
2556481079-4.16		8TH & MADISON (PAL)	214.68
2772553529-4.16		4130 SE EAST EDGE RD PUMP	270.81
2868104065-4.16		201 NW TOPEKA-STREET	266.57
8336454201-4.16		1600 NW BUTTON RD.	38,557.80
8345937008-4.16		635 SW GAGE BLVD ZOO HYENA	205.95
8513066501-4.16		2300 SE 45TH ST	79.95
857144328-4.16		2000 NW 17TH ST	32.34
8573461924-4.16		1103 QUINCY/TANK	27.49
8595931907-4.16		201 NW TOPEKA-STREET	23.96
249842055L-4.16		215 SE 7TH - CITY4 .86%	19.55
249842055M-4.16		215 SE 7TH - LEGAL 1.3%	29.54
249842055N-4.16		215 SE 7TH - LEGAL SPEC LIABIL	29.54
249842055O-4.16		215 SE 7TH - MAYOR .82%	18.64
249842055P-4.16		215 SE 7TH - CITY MGR 1.3%	29.54
249842055Q-4.16		215 SE 7TH - FINANCE 3.80%	86.38
2518492210-4.16		CORONADO/917 QUINCY	2,607.58
2527930189-4.16		620 MADISON - COMMONS .14%	8.12
2527930189A-4.16		620 MADISON - HOLLIDAY ROOM 5.	319.03
7858393411-4.16		3712 SW STONEBRIDGE CT.	50.01
7891221852-4.16		300 SE JEFERSON - FIRE 54%	422.29
7891221852A-4.16		300 SE JEFERSON - FLEET 46%	359.73
2336545121-4.16		635 SW GAGE BLVD C - CARNIVORE	268.47
2336829480-4.16		NINTH STREET/215 SE 9TH	2,465.15
2362208215-4.16		1915 WESTERN	831.35
2437202074-4.16		200 NE QUINCY ST	51.15
249842055-4.16		215 SE 7TH - COMMONS 2.69%	61.14
249842055A-4.16		215 SE 7TH - CONTRACTS 1.95%	44.32
731539692-4.16		BURNETTES MOUND (PAL) (tower)	67.54
7391817447-4.16		123 SE 29TH ST LT	41.83
7479004144-4.16		112 SW 8TH CROSBY PLACE	1,575.03
7548807911-4.16		4035 SW 6TH AVE - ZOO LIGHTING	325.43
720487	05/13/2016	PR RAINTREE LLC	10350
BRO103-0416		S+C April2016Payment	279.00
BRO103-0516		S+C MAY2016Payment	279.00
720488	05/13/2016	STORMONT VAIL WORKCARE	4783
42297	34113		586.30
42314	34113		406.00
42450	34113		51.00
42451	34113		239.00
42521	34113		1,006.80
42529	34113		50.00
42551	34113		122.00
720502	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000002781605132		Bankruptcy - Amt 26 PP	84.00
720503	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000006581605132		Bankruptcy - Amt 26 PP	144.00
720504	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000000671605132		Bankruptcy - Amt 26 PP	94.62
720505	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000002321605132		Bankruptcy - Amt 26 PP	97.22
720506	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000008061605132		Bankruptcy - Amt 26 PP	48.46
720507	05/13/2016	CHAPTER 13 TRUSTEE	2494
0000011921605132		Bankruptcy - Amt 26 PP	63.70

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Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720508 0000006771605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 484.61
720509 0000023851605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 36.92
720510 0000000441605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 87.69
720511 0000022961605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 202.61
720512 0000025031605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 95.54
720513 0000010091605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 138.46
720514 0000001521605132	05/13/2016	CHAPTER 13 TRUSTEE Bankruptcy - Amt 26 PP	2494 183.69
720515 0000010271605132	05/13/2016	FAMILY SUPPORT PAYMENT CENTER Child Support - Amt	6780 150.00
720516 0000024101605132	05/13/2016	FAMILY SUPPORT PAYMENT CENTER Child Support - Amt	6780 461.77
720517 0000025881605132	05/13/2016	FAMILY SUPPORT PAYMENT CENTER Child Support - Amt	6780 125.54
720518 UNF116051323042 UNF116051323042	05/13/2016	FRATERNAL ORDER OF POLICEMEN Union Dues - FOP Union Dues - FOP	1773 73.50 8,753.66
720519 0000008141605132	05/13/2016	GENERAL REVENUE CORPORATION Student Loan Federal - Pct	1867 186.59
720520 0000003541605132	05/13/2016	ILLINOIS STUDENT ASSISTANCE Student Loan Federal - Pct	9196 306.31
720521 0000021551605132	05/13/2016	PIONEER CREDIT RECOVERY INC Student Loan Federal - Pct	3940 227.58
720522 0000008981605132	05/13/2016	SUPPORTKIDS SERVICES INC Child Support - Amt	4283 183.48
720523 0000021551605132	05/13/2016	UNITED STATES GOVERNMENT Student Loan Federal - Pct	9489 151.72
720524 0000005561605132	05/13/2016	WILLIAM GRIFFIN CHAPTER Bankruptcy - Amt 26 PP	5446 2,145.24
720525 0000004131605132	05/13/2016	WILLIAM GRIFFIN CHAPTER Bankruptcy - Amt 26 PP	5446 1,246.16
720526 0000008011605132	05/13/2016	WILLIAM GRIFFIN CHAPTER Bankruptcy - Amt 26 PP	5446 807.70
720527 86128	05/13/2016 35105	CENTRAL STATES MACHINING & WEL	869 1,984.90

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720528	05/13/2016	FASTENAL COMPANY 1619	13.44
KSTOP227679	33225		5.32
KSTOP227705	33382		5.12
KSTOP227758	33271		3.00
720529	05/13/2016	KANSAS CORRECTIONAL INDUSTRIES 2662	30,292.28
163075	34688		
720530	05/13/2016	KANSAS SAND & CONCRETE 2744	2,829.90
90041486	33407		510.00
90041487	33407		510.00
90041488	33407		1,377.00
90042423	33407		432.90
720531	05/13/2016	MID-STATES MATERIALS LLC 3401	11,979.51
55454	33473		337.25
55455	34591		11,642.26
720532	05/13/2016	MIDWEST MOTOR SUPPLY CO INC 2854	2,703.34
4856401	33211		62.31
4880534	33478		779.86
4880845	33478		595.82
4887739	33478		848.56
4889232	33478		416.79
720533	05/13/2016	RICK'S CONCRETE SAWING 4207	1,640.00
16 0716	33835		
720534	05/13/2016	ROACH HARDWARE 4230	98.99
115417	33413		52.55
115851	33413		10.49
115924	33413		11.99
115944	33413		14.97
115953	33413		8.99
720535	05/20/2016	ALDERSON, ALDERSON, WEILER, 10377	382.50
16 1075 01	35254		
720536	05/20/2016	FISHER PATTERSON SAYLER & 1690	2,145.00
77666	19222		
720537	05/20/2016	CAPITAL CITY COMMUNITY CHURCH 10366	7,425.00
35232 PERM EASE	35232		465.00
35232 PERM EASE	35232		4,155.00
35232 TEMP EASE	35232		35.00
35232 TEMP EASE	35232		2,770.00
720538	05/20/2016	LOPEZ, CHARLES T 10370	720.00
35238 R-O-W EASE	35238		
720539	05/20/2016	ROENBAUGH, D ROBERT 8342	12,000.00
35233 PERM EASE	35233		9,838.00
35233 R-O-W EASE	35233		1,962.00
35233 TEMP EASE	35233		200.00
720540	05/20/2016	SKINNER, JEFFREY D 4596	32,000.00
35237 PERM EASE	35237		31,055.00
35237 R-O-W EASE	35237		805.00
35237 TEMP EASE	35237		140.00
720541	05/20/2016	TETUAN, BEVERLY ANN 10369	3,050.00

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35234 R-O-W EASE	35234		3,050.00
720542	05/20/2016	1ST DUE EMERGENCY RESPONSE 5911	836.45
16 2420	33603		243.00
16 2421	33604		593.45
720543	05/20/2016	A & A AUTO AND TRUCK PARTS INC 10	20.00
1375142	33245		20.00
720544	05/20/2016	ALFA LAVAL INC 9878	19,985.39
276022857	34836		19,985.39
720545	05/20/2016	ARAMARK UNIFORM & CAREER 9589	68.24
311034889	33220		15.63
31103489	33220		22.48
311034890	33220		30.13
720546	05/20/2016	AT&T 281	100.00
147404396 5/01/16 POLICE UVERSE			100.00
720547	05/20/2016	AUTO ZONE INC 310	119.88
1634069819	34547		119.88
720548	05/20/2016	BRIDGESTONE AMERICAS INC 1855	1,785.22
526 48573	33274		747.76
526 48607	33274		897.46
526 48608	33274		140.00
720549	05/20/2016	BROWNS SUPER SERVICE INC 670	810.00
45124	33261		250.00
45243	33261		560.00
720550	05/20/2016	CAPITOL AREA MAJOR CASE SQUAD 9869	150.00
BERG JEREMY 20	34919		15.00
BOTTENBERG ZAC	34862		15.00
DICKEY SCOTT 20	34919		15.00
FALLEY JANENE 2	34919		15.00
HANIKA BRAD 201	34862		15.00
MARTIN MICHAEL	34862		15.00
NELSON JACOB 20	34919		15.00
RIGGIN VICTOR 20	34919		15.00
VOLLINTINE JAME	34862		15.00
WHEELLES BRYAN	34919		15.00
720551	05/20/2016	CELLCO PARTNERSHIP 9497	849.93
9764639074	DE		849.93
720552	05/20/2016	CONRAD FIRE EQUIPMENT INC 1073	442.20
506409	33267		442.20
720553	05/20/2016	COREFIRST BANK & TRUST 1111	5,720.47
APRIL 2016	35266		5,720.47
720554	05/20/2016	DOUG RICHERT PONTIAC CADILLAC 1397	369.03
257395	33270		142.30
257443	33270		173.46
257477	33270		53.27
720555	05/20/2016	ELLIOTT AUTO SUPPLY COMPANY 5676	159.26
8 643632	33243		270.00
8 643648	33243		-110.74

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720556	05/20/2016	ENVISION INDUSTRIES INC 1549	62.40
0003439927	33371		31.20
0003439934	33371		31.20
720557	05/20/2016	EXPERIAN INFORMATION SOLUTIONS 5760	1,120.28
CD1701005622	33426		630.86
CD1701005623	33426		489.42
720558	05/20/2016	FEDEX 1632	344.66
5 406 77198	33384		
720559	05/20/2016	FINLAY AUTOMOTIVE SUPPLY INC 10237	486.17
012853	34115		30.55
012870	34115		54.15
012970	34115		14.33
012976	34116		102.89
012977	34116		83.95
013042	34115		200.30
720560	05/20/2016	GALLS INC 1829	13.90
005284708	34968		
720561	05/20/2016	HALL COMMERCIAL PRINTING 2053	293.00
160664	35252		93.00
160715	35252		65.00
160716	35252		63.00
160717	35252		72.00
720562	05/20/2016	HERITAGE STRATEGIES LLC 8830	7,744.00
2 0216	32558		
720563	05/20/2016	SPENCER & COMPANY 2321	46.82
S 12318	33281		
720564	05/20/2016	ICE-MASTERS INC 9074	2,177.57
3092951	34976		
720565	05/20/2016	JAMES L DUNLAP 2533	11.96
933048	33285		
720566	05/20/2016	KANSAS AUTOMOTIVE INC 2639	1,480.82
2882439	33289		5.69
2883018	33214		1,420.74
2883164	33214		3.68
2883205	33289		13.92
2883508	33289		2.60
2883544	33289		4.20
2883622	33289		1.22
2883661	33289		10.81
2883764	33289		11.48
2883816	33289		6.48
720567	05/20/2016	KANSAS DEPT OF REVENUE 2691	28,995.29
6124 8N57 48P4	SALES TAX WATE		
720568	05/20/2016	KANSAS POWERTRAIN & 6935	1,564.08
31116	33358		
720569	05/20/2016	L & H MOBILE ELECTRONICS LLC 2930	362.00
98283	33293		
720570	05/20/2016	LOWER HEATING & A/C INC 3119	8,844.68

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100422	33670		313.78
10174	34998		8,530.90
720571	05/20/2016	MOSER, ROBERT E 3537	600.00
33572 MAR & APR	33572		600.00
720572	05/20/2016	NAILL ENTERPRISES LTD 4931	96.15
7062 49	33462		96.15
720573	05/20/2016	POLICE IMPREST FUNDS 3971	1,465.00
33717 8	33717		1,465.00
720574	05/20/2016	POTTERS INDUSTRIES 3982	11,990.00
91029758	34687		11,990.00
720575	05/20/2016	PUR O ZONE INC 6773	770.49
697071	33725		770.49
720576	05/20/2016	REEVES WIEDEMAN COMPANY INC 4154	274.25
4808997	33416		274.25
720577	05/20/2016	ROLLING PRAIRIE 9658	55.10
50529	33362		55.10
720578	05/20/2016	SBC GLOBAL SERVICES INC 286	3,002.94
SB918840	34921		3,002.94
720579	05/20/2016	SHAWNEE COUNTY RURAL WATER 5719	1,497.00
33591 APR 2016	33591		1,497.00
720580	05/20/2016	SMARTPROCURE INC 10318	750.00
20709	35085		750.00
720581	05/20/2016	SOLARWINDS INC 9151	2,448.00
IN271933	35075		2,256.00
IN271935	35074		192.00
720582	05/20/2016	SOUTHEAST SEWER & DRAINAGE INC 9494	4,760.00
10517	34952		4,760.00
720583	05/20/2016	SOUTHWEST PAPER COMPANY INC 4674	330.00
901250	33701		330.00
720584	05/20/2016	TOPEKA FOUNDRY & IRON WORKS IN 5029	91.88
4371 BS16	33306		19.36
4375 BS16	33306		72.52
720585	05/20/2016	VERITIV OPERATING COMPANY 10171	914.79
9019346183	33660		914.79
720586	05/20/2016	WILLIAMSON, JACK T 9792	300.00
33694 5	33694		300.00
720587	05/20/2016	TOPEKA RENTALS LLC 5046	749.00
HOL109-0516B		S+C MAY2016 Payment	224.00
HOL109-DEP		S+C MAY2016 Deposit	525.00
720588	05/20/2016	RANDALL K LISTROM 10394	668.02
HR2418540465		RETIREE HEALTH INS-/CANCELLED	668.02
720610	05/20/2016	CENTRAL STATES MACHINING & WEL 869	1,063.79
86134	35105		1,063.79

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720611	05/20/2016	FASTENAL COMPANY 1619	221.24
KSTOP227825	33382		181.32
KSTOP227894	33382		30.56
KSTOP227975	33271		3.00
KSTOP227977	33382		6.36
720612	05/20/2016	GRAINGER 1964	1,902.17
9095084449	35095		455.79
9096810305	35107		1,446.38
720613	05/20/2016	KANSAS SAND & CONCRETE 2744	5,220.00
90044127	33407		319.00
90044451	33407		580.00
90044452	33407		580.00
90044453	33407		2,088.00
90044454	33407		493.00
90045990	33407		1,160.00
720614	05/20/2016	MIDWEST MOTOR SUPPLY CO INC 2854	1,118.33
4902031	33478		448.52
4902585	33478		669.81
720615	05/20/2016	ROACH HARDWARE 4230	96.88
116116	33413		52.97
116152	33413		37.95
116201	33413		5.96
720616	05/20/2016	SAFETY CONSULTING INC 4335	1,925.00
160468	33589		1,045.00
160469	33492		495.00
160470	33420		165.00
1604701	33903		220.00
720617	05/20/2016	SAFETY SUPPLIES 4336	67.15
SSI 160487	33421		67.15
720618	05/20/2016	TESSENDORF WELDING & MACHINE I 4909	134.75
60780	33569		134.75
720619	05/20/2016	COX COMMUNICATIONS 7748	391.00
CR 2015 0007955 MDAVID T GAINES			391.00
720620	05/20/2016	CRIME VICTIMS COMPENSATION 6575	352.45
CR 2010 0017188 MKN CUSHINBERRY			352.45
720621	05/20/2016	FITZPATRICK, BRYAN 10248	50.00
CR 2015 0014019 SF VILLAGRAN JR			50.00
720622	05/20/2016	HOWLAND, BRIAN R 10281	50.00
CR 2015 0001605 MAARON M COWDIN			50.00
720623	05/20/2016	KINNEY, TROY M 10174	50.00
CR 2006 0020052 F DL BIGENWALT			50.00
720624	05/20/2016	TRUJILLO, STEPHANIE J 10297	40.00
CR 2015 0005347 / DAVID GARCIA			40.00
720625	05/27/2016	BUTLER & ASSOCIATES PA 730	426.43
0000008281605271		Garnishment - Pct of Net	426.43
720626	05/27/2016	BUTLER & ASSOCIATES PA 730	265.20

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0000003271	1605271	Garnishment - Pct of Net	265.20
720627	05/27/2016	BUTLER & ASSOCIATES PA 730	26.27
0000023811	1605271	Garnishment - Pct of Net	26.27
720628	05/27/2016	BUTLER & ASSOCIATES PA 730	26.30
0000023811	1605271	Garnishment - Pct of Net	26.30
720629	05/27/2016	BUTLER & ASSOCIATES PA 730	26.27
0000023811	1605271	Garnishment - Pct of Net	26.27
720630	05/27/2016	BUTLER & ASSOCIATES PA 730	26.27
0000023811	1605271	Garnishment - Pct of Net	26.27
720631	05/27/2016	H KENT HOLLINS ATTORNEY AT LAW 6502	113.58
0000025581	1605271	Garnishment - Pct of Net	113.58
720632	05/27/2016	H KENT HOLLINS ATTORNEY AT LAW 6502	331.78
0000023031	1605271	Garnishment - Pct of Net	331.78
720633	05/27/2016	H KENT HOLLINS ATTORNEY AT LAW 6502	195.45
0000024681	1605271	Garnishment - Pct of Net	195.45
720634	05/27/2016	PROBASCO & ASSOCIATES PA 10144	31,498.23
14M036 FENNELL	35267		406.82
14M021 RAMIREZ	35267		290.64
14M022 BARTLEY	35267		166.52
14M023 THOMPSON	35267		103.13
14M024 CONNER	35267		353.63
14M030 GOTTSTEIN	35267		1,049.10
14M040 SOTO MEI	35267		820.72
15M001 BERWERT	35267		4,487.42
15M002 JACKSON	35267		705.39
15M003 MILLER M	35267		399.47
15M008 LAVIN C	35267		481.24
15M009 SANDS A	35267		428.56
15M010 BROCK K	35267		511.88
15M021 WASKOM	35267		881.78
15M022 VICCIULLI	35267		11,584.09
15M028 MC LAUGH	35267		8,149.65
15M031 WHEELER	35267		678.19
720635	05/27/2016	ZIMMERMAN & ZIMMERMAN PA 5186	113.58
0000025581	1605271	Garnishment - Pct of Net	113.58
720636	05/27/2016	DAVIS, PHILIP J 10386	500.00
35327 TEMP EASE	35327		500.00
720637	05/27/2016	MARGIE L EKLUND LIVING TRUST 10383	500.00
35326 TEMP EASE	35326		500.00
720638	05/27/2016	PRICE, AUSTIN S 10384	500.00
35322 TEMP EASE	35322		500.00
720639	05/27/2016	TAYLOR, ERIKA R 10385	5,455.00
35321 R-O-W EASE	35321		5,420.00
35321 TEMP EASE	35321		35.00
720640	05/27/2016	VIRGINIA A NEWELL REVOCABLE 3670	575.00
PERM EASE#4PA/4	35328		525.00
TEMP EASE#4TA/4	35328		50.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720641	05/27/2016	ADVANCE STORES COMPANY INC 64	8.27
1649612476231	33251		8.27
720642	05/27/2016	ANDERSEN PRODUCTS INC 201	458.41
0400615 IN	35362		458.41
720643	05/27/2016	VCA CENVET INC 5886	860.86
201604 0	33370		860.86
720644	05/27/2016	ARAMARK UNIFORM & CAREER 9589	350.38
311034888	33493		141.07
311060010	33493		141.07
311060011	33220		15.63
311060012	33220		30.13
311060013	33220		22.48
720645	05/27/2016	AT&T 281	19,171.08
MAY 2016	MONTHLY PHONE		19,171.08
720646	05/27/2016	AT&T 281	478.75
6447761304	LONG DISTANCE		478.75
720647	05/27/2016	AT&T CAPITAL SERVICES 284	7,131.57
2984698	28170		7,131.57
720648	05/27/2016	AUTO ZONE INC 310	184.07
1634082840	33253		184.07
720649	05/27/2016	BA DESIGNS LLC 327	3,112.00
BA17303	34954		3,112.00
720650	05/27/2016	BECC CORPORATION 9757	2,610.00
2649	33923		2,610.00
720651	05/27/2016	BRIDGESTONE AMERICAS INC 1855	527.92
526 48713	33274		163.10
526 48714	33340		364.82
720652	05/27/2016	BROWNS SUPER SERVICE INC 670	550.00
45421	33261		300.00
45461	33261		250.00
720653	05/27/2016	CE WATER MANAGEMENT INC 858	366.00
C45789	33818		366.00
720654	05/27/2016	CITY OF GOODYEAR 10301	13,591.66
1471	35109		13,591.66
720655	05/27/2016	CONRAD FIRE EQUIPMENT INC 1073	1,232.45
506526	33883		1,232.45
720656	05/27/2016	CONSOLIDATED RURAL WATER 1076	1,239.00
33461 MAY 2016	33461		1,239.00
720657	05/27/2016	CREATIVE BUSINESS SOLUTIONS 1165	1,092.50
5445	34572		842.50
5490	34050		250.00
720658	05/27/2016	DOUG RICHERT PONTIAC CADILLAC 1397	50.00
557854	33270		50.00
720659	05/27/2016	ENVIRONMENTAL ENERGY INC 1545	487.60

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
39170	35319		364.80
41092	35319		122.80
720660	05/27/2016	ENVIRONMENTAL PROCESS 10364	3,500.00
05041601	35177		3,500.00
720661	05/27/2016	FINLAY AUTOMOTIVE SUPPLY INC 10237	817.38
011582	34116		142.48
011897	34115		53.02
013753	34115		-59.29
013791	34115		20.33
014198	34115		75.47
014368	34115		11.02
014374	34115		231.91
014481	34116		342.44
720662	05/27/2016	GALLS INC 1829	224.00
005313646	34968		224.00
720663	05/27/2016	HALL COMMERCIAL PRINTING 2053	1,358.15
160607	35333		1,289.00
160770	35242		69.15
720664	05/27/2016	HEALTHSTAT INC 9951	31,547.13
40719	34744		31,547.13
720665	05/27/2016	HOUCK MOTOR COACH 10093	1,000.00
67526	33935		1,000.00
720666	05/27/2016	SPENCER & COMPANY 2321	198.52
S 12358	33281		198.52
720667	05/27/2016	ICE-MASTERS INC 9074	334.42
3093002	35324		334.42
720668	05/27/2016	INFORMATION NETWORK OF KANSAS 2395	115.69
1117342	33870		-95.00
1150630	33870		91.00
1228990	33870		48.00
1235458	34024		71.69
720669	05/27/2016	INTEGRITY MUNICIPAL SYSTEMS 9893	157,500.00
5815	33892		157,500.00
720670	05/27/2016	JAYHAWK AUTO INC 2501	155.00
16807	33284		155.00
720671	05/27/2016	KANSAS ATTORNEY GENERAL 2637	255.00
LG 16 000685	BONDS		255.00
720672	05/27/2016	KANSAS DEPT OF REVENUE 2691	6,075.98
6145 J23N 53RD	SALES TAX ZOO		6,075.98
720673	05/27/2016	KANSAS ONE CALL SYSTEM INC 2728	2,814.00
6040480	33412		2,814.00
720674	05/27/2016	KANSAS PARALEGAL ASSOCIATION 2731	400.00
00334	35343		75.00
00335	35343		75.00
00336	35343		75.00
00337	35343		100.00
00339	35343		75.00

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720675 2133006000 05/16	05/27/2016 DE	KAW VALLEY ELECTRIC 8159	117.49 117.49
720676 74917324	05/27/2016 33323	LKQ MIDAMERICA AUTO PARTS INC 8236	35.00 35.00
720677 7089	05/27/2016 26372	MIDLAND GIS SOLUTIONS LLC 3399	4,050.00 4,050.00
720678 2892	05/27/2016 35307	MIDWEST COATING 3407	147.30 147.30
720679 7062 50	05/27/2016 33462	NAILL ENTERPRISES LTD 4931	96.15 96.15
720680 2016	05/27/2016 35299	OPEN AIR CINEMA LLC 10365	4,119.30 4,119.30
720681 5057	05/27/2016 34430	PETDATA INC 10112	3,122.25 3,122.25
720682 3090525401	05/27/2016 33990	REED ELSEVIER INC 1518	796.00 796.00
720683 4815459	05/27/2016 33416	REEVES WIEDEMAN COMPANY INC 4154	31.68 31.68
720684 35165271	05/27/2016 BONDS	S&P CAPITAL IQ LLC 10402	518.00 518.00
720685 005184 005185 005196 005743 006109 006124 006360 009935 001935	05/27/2016 34453 33861 34453 33861 35192 33606 33606 33606 35153	SAMS CLUB 4357	26.82 159.20 187.74 94.70 2,356.00 95.38 207.32 31.74 288.16 3,447.06
720686 8A 8B 9A 9B 10A 10B	05/27/2016 35306 35306 35306 35306 35306 35306	SANCHEZ PROFESSIONAL CLEANING 10169	508.75 90.00 508.75 90.00 508.75 90.00 1,796.25
720687 SB923916 SW126220	05/27/2016 33235 33235	SBC GLOBAL SERVICES INC 286	5,562.99 1,110.44 6,673.43
720688 407459	05/27/2016 34895	SCOTTY WILSON ENTERPRISES INC 4442	9,300.00 9,300.00
720689 2010 4947	05/27/2016 34875	SEABROOKS INC 10180	279.00 279.00
720690 92600	05/27/2016 33228	SHAWNEE COUNTY 4521	30.50 152.50

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
92601	33228		30.50
92602	33228		30.50
92603	33228		30.50
92604	33228		30.50
720691	05/27/2016	SHAWNEE COUNTY 4522	1,550.00
36498	35346		116.00
36794	33448		618.00
36796	34702		302.00
36822	35202		490.00
36836	33448		24.00
720692	05/27/2016	SOUTHWEST PAPER COMPANY INC 4674	588.42
902399	33701		80.00
902400	33701		508.42
720693	05/27/2016	LINEAGE MAILING SERVICES LLC 9223	5,408.79
376576	35246		1,768.93
378567	35246		1,768.93
378568	35246		1,870.93
720694	05/27/2016	RAD INC 5042	386.41
46088	33308		342.29
46122	33308		44.12
720695	05/27/2016	TRANSUNION RISK AND 9436	119.75
APR 2016 ACCT 25	33511		119.75
720696	05/27/2016	ULTIMATE BOUNCE 5124	825.00
1167	35211		825.00
720697	05/27/2016	UNIVERSITY OF GEORGIA 292	60.89
339536	33369		60.89
720698	05/27/2016	CELLCO PARTNERSHIP 9497	849.96
9759721579	DE		849.96
720699	05/27/2016	VERMEER GREAT PLAINS INC 5218	445.65
P20946	33311		347.74
P21071	33311		97.91
720700	05/27/2016	WASHBURN UNIVERSITY OF TOPEKA 9234	1,450.00
16 1003	33944		1,450.00
720701	05/27/2016	WSW ENGINEERING INC 5552	11,049.84
618	33586		11,049.84
720702	05/27/2016	ST FRANCIS HEALTH CENTER INC 4338	25.73
65066392401	35348		25.73
720703	05/27/2016	STORMONT VAIL WORKCARE 4783	251.90
A1526900007	35347		251.90
720721	05/27/2016	CHAPTER 13 TRUSTEE 2494	84.00
0000002781605271	Bankruptcy - Amt 26 PP		84.00
720722	05/27/2016	CHAPTER 13 TRUSTEE 2494	144.00
0000006581605271	Bankruptcy - Amt 26 PP		144.00
720723	05/27/2016	CHAPTER 13 TRUSTEE 2494	94.62
0000000671605271	Bankruptcy - Amt 26 PP		94.62

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720724	05/27/2016	CHAPTER 13 TRUSTEE 2494	97.22
0000002321605271		Bankruptcy - Amt 26 PP	97.22
720725	05/27/2016	CHAPTER 13 TRUSTEE 2494	48.46
0000008061605271		Bankruptcy - Amt 26 PP	48.46
720726	05/27/2016	CHAPTER 13 TRUSTEE 2494	63.70
0000011921605271		Bankruptcy - Amt 26 PP	63.70
720727	05/27/2016	CHAPTER 13 TRUSTEE 2494	484.61
0000006771605271		Bankruptcy - Amt 26 PP	484.61
720728	05/27/2016	CHAPTER 13 TRUSTEE 2494	36.92
0000023851605271		Bankruptcy - Amt 26 PP	36.92
720729	05/27/2016	CHAPTER 13 TRUSTEE 2494	87.69
0000000441605271		Bankruptcy - Amt 26 PP	87.69
720730	05/27/2016	CHAPTER 13 TRUSTEE 2494	202.61
0000022961605271		Bankruptcy - Amt 26 PP	202.61
720731	05/27/2016	CHAPTER 13 TRUSTEE 2494	95.54
0000025031605271		Bankruptcy - Amt 26 PP	95.54
720732	05/27/2016	CHAPTER 13 TRUSTEE 2494	138.46
0000010091605271		Bankruptcy - Amt 26 PP	138.46
720733	05/27/2016	CHAPTER 13 TRUSTEE 2494	183.69
0000001521605271		Bankruptcy - Amt 26 PP	183.69
720734	05/27/2016	FAMILY SUPPORT PAYMENT CENTER 6780	424.05
0000024101605271		Child Support - Amt	424.05
720735	05/27/2016	FAMILY SUPPORT PAYMENT CENTER 6780	125.54
0000025881605271		Child Support - Amt	125.54
720736	05/27/2016	FRATERNAL ORDER OF POLICEMEN 1773	8,859.91
UNF116052710373		Union Dues - FOP	73.50
UNF116052710373		Union Dues - FOP	8,786.41
720737	05/27/2016	GENERAL REVENUE CORPORATION 1867	186.59
0000008141605271		Student Loan Federal - Pct	186.59
720738	05/27/2016	ILLINOIS STUDENT ASSISTANCE 9196	303.69
0000003541605271		Student Loan Federal - Pct	303.69
720739	05/27/2016	PIONEER CREDIT RECOVERY INC 3940	236.97
0000021551605271		Student Loan Federal - Pct	236.97
720740	05/27/2016	SUPPORTKIDS SERVICES INC 4283	286.15
0000008981605271		Child Support - Amt	286.15
720741	05/27/2016	UNITED STATES GOVERNMENT 9489	157.98
0000021551605271		Student Loan Federal - Pct	157.98
720742	05/27/2016	WILLIAM GRIFFIN CHAPTER 5446	2,145.24
0000005561605271		Bankruptcy - Amt 26 PP	2,145.24
720743	05/27/2016	WILLIAM GRIFFIN CHAPTER 5446	1,246.16
0000004131605271		Bankruptcy - Amt 26 PP	1,246.16

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720744	05/27/2016	WILLIAM GRIFFIN CHAPTER	807.70
0000008011605271		Bankruptcy - Amt 26 PP	
720745	05/27/2016	APPLIED INDUSTRIAL	3,757.12
7007596033	33201		311.16
7007607201	33201		3,445.96
720746	05/27/2016	CAS CONTRUCTORS LLC	414,850.42
33154 1	33154		405,061.00
33154 1A	33154		9,789.42
720747	05/27/2016	CHARLES D JONES & COMPANY	123.35
5090356 01	35315		
720748	05/27/2016	FASTENAL COMPANY	2.46
KSTOP228112	34738		
720749	05/27/2016	GILMORE CRANE CORPORATION INC	1,212.75
12572	35287		
720750	05/27/2016	KANSAS RENTAL INC	400.00
14572	35212		
720751	05/27/2016	KANSAS SAND & CONCRETE	4,118.00
90046984	33407		580.00
90047014	33407		290.00
90047015	33407		1,740.00
90047364	33407		1,160.00
90047365	33407		348.00
720752	05/27/2016	MID-STATES MATERIALS LLC	2,245.64
55803	33425		
720753	05/27/2016	ROACH HARDWARE	69.17
116386	33413		9.98
116398	33413		21.86
116426	33413		25.37
116466	33413		11.96
720754	05/27/2016	SAFETY SUPPLIES	400.00
SSI 160528	33421		
720755	05/27/2016	VULCAN INC	4,784.00
289254	34280		
720756	05/27/2016	ALANIS-NEGRETE, J REYES	25.00
CR 2007 0011769		DEANN K MASSEY	
720757	05/27/2016	ANIMAL CLINIC OF NORTH TOPEKA	123.19
CR 2002 0030798		CD BUTTS	
720758	05/27/2016	BARNES, DENNIS	50.00
CR 2015 0005343		BEVERLY MARTIN	
720759	05/27/2016	BLUEWOOD EAST APARTMENTS	18.65
CR 2008 0001733		CC FLANAGAN	
720760	05/27/2016	COX COMMUNICATIONS	45.00
CR 2015 0007955		DAVID T GAINES	
720761	05/27/2016	ALMANZA, DAVID	25.00
CR 2009 0006567		SR HERRICK JR	

COUNCIL REPORT OF VENDOR PAYMENTS

Between 4/30/2016 and 5/27/2016

Check No.	Check Date/PO #	Vendor Name and Number	Check Amount
720762	05/27/2016	DILLONS 6828	10.00
CR 2008 0016606	FARCHIE L MARKS		
720763	05/27/2016	DOLLAR TREE 10399	120.00
CR 2006 0000867	1 COTY L RADER		
720764	05/27/2016	FITZPATRICK, BRYAN 10248	250.00
CR 2015 0014019	5F VILLAGRAN JR		
720765	05/27/2016	FULTZ, ROBERT 9448	25.00
CR 2013 0014137	NOHN W COLLINS		
720766	05/27/2016	GOFORTH, HARRIET A 10396	103.33
CR 2011 0015283	1 KA LUSCOMBE		
720767	05/27/2016	HELPING HANDS HUMANE SOCIETY 8872	25.00
CR 2002 0023039	1 TC CARTER		
720768	05/27/2016	KANSAS BUREAU OF INVESTIGATION 2646	35.00
CR 2014 0020453	IGENE W RUCKMAN		
CR 2014 0020782	1 CT STARKEY		60.00
CR 2015 0009647	1 L HERNANDEZ		45.00
CR 2016 0000059	1 RM ORTIZ		100.00
CR 2006 0005199	1 ND CAIRNS		50.00
720769	05/27/2016	KMART 6861	25.00
CR 2014 0017265	5 NJ NAVA		
720770	05/27/2016	MARSHALL, SADITHA P 9711	40.00
CR 2014 0005415	1 RD HESSE		
720771	05/27/2016	MULLENS, DAN M 10122	50.00
CR 2015 0008311	1 MARIA I BLACK		
720772	05/27/2016	ROBERTS, VICKIE J 10397	68.68
CR 2004 0001539	1 ANGELA D BROWN		
720773	05/27/2016	STURGEON, DONNA 10400	100.00
CR 2007 0016674	1 CT GUNBY		
720774	05/27/2016	SUMMERS, SHEILA 9984	25.00
CR 2003 0008473	1D STUBBLEFIELD		
720775	05/27/2016	THORNTON, CONNIE 10401	139.45
CR 2008 0009399	1 MD UNGEHEUER		
720776	05/27/2016	WATHKE, BRANDY 10282	50.00
CR 2015 0014021	1 KL DAVIDSON		
720777	05/27/2016	WEEKS, MELISSA 10398	62.09
CR 2006 0015047	1 MARK L ROMERO		
720778	05/27/2016	WRIGHT, CARMEN R 10194	60.00
CR 2005 0025095	1 GL GIBSON		
Total for Check Payments			3,289,062.36
TOTAL OF PAYMENTS			12,653,734.31

Payment Listing

CB255 Date: 06/02/16
Time: 14:37

JOB SUBMISSION PARAMETERS

User Name: HALL\kjohnson
Job Name : CB255KEJ2
Step Nbr : 1

Cash Code: 07 US BANK OPERATING ACCT
or Cash Code Group:

Transaction Code: SYS AP SYSTEM PAYMENT
Check Date: 043016 - 052716
Check Nbr: -
Company: 1 CITY OF TOPEKA

Transaction Status: All
Report Sequence: C By Transaction Code
Detail Option: Summary

Payment Listing

CB255 Date 06/02/16
Time 14:37

Page 1

Payment Listing
Cash Code 07 US BANK OPERATING ACCT
By Transaction Code (Status: All)

Transaction Code SYS AP SYSTEM PAYMENT

Reference Number	Payment Nbr	Co.	Post Date	Pay Date	Void Date	Amount	Status	Payee Name	Pay Group	Proc Grp
630 WESTER	720378	1	04/26/16	05/06/16		22956.12	Historical	MICHELLE MULLINIX	COT	
BANKS TASH	720379	1	04/29/16	05/06/16		137.00	Historical	TASHANNA T BANKS	COT	
DIX BRADLE	720380	1	04/29/16	05/06/16		130.07	Historical	BRADLEY A DIX	COT	
HART PATTY	720381	1	04/29/16	05/06/16		11.90	Historical	PATTY J HART	COT	
HUBBARD RO	720382	1	04/29/16	05/06/16		61.63	Historical	ROBIN G HUBBARD	COT	
LAKE TIMOT	720383	1	04/29/16	05/06/16		117.44	Historical	TIMOTHY J LAKE	COT	
LEIFER WIL	720384	1	04/29/16	05/06/16		123.00	Historical	WILIAM LEIFER	COT	
STARBUCK B	720385	1	04/29/16	05/06/16		70.42	Historical	BRETT STARBUCK	COT	
USHER JR J	720386	1	04/29/16	05/06/16		64.10	Historical	JOHN K USHER JR	COT	
FLORES MAR	720387	1	04/29/16	05/06/16		197.00	Historical	MARTIN JOSEPH FLORES	COT	
EDWARDS MA	720388	1	04/22/16	05/06/16		10.00	Historical	MARK A EDWARDS	COT	
NAYLOR PAT	720389	1	04/22/16	05/06/16		11.32	Historical	PATRICIA A NAYLOR	COT	
PAULSEN AS	720390	1	04/28/16	05/06/16		10.00	Historical	ASHLEY RENEE PAULSEN	COT	
RITTER SCO	720391	1	04/28/16	05/06/16		10.53	Historical	SCOTT RITTER	COT	
TORREZ JOS	720392	1	01/26/16	05/06/16		10.00	Historical	JOSHUA N TORREZ	COT	
BRADSTREET	720393	1	04/28/16	05/06/16		10.00	Historical	ROBERT N BRADSTREET	COT	
REYNOLDS M	720394	1	04/28/16	05/06/16		10.00	Historical	MARCUS REYNOLDS	COT	
WEST BEVER	720395	1	04/25/16	05/06/16		16.44	Historical	BEVERLY J WEST	COT	
WEST TOM M	720396	1	04/25/16	05/06/16		16.44	Historical	TOM M WEST	COT	
AT & T RIS	720489	1	05/05/16	05/13/16		1354.20	Historical	AT & T RISK MANAGEME	COT	
OSBORNE CO	720490	1	05/10/16	05/13/16		865.43	Historical	OSBORNE CONSTRUCTION	COT	
WATSON RIC	720491	1	05/05/16	05/13/16		1562.00	Historical	RICHARD WATSON	COT	
WESTAR ENE	720492	1	05/06/16	05/13/16		805.95	Historical	WESTAR ENERGY	COT	
CHERRY DEB	720493	1	04/18/16	05/13/16		25.00	Historical	DEBRA L CHERRY	COT	
FIELDS OLE	720494	1	04/20/16	05/13/16		93.21	Historical	OLENA N FIELDS	COT	
HAMILTON/R	720495	1	04/21/16	05/13/16		15.07	Historical	CHAPTER 13 TRUSTEE J	COT	
BENGE HARL	720496	1	04/28/16	05/13/16		75.00	Historical	HARLEIGH BRAE BENGE	COT	
CALKINS MI	720497	1	04/20/16	05/13/16		100.00	Historical	MICHAEL R CALKINS	COT	
LEWIS MARY	720498	1	04/27/16	05/13/16		100.00	Historical	MARYANN F LEWIS	COT	
LOPEZ KIMB	720499	1	04/26/16	05/13/16		559.00	Historical	KIMBERLY ANN LOPEZ	COT	
PURVIS MIC	720500	1	04/26/16	05/13/16		200.00	Historical	MICHAEL JOSEPH PURVI	COT	
ROBERTS TE	720501	1	04/26/16	05/13/16		205.00	Historical	TEVIN JUNIOR ROBERTS	COT	
ESCALERA C	720589	1	05/11/16	05/20/16		23.00	Historical	CARMEN ESCALERA	COT	
HAMILTON T	720590	1	05/11/16	05/20/16		279.53	Historical	TASHA HAMILTON	COT	
WINN SCOTT	720591	1	05/12/16	05/20/16		253.40	Historical	SCOTT WINN	COT	
AMO HOUSIN	720592	1	05/11/16	05/20/16		407.64	Historical	AMO HOUSING LP	COT	
CULPEPPER	720593	1	05/11/16	05/20/16		117.45	Historical	EVELYN D CULPEPPER	COT	
CUNNINGHAM	720594	1	05/11/16	05/20/16		217.93	Historical	VICKI E CUNNINGHAM	COT	
HOVEY PATR	720595	1	05/11/16	05/20/16		15.21	Historical	PATRICIA HOVEY	COT	
MOSBRUCKER	720596	1	05/11/16	05/20/16		30.79	Historical	BRAD MOSBRUCKER	COT	
LOZZI JOSH	720597	1	05/13/16	05/20/16		123.23	Historical	JOSHUA LOZZI	COT	
ALVAREZ ER	720598	1	03/07/16	05/20/16		10.02	Historical	ERIC S ALVAREZ	COT	
BRANDENBUR	720599	1	05/09/16	05/20/16		10.00	Historical	LLOYD BRANDENBURG	COT	
GERMONPREZ	720600	1	04/29/16	05/20/16		10.00	Historical	CONNIE GERMONPREZ	COT	
HENSLEY NI	720601	1	05/05/16	05/20/16		10.00	Historical	NISHA JAMES HENSLEY	COT	
MELANSON P	720602	1	05/06/16	05/20/16		11.22	Historical	POLYANA MELANSON	COT	
MORRIS JOA	720603	1	05/05/16	05/20/16		10.00	Historical	JOANN A MORRIS	COT	
REED DONAL	720604	1	05/05/16	05/20/16		10.00	Historical	DONALD REED	COT	
SILVA-NAGE	720605	1	05/05/16	05/20/16		10.00	Historical	MIGUEL ANGEL SILVA-N	COT	

Payment Listing

CB255 Date 06/02/16
Time 14:37

Page 2

Payment Listing
Cash Code 07 US BANK OPERATING ACCT
By Transaction Code (Status: All)

Transaction Code SYS AP SYSTEM PAYMENT

Reference Number	Payment Nbr	Co.	Post Date	Pay Date	Void Date	Amount	Status	Payee Name	Pay Group	Proc Grp
SOTO-MALDO	720606	1	05/06/16	05/20/16		10.00	Historical	ROBERTO SOTO-MALDONA	COT	
VILLEGAS A	720607	1	04/29/16	05/20/16		10.00	Historical	ARNULFO VILLEGAS II	COT	
BUSER STAC	720608	1	05/02/16	05/20/16		19.00	Historical	STACY A BUSER	COT	
GRAHNERT R	720609	1	05/02/16	05/20/16		57.00	Historical	ROBERT SCOTT GRAHNER	COT	
DRIENOVSKY	720704	1	05/16/16	05/27/16		10.00	Historical	STEPHANIE ORTH-DRIEN	COT	
GELLER DIA	720705	1	05/13/16	05/27/16		12.43	Historical	DIANNA GELLER	COT	
PATRICK AS	720706	1	05/16/16	05/27/16		10.00	Historical	ASHLEY PATRICK	COT	
THOMAS LER	720707	1	05/12/16	05/27/16		293.80	Historical	LEROY THOMAS	COT	
THOMAS PHY	720708	1	05/12/16	05/27/16		293.80	Historical	PHYLLIS A THOMAS	COT	
THOMAS TEI	720709	1	05/12/16	05/27/16		10.00	Historical	TEIONNA MONAY THOMAS	COT	
ANDERSON N	720710	1	05/05/16	05/27/16		99.00	Historical	NATHAN ROXY ANDERSON	COT	
CHENOWETH	720711	1	05/04/16	05/27/16		273.00	Historical	MATTHEW KANSAS CHENO	COT	
CHRISMAN S	720712	1	05/16/16	05/27/16		100.00	Historical	STEPHANIE CHRISMAN	COT	
JENKINS DE	720713	1	05/13/16	05/27/16		249.00	Historical	DERYCK JOVAN JENKINS	COT	
LINSCOTT N	720714	1	05/11/16	05/27/16		9.00	Historical	NADINE LOUISE LINSCO	COT	
RECTOR NOA	720715	1	05/05/16	05/27/16		235.00	Historical	NOAH RIVER RECTOR	COT	
RUNYAN DAV	720716	1	05/10/16	05/27/16		96.00	Historical	DAVEN RUNYAN	COT	
ARTEAGA AR	720717	1	05/16/16	05/27/16		31.59	Historical	ARGENIS I ARTEAGA	COT	
BOWERSOX S	720718	1	05/05/16	05/27/16		140.94	Historical	SONIA A BOWERSOX	COT	
BOYCE HILL	720719	1	05/05/16	05/27/16		83.00	Historical	HILLARY DENISE BOYCE	COT	
JEWSOME ST	720720	1	05/05/16	05/27/16		93.96	Historical	STEVEN L JEWSOME	COT	
Transaction Code SYS Total						33619.21				
Cash Code 07 Total						33619.21				
Report Total						33619.21				

*** REPORT COMPLETED ***



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Jason E. Geier
DOCUMENT #:
SECOND PARTY/SUBJECT: Court Cost
PROJECT #:
CATEGORY/SUBCATEGORY 013 Ordinances - Codified / 050 Courts
CIP PROJECT: No
ACTION OF COUNCIL:
JOURNAL #:
PAGE #:

DOCUMENT DESCRIPTION:

AN ORDINANCE introduced by City Manager Jim Colson, concerning court costs and fees, amending Section 2.110.010 of the Code of the City of Topeka and specifically repealing said original section.

(Approval would comply with House Bill 2696 mandating an increase in municipal court fees for the Commission on Peace Officer Standards and Training Fund.)

POLICY ISSUE:

Approval would increase court costs for convicted offenders in order to comply with State law and improve the efficiency of processing cases.

STAFF RECOMMENDATION:

Staff recommends the Governing Body move to adopt the ordinance.

BACKGROUND:

On December 15, 2015, City Council approved a similar increase based on the Kansas Supreme Court's Order 2015 SC 97. The purpose of the ordinance is twofold: First it would allow the court to be compliant with HB 2696 passed by the State of Kansas Legislature increasing the assessment for the Commission on Peace Officer Standards and Training Fund from \$2.50 to \$5.00, effective July 1, 2016. Secondly, the above change would result in court costs for convictions of misdemeanor violations being increased from \$140 to \$143; and moving, non-moving and parking violations increased from \$73 to \$76.

Persons intimately involved in the adjudication of these cases understand that if costs were leveled or equaled, then many efficiencies related to citation processing, issuance, communication, resolution and payment would be achieved. Proceeds would be deposited into the General Fund.

BUDGETARY IMPACT:

Revenue increase will be based on the number of convictions.

SOURCE OF FUNDING:

Defendants/Offenders convicted of or granted diversion on violations in the City of Topeka Municipal Court in which costs are assessed.

ATTACHMENTS:

Description

Ordinance

HB 2696

Costs and Fess - Financial Breakdown

(Published in the Topeka Metro News _____)

ORDINANCE NO. _____

AN ORDINANCE introduced by City Manager Jim Colson concerning municipal court costs and fees, amending City of Topeka Code § 2.110.010 and repealing original section.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF TOPEKA, KANSAS:

Section 1. That section 2.110.010, Court costs and fees, of The Code of the City of Topeka, Kansas, is hereby amended to read as follows:

Court costs and fees.

The following costs and fees may be charged in the municipal court:

(a) Mandatory Costs. Upon a finding of guilty, a plea of guilty, a plea of no contest, forfeiture of bond, or diversion:

Description	Traffic – Moving Violations and Other Infractions	Parking Violations	Traffic – Nonmoving	Class A or B Misdemeanors or Class C Assault	Adult Seatbelt Violations
Judicial Education Fund	1.00		1.00	1.00	
Local Law Enforcement Training Fund	1.00			1.00	
Law Enforcement Center Training Fund	11.50			11.50	
Commission on Peace Officer Standards and Training Fund	2.50 5.00			2.50 5.00	
Juvenile Detention Facility	2.00			2.00	
Protection from Abuse Fund	.50			.50	
Crime Victims Assistance Fund	.50			.50	
Trauma Fund	1.00			1.00	

Crime Prevention Fund	3.50	3.50	3.50	3.50	
Forensic Psychologist Fund	1.00			1.00	
Seatbelt					None
Court Technology Fund	5.00	5.00	5.00	5.00	
General Fund	43.50 44.00	64.50 67.50	63.50 66.50	110.50 111.00	
TOTAL	<u>73.0076.00</u>	<u>73.0076.00</u>	<u>73.0076.00</u>	<u>140.00143.00</u>	-0-

(b) Additional Costs. In addition, defendants may be assessed the following costs:

(1) Warrant Fees. For each warrant issued, unless waived for good cause by the judge, a fee of \$25.00 shall be assessed.

(2) Incarceration Expenses. Unless waived for good cause by the judge, a fee for incarceration expenses shall be assessed against a defendant in each case in which said defendant is incarcerated pursuant to an order of the municipal court judge. The incarceration fee referenced in this subsection shall be determined by multiplying the then current daily rate of incarceration charged to the city of Topeka by Shawnee County department of corrections by the number of days actually served by the defendant.

(3) Court-Appointed Attorneys. If the defendant is convicted and, unless waived or reduced for good cause by the judge, court-appointed attorney fees shall be assessed by the court against a defendant in each case in which a municipal court judge appoints counsel for said defendant.

(4) Mileage. Mileage, subpoena and witness costs for defense witnesses shall be as set forth in TMC 2.110.450.

(5) Miscellaneous Fees and Costs. If the defendant is convicted,

34 additional costs and fees may be assessed by the municipal court for service of
35 process, transcripts and depositions, commission on collections and credit/debit
36 card transactions.

37 (c) Except as provided herein, the judge or clerk of the municipal court shall
38 remit at least monthly the appropriate assessments received pursuant to this section as
39 required by state law, Kansas Supreme Court rule or city of Topeka policy or ordinance.

40 (d) For the purpose of determining the amounts to be assessed according to
41 this section, if more than one complaint is filed against an individual arising out of the
42 same incident, all such complaints shall be considered as one case.

43 Section 2. That original § 2.110.010 of The Code of the City of Topeka,
44 Kansas, is hereby specifically repealed.

45 Section 3. This ordinance shall take effect and be in force on July 1, 2016
46 after its passage, approval and publication in the official City newspaper.

47 Section 4. This ordinance shall supersede all ordinances, resolutions or rules,
48 or portions thereof, which are in conflict with the provisions of this ordinance.

49 Section 5. Should any section, clause or phrase of this ordinance be declared
50 invalid by a court of competent jurisdiction, the same shall not affect the validity of this
51 ordinance as a whole, or any part thereof, other than the part so declared to be invalid.

52 PASSED AND APPROVED by the Council on _____.

53
54 CITY OF TOPEKA, KANSAS

55
56
57
58 _____
59 Larry E. Wolgast, Mayor

60 ATTEST:

61
62 _____
63 Brenda Younger, City Clerk

University Police Officer Jurisdiction; Municipal Court Fees—Kansas Commission on Peace Officers' Standards and Training Fund; Vehicle Registration Fee Surcharges—Kansas Highway Patrol Staffing and Training Fund, Law Enforcement Training Center Fund; HB 2696

HB 2696 amends law related to university police officer jurisdiction and fees and surcharges imposed for various law enforcement-related funds.

University Police Officer Jurisdiction

The bill amends language governing where university police officers (UPOs) may exercise their powers as UPOs to mirror similar provisions in the same statute that govern campus police officers (CPOs). The bill allows UPOs to exercise their powers as UPOs:

- On property occupied by the state educational institution or municipal university, a board of trustees of the state educational institution, an endowment association, an affiliated corporation, an athletic association, or a fraternity, sorority, or other student group associated with the state educational institution or municipal university;
- On property owned or operated by an affiliated corporation; and
- At the site of a function or academic program sponsored by the state education institution.

Similarly, the bill replaces language allowing UPOs to exercise their powers on streets, property, and highways immediately adjacent to the campus of the state educational institution or municipal university with language allowing the exercise of their powers on streets, property, and highways immediately adjacent to and coterminous with these properties. Again, this language mirrors that governing CPOs.

Further, the bill allows UPOs employed by the University of Kansas Medical Center (KUMC), pursuant to a written agreement between the University of Kansas (KU) Hospital Authority and the KUMC, to exercise their powers as law enforcement officers on property owned, occupied, or operated by the University of Kansas Healthcare System or the KU Hospital Authority.

The bill makes similar amendments to the statute authorizing state educational institutions to employ UPOs.

Municipal Court Fees—Kansas Commission on Peace Officers' Standards and Training Fund

The bill increases from \$20 to \$22.50 the fee assessed in cases filed in municipal courts, other than nonmoving traffic violations, where there is a finding of guilt or a plea of guilty, a plea of no contest, forfeiture of bond, or a diversion. Additionally, the bill increases from \$2.50 to

\$5.00 the amount of such fee that will go to the Kansas Commission on Peace Officers' Standards and Training (KS-CPOST) Fund.

Further, the bill removes the names of funds from the statute that prohibits fees from being administered in municipal court cases except in accordance with certain statutory provisions, leaving just the statutory references to the relevant funds.

Vehicle Registration Fee Surcharges—Kansas Highway Patrol Staffing and Training Fund, Law Enforcement Training Center Fund

The bill adds two nonrefundable surcharges to each vehicle registration fee:

- A \$2.00 Kansas Highway Patrol (Patrol) staffing and training surcharge, to be credited to the Kansas Highway Patrol Staffing and Training Fund that is created by the bill; expenditures from that fund shall be used by the Patrol to increase employment and retain personnel at the Patrol and shall be made in accordance with appropriation acts; and
- A \$1.25 Law Enforcement Training Center surcharge, to be credited to the Law Enforcement Training Center Fund.

The bill also states it is the intent of the Legislature that the funds and moneys deposited in the Kansas Highway Patrol Staffing and Training Fund, the Law Enforcement Training Center Fund, and the Kansas Commission on Peace Officers' Standards and Training Fund be used only for the purposes set forth in law creating those funds.

2.110.010 Court costs and fees.

The following costs and fees may be charged in the municipal court:

(a) Mandatory Costs. Upon a finding of guilty, a plea of guilty, a plea of no contest, forfeiture of bond, or diversion:

Description	Traffic – Moving Violations and Other Infractions	Parking Violations	Traffic – Nonmoving	Class A or B Misdemeanors or Class C Assault	Adult Seatbelt Violations
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Commission on Peace Officer Standards and Training Fund	2.50			2.50	
Juvenile Detention Facility	2.00			2.00	
Protection from Abuse Fund	.50			.50	
Crime Victims Assistance Fund	.50			.50	
Trauma Fund	1.00			1.00	
Crime Prevention Fund	3.50	3.50	3.50	3.50	
Forensic Psychologist Fund	1.00			1.00	
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TOTAL	73.00	73.00	73.00	140.00	-0-

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(5) Miscellaneous Fees and Costs. If the defendant is convicted, additional costs and fees may be assessed by the municipal court for service of process, transcripts and depositions, commission on collections and credit/debit card transactions.

(c) Except as provided herein, the judge or clerk of the municipal court shall remit at least monthly the appropriate assessments received pursuant to this section as required by state law, Kansas Supreme Court rule or city of Topeka policy or ordinance.

(d) For the purpose of determining the amounts to be assessed according to this section, if more than one complaint is filed against an individual arising out of the same incident, all such complaints shall be considered as one case. (Ord. 19982 § 1, 12-15-15.)



**City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016**

DATE: June 21, 2016
CONTACT PERSON: Sasha Haehn, **DOCUMENT #:**
Neighborhood Relations
Director
SECOND PARTY/SUBJECT: **PROJECT #:**
CATEGORY/SUBCATEGORY 007 Contracts and Amendments/019 Purchase of Land
CIP PROJECT: No
ACTION OF COUNCIL: Approve the real estate **JOURNAL #:**
purchase agreement
and lease agreement for
601 NW Jackson St.
PAGE #:

DOCUMENT DESCRIPTION:

APPROVAL of a Real Estate Purchase Agreement and Lease Agreement for the purchase of real property located at 601 NW Jackson Street, Topeka, Kansas.

(Approval would acquire property at 601 NW Jackson Street as part of the Great Overland Station and riverfront park project.)

POLICY ISSUE:

Whether to move forward with property acquisition as part of the Great Overland Station and riverfront park project described in Resolution 7253 approved by City Council August 20, 2002.

STAFF RECOMMENDATION:

Staff recommends the Governing Body approve the real estate purchase agreement and lease agreement for 601 NW Jackson St.

BACKGROUND:

The history of the Riverfront Park project extends into the fall of 1999. Work on the acquisition of the 3 parcels that remain in private ownership began in the fall of 2015. An appraisal of the subject property was obtained from Keller, Craig and Associates in October of 2015 and the report indicates the property value at \$87,000.

The property is currently used by the owners as inventory storage space for their retail business located on North Kansas Avenue. Initial discussions with the property owner involved the potential of swapping warehouse

properties with them if the City owned a comparable warehouse that was not being used that could be traded. Unfortunately, the City does not own a comparable warehouse that is not being currently used.

The first official offer for purchase was for the appraised value of \$87,000. Negotiations resulted in a final offer of \$100,000 with a lease back provision for the owner to lease the property through December 31, 2017 for \$1. The City would be responsible for the property taxes from the time of property ownership transfer through the lease period (\$7,056 estimated total).

At the point that the property is no longer being used for commercial purposes and transfers to a municipal use (future park land) staff will apply for tax exempt status on the property.

This final offer was based on our appraisal combined with the County's 2016 valuation of \$104,700. Additionally, the lease provision is in acknowledgement that the owners currently use this space for their local business and will need time to find an appropriate location to relocate. The use of the property for municipal or public purposes is not anticipated to occur before the end of next year, so the lease term does not impact any planned improvements in the area.

BUDGETARY IMPACT:

The estimated total closing costs, purchase price and property tax obligation is not expected to exceed \$112,000.

SOURCE OF FUNDING:

This funding is available in the Transient Guest Tax funding dedicated to the Great Overland Station project in 2002.

ATTACHMENTS:

Description

Executive Summary

2015 appraisal

2016 Shawnee County Notice of Value

Resolution 7253

Real Estate Purchase Agreement

Lease Agreement



CITY OF TOPEKA

DEPARTMENT OF NEIGHBORHOOD RELATIONS
620 S.E. Madison Street, 1st Floor
TOPEKA, Kansas 66607

Phone: (785) 368-3711
Fax: (785) 368-2546

MEMORANDUM

Date: June 7, 2016
To: Jim Colson, City Manager
From: Sasha Haehn, Director of Neighborhood Relations
Subject: 601 NW Jackson St. real estate acquisition

BACKGROUND:

As noted in the presentation at the 6/14/16 Council Meeting, the history of the Riverfront Park project extends into the fall of 1999. Work on the acquisition of the 3 parcels that remain in private ownership began in the fall of 2015.

An appraisal of the subject property was obtained from Keller, Craig & Associates in October of 2015 and the report indicates the property value at \$87,000. The property is currently used by the owners as inventory storage space for their retail business located on North Kansas Ave. Staff's initial discussions with the property owner involved discussion of potentially swapping warehouse properties with them if the City owned a comparable warehouse that was not being used that could be traded. Unfortunately, the City does not own a comparable warehouse that is not being currently used.

The first official offer for purchase was for the appraised value of \$87,000. Negotiations resulted in a final offer of \$100,000 with a lease back provision for the owner to lease the property through December 31st, 2017 for \$1. The City would be responsible for the property taxes from the time of property ownership transfer through the lease period (\$7,056 estimated total). At the point that the property is no longer being used for commercial purposes and transfers to a municipal use – future park land – staff will apply for tax exempt status on the property. This final offer was based on our appraisal combined with the County's 2016 valuation of \$104,700. Additionally, the lease provision is in acknowledgement that the owners currently use this space for their local business and will need time to find an appropriate location to relocate to. The use of the property for municipal or public purposes is not anticipated to occur before the end of next year, so the lease term does not impact any planned improvements in the area.

FINANCIAL CONSIDERATIONS:

The estimated total closing costs, purchase price and property tax obligation is not expected to exceed \$112,000 with closing costs, title insurance and property tax payments taken into consideration. This funding is available in the Transient Guest Tax funding dedicated to the Great Overland Station project in 2002.

LEGAL CONSIDERATIONS:

The legal department drafted the purchase and lease agreement and has approved of the request to lease back the space through 2017 to the current owners.

RECOMMENDATION/ACTION:

Approve the Real Estate Purchase agreement for 601 NW Jackson St. in Topeka, KS.

SUPPORTING DOCUMENTS:

2015 appraisal
2016 Shawnee County Notice of Valuation

REAL PROPERTY APPRAISAL

WAREHOUSE

**601 NW JACKSON ST.
TOPEKA, KANSAS 66608**

Effective Date of Valuation

October 28, 2015

Date of the Report

November 1, 2015

Prepared for

Ms. Sasha Stiles

City of Topeka, Kansas, Department of Neighborhood Relations

Prepared By



**KELLER, CRAIG
& ASSOCIATES**

REAL ESTATE APPRAISERS & CONSULTANTS

Internal File Number: 15-803



Kansas City Office
8500 Shawnee Mission Parkway, Suite L-5 Merriam, KS 66202
P: 913-362-3222 F: 913-362-1321

Lawrence Office
120 E 9th Street Ste. 201 Lawrence, KS 66044
P: 785-841-0110 F: 785-841-0110

WWW.KELLERCRAIG.COM

November 1, 2015

Ms. Sasha Stiles
Director of Neighborhood Relations
City of Topeka, Kansas, Department of Neighborhood Relations
620 SE Madison, 1st Floor
Topeka, KS 66607

Re: Appraisal Report - Market Value of the Fee Simple Estate in the industrial building located at 601 NW Jackson St. in Topeka, Shawnee County, Kansas 66608.

Dear Ms. Stiles,

In accordance with your authorization, we have conducted the investigation necessary to form an opinion of Market Value of the Fee Simple Estate in the above captioned subject property.

The appraisal report that follows sets forth the identification of the property, the assumptions and limiting conditions, pertinent facts about the area and the subject property, comparable market data, the results of the investigation, and the reasoning leading to the conclusions set forth. The report that follows is considered to be a summary of our analysis and conclusions. Supporting documentation concerning the data, reasoning, and analyses is retained in our file. The depth of discussion contained in this report is specific to the needs of the client and for the intended use stated in the report. We are not responsible for unauthorized use of this report. The property was inspected by and the report was prepared by Timothy J. Keller, MAI.

Per conversations with the client and the intended use of the report, the scope of work in this report is intended to be consistent with industry standards and has been performed so as to develop a credible report.

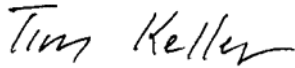
Current Market Value As Is

Based on the inspection of the property and the investigation and the analysis undertaken, we have formed the opinion that as of October 28, 2015, the Market Value As Is of the Fee Simple Estate, in the subject property was:

EIGHTY SEVEN THOUSAND DOLLARS
(\$87,000)

This letter is invalid as an opinion of value if detached from the report, which contains the text, exhibits and Addenda.

Sincerely,
Keller, Craig & Associates

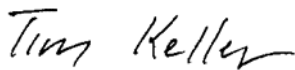
A handwritten signature in black ink that reads "Tim Keller". The signature is written in a cursive, flowing style.

Timothy J. Keller, MAI
State Certified General Appraiser, Kansas No. G-911
tkeller@kellercraig.com

Certification

The statements of fact contained in this report are true and correct.

- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions, and are my personal, impartial and unbiased professional analyses, opinions and conclusions.
- I have no present or prospective interest in the property that is the subject of this report, and no personal interest with respect to the parties involved.
- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice.
- Timothy J. Keller, MAI has personally inspected the subject property.
- No one provided significant professional assistance to the person(s) signing this report.
- I certify that, to the best of my knowledge and belief, the reported analyses, opinions and conclusions were developed, and this report has been prepared, in conformity with the requirements of the Code of Professional Ethics and the Standards of Professional Appraisal Practice of the Appraisal Institute.
- I certify that the use of this report is subject to the requirements of the Appraisal Institute relating to review by its duly authorized representatives.
- As of the date of this report, Timothy J. Keller, MAI has completed the continuing education program of the Appraisal Institute.
- I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.



Timothy J. Keller, MAI

State Certified General Appraiser, Kansas No. G-911

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EXECUTIVE SUMMARY



PROPERTY ID	615209
PROPERTY NAME	Warehouse
LOCATION	601 NW Jackson St., Topeka, Kansas 66608
PROPERTY TYPE	Industrial
EFFECTIVE DATE OF VALUE	October 28, 2015
OWNER OF RECORD	Emily Struttman and Gaige Jackson
LAND AREA	
LAND ACRES	0.29
LAND SQUARE FEET	12,600
BUILDING AREA	
GROSS BUILDING AREA	12,366 Square Feet
YEAR CONSTRUCTED	1940
CURRENT OCCUPANCY	100.0%
ZONING CODE	X-3, Mixed Use
HIGHEST AND BEST USE	As improved
FINAL VALUE ESTIMATE	\$87,000

INTRODUCTION

Identification of the Property

The subject property is a one-story industrial building located at 601 NW Jackson St., Topeka, Shawnee County, Kansas. Constructed in 1940, the building is of block with metal construction and contains approximately 12,366 square feet of gross building area. The improvements are situated on a 0.29 acre (12,600 square foot) site. The property is currently occupied by owner for his storage business.

Ownership and Sales History

The owner of record is Emily Struttman and Gaige Jackson. The subject has transferred within the last three years. The property sold in July of 2015. The seller was Clifford Flowers, et al. Per the owner, the property was purchased for \$79,000 after being listed for sale for over a year. The original asking price was \$129,000, then dropped to \$99,000 prior to the sale. The sales price was also verified with the Sale Validation Questionnaire. The purchase price was all cash. The subject is not currently listed for sale.

Identification of the Appraisal Problem

Purpose and Property Rights Appraised

The purpose of the appraisal is to estimate Market Value of the Fee Simple estate in the subject property.

Effective Date

The effective date of this appraisal is October 28, 2015. The property was inspected by Timothy J. Keller, MAI on October 28, 2015.

Date of Report

The date of this report is November 1, 2015. A comparison of the date of the report to the effective date of the appraisal indicates that our conclusions are reflective of current market conditions.

Client and Intended Use

This appraisal was prepared for use by City of Topeka, Kansas, Department of Neighborhood Relations Estimate market value. No additional Intended Users or Uses are identified or intended by the appraisers. Due to the relationship between the client and the appraiser, reliance of this report by any other parties for any use whatsoever, is prohibited.

Appraiser Competency

No steps were necessary to meet the competency provisions established under USPAP. Please refer to the Appraiser Qualifications at the end of our report.

Scope of Work

Based on conversations with the client and the intended use of the report, an Appraisal Report applying the Sales Comparison Approach to value was considered appropriate to produce a credible report.

As part of this appraisal, we completed a thorough investigation and analysis of the data considered pertinent to valuing the subject property. This report was prepared to conform to the requirements of the Uniform Standards of Professional Appraisal Practice (USPAP). The investigation included:

- an inspection of the interior and exterior of the improvements;
- disclosure, analysis, reconciliation of all sales, agreements of sale, offers, options or listings of the subject property within three (3) years prior to the effective date of the appraisal report;
- analysis of the highest and best use;
- disclosure of tax assessments information, current and forecasted property taxes;
- the gathering of information on local market conditions and trends, comparable land and improved sales, rents, operating expenses, construction costs, depreciation and capitalization and yield rates;
- confirmation and analysis of the data, including the application of the Sale Comparison Approach.

This Appraisal Report is a brief recapitulation of our data, analyses, and conclusions. Supporting documentation is retained in our file.

Information Sources

Market information was obtained from a number of sources including but not limited to the following:

- Proprietary database
- County records
- Loopnet
- CoStar
- Interviews with active real estate professionals
- Site To Do Business for demographics and flood plain information
- Brokerage company reports

Definitions

Pertinent definitions, including the definition of market value, are included in the Glossary, located in the Addenda to this report.

General Assumptions and Limiting Conditions

This appraisal is also subject to the following general assumptions and limiting conditions.

1. Title to the property is assumed to be good and marketable and the legal description correct.
2. No responsibility for legal matters is assumed. All outstanding taxes, liens, mortgages, or other encumbrances have been disregarded and the property is appraised as though free and clear, under responsible ownership and competent management.
3. All sketches in this report are intended to be visual aids and should not be construed as surveys or engineering reports.
4. All information in this report has been obtained from reliable sources. We cannot, however, guarantee or be responsible for the accuracy of information furnished by others.
5. Unless otherwise stated, this opinion of value applies to land and improvements only; the value of trade fixtures, furnishings and other equipment has not been included.
6. The distribution of the total valuation in this report between land and improvements applies only under the existing program of utilization. The separate valuations for land and building must not be used in conjunction with any other appraisal and are invalid if so used.
7. Subsurface rights (minerals, water and oil) were not separately evaluated in making this appraisal.
8. The comparable sales data relied upon in this appraisal are believed to be from reliable sources; however, it was not possible to inspect the comparables completely, and it was necessary to rely upon information furnished by others as to said data, therefore, the value conclusions are subject to the correctness and verification of said data.
9. We inspected, as far as possible, by observation the land and the improvements thereon; however, it was not possible to personally observe conditions beneath the soil or hidden structural components within the improvements. Likewise no tests were made on the roof, mechanical, plumbing or electrical systems. Unless otherwise stated, no representations are made as to geotechnical conditions of the land or the quality and condition of the roof, heating, cooling, ventilating electrical and plumbing equipment.
10. Unless otherwise stated in this report, the existence of hazardous substances were not called to our attention nor did we become aware of such during our inspection. We have no knowledge of the existence of such materials on or in the property unless otherwise stated. However, we are not qualified to test such substances or conditions. No responsibility is assumed for any such conditions, nor for any expertise or engineering knowledge required to discover them. The client is urged to retain an expert in the field or environmental impacts upon real estate if so desired.
11. Neither all nor any part of the contents of this report shall be conveyed to the public through advertising, public relations, news, sales, or other media, without the written consent and approval of the author, particularly as to the valuation conclusions, the identity of the appraiser or firm with which he is connected, or any reference to the Appraisal Institute.

Extraordinary Assumptions and Hypothetical Conditions

This appraisal is subject to the following assumptions and limiting conditions that are specific to the subject property or to this report.

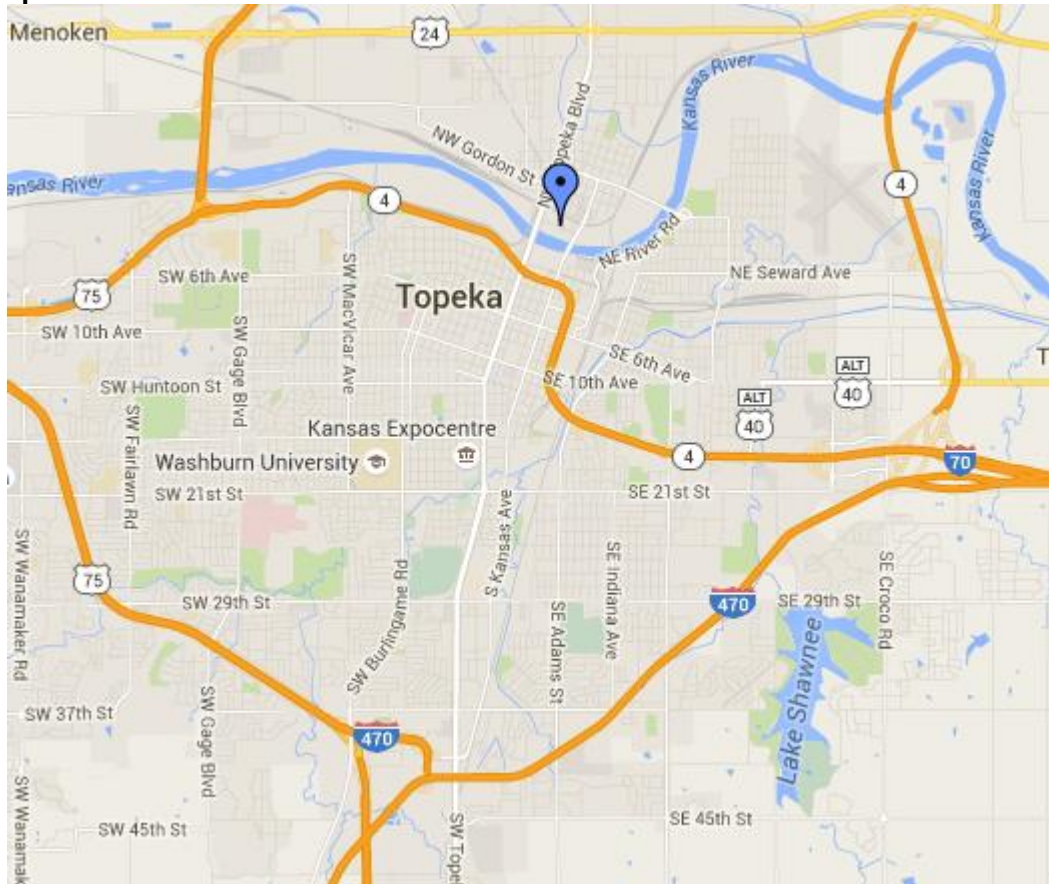
1. None.

AREA AND NEIGHBORHOOD

Area Overview

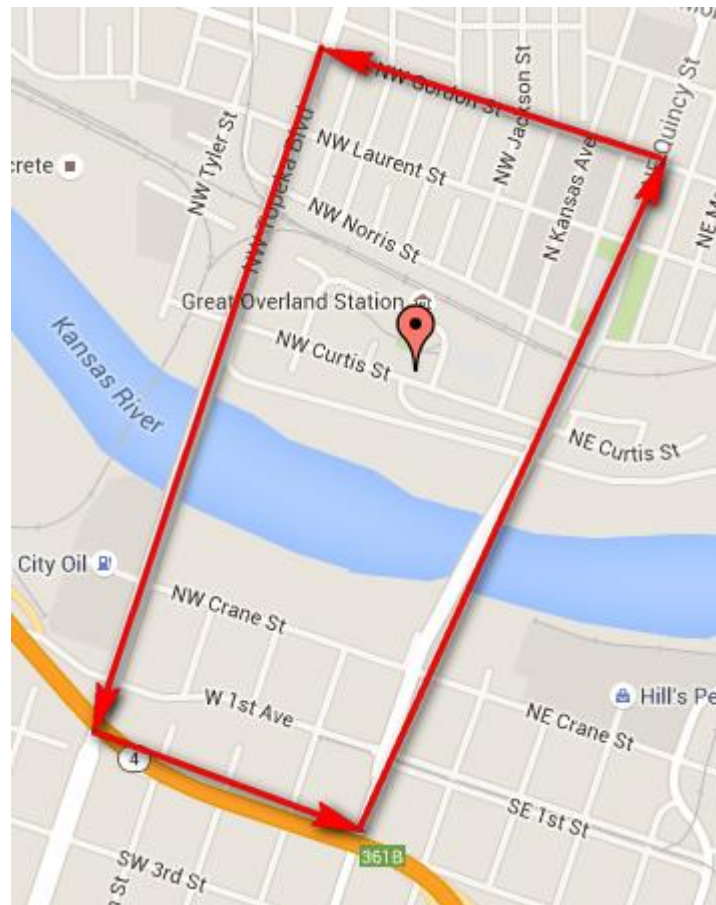
The subject is located in Topeka, Shawnee County, Kansas. Topeka is the capital city of the State of Kansas, and is roughly 60 miles west of the Greater Kansas City Metropolitan area. Topeka has a population of just under 130,000 people, which has remained fairly consistent.

Area Map



Additional information about Topeka can be found in the addenda to this report.

Neighborhood Overview



For purposes of this report, the neighborhood boundaries are best described as follows:

North	NE Gordon Street
South	I-70
East	N Kansas Avenue
West	NW Topeka Boulevard

The neighborhood is primarily influenced by The Great Overland Station, located at 701 N. Kansas Avenue, Topeka, KS. Originally built in 1925, the former Union Pacific Railroad Passenger Depot now serves as a museum. The last regular passenger service to this station ended in 1971. The station was extensively rehabilitated from 2000 to 2002 and is now a major attraction in the neighborhood.

Neighborhood land use includes a mix of residential and commercial development. In the past there has been efforts made by the city and county to revitalize the immediate area. Rezoning has occurred and some infrastructure upgrades are noted. Most of the focus has been near the North Topeka Business District (NOTO Arts District). The Topeka Rescue Mission has also been active in the immediate area. In addition to their main shelter, they operate the Hope Center and are building a Children's Palace. All of these are located in the immediate area.

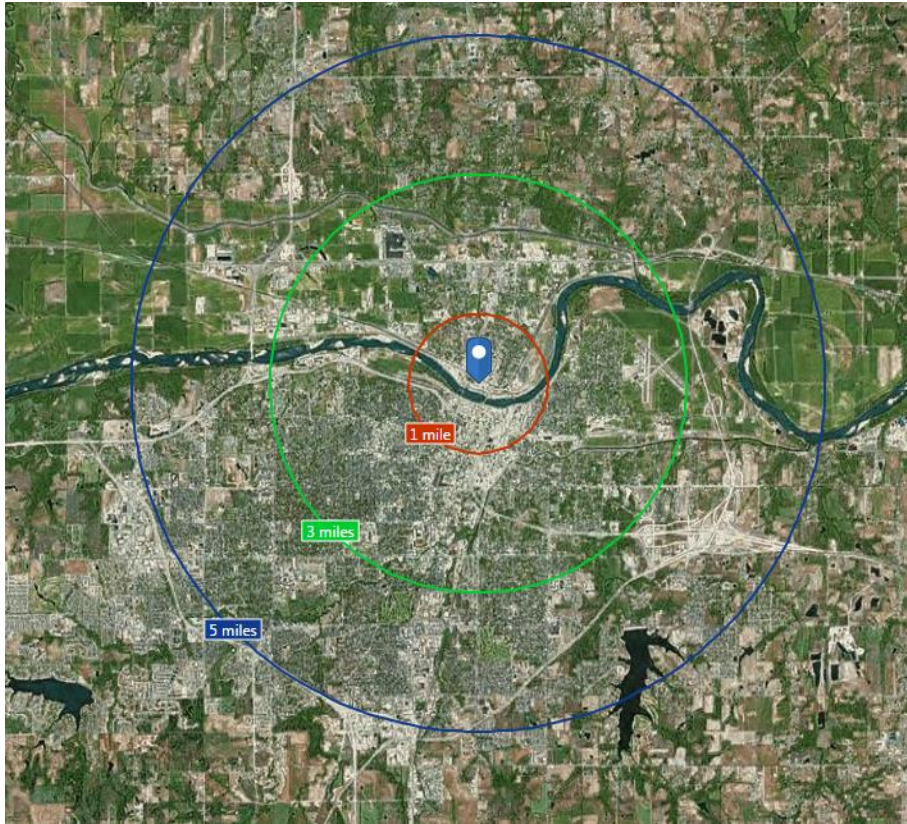
Access to the area is via N Kansas and N Topeka Boulevard. Access to Curtis is best from the Curtis Flyover off N Kansas. An active railroad line separates the arts district from the museum and shelters.



Properties immediately adjacent to the subject property are summarized below:

Direction	Zoning	Use
North	X-3	Museum
South	X-3	Levee
East	X-3	Shelter
West	X-3	Museum

The appraisers have performed a 3-ring analysis, which shows demographic information in 1, 3, and 5 mile rings surrounding the subject. The supporting data is retained in the appraisers' work file.



Demographic Analysis			
Current Year	2015		
Forecast Year	2020		
Trade Ring (miles)	1	3	5
Current Population	5,246	52,174	109,375
Forecast Population	5,222	52,473	109,886
Annual Percent Change	-0.09%	0.11%	0.09%
Current No. Households	2,034	20,868	45,665
Forecasted No. of Households	2,259	21,651	46,017
Annual Percent Change	2.12%	0.74%	0.15%
Median Household Income	\$24,675	\$30,364	\$36,384
Forecasted Median Household Income	\$26,338	\$33,529	\$40,880
Annual Percent Change	1.31%	2.00%	2.36%
Current Median U.S. Household Income	\$53,217		

As can be seen in the above table the Median Household Salary of the area, across all three distance measurements, is significantly lower than the Current Median U.S. Household Income.

The neighborhood appears to be in the mature stage of its life cycle. However, new development is occurring due in part to efforts made by the greater community and the Topeka Rescue Mission. Given the history of the neighborhood and the growth trends noted in the area analysis, it is our opinion the outlook for the neighborhood is average.

MARKET OVERVIEW

Topeka, Kansas is a city slightly larger than 125,000 people located in Shawnee County, and is the state capitol. Topeka is located along Interstate 70 approximately 50 miles west of the Kansas City Metro Area. According to the U.S. Census Bureau, the 2013 estimated population of Topeka was 127,679, which has been fairly stable since 2003 with only a 4.3% increase, or roughly 0.38% per year. Despite the increase in population, the number of people employed has actually decreased since 2003 at an average of 0.34% per year. The average unemployment rate over a ten year period is 6.8%; in 2013 the rate was 6.5% which is slightly below average.

Year	Population	Population Growth	Number Employed	Job Growth	Unemployment Rate
2003	122,462	-0.07%	62,097		6.2%
2004	121,883	-0.47%	61,981	-0.19%	7.2%
2005	121,843	-0.03%	61,429	-0.89%	6.5%
2006	122,321	0.39%	60,015	-2.30%	5.7%
2007	122,912	0.48%	60,356	0.57%	5.3%
2008	123,692	0.63%	60,573	0.36%	5.7%
2009	124,331	0.52%	61,030	0.75%	8.0%
2010	127,473	2.53%	61,025	-0.01%	8.2%
2011	128,061	0.46%	60,603	-0.69%	8.0%
2012	127,989	-0.06%	60,264	-0.56%	7.4%
2013	127,679	-0.24%	59,979	-0.47%	6.5%
Average	124,604	0.38%	60,850	-0.34%	6.8%

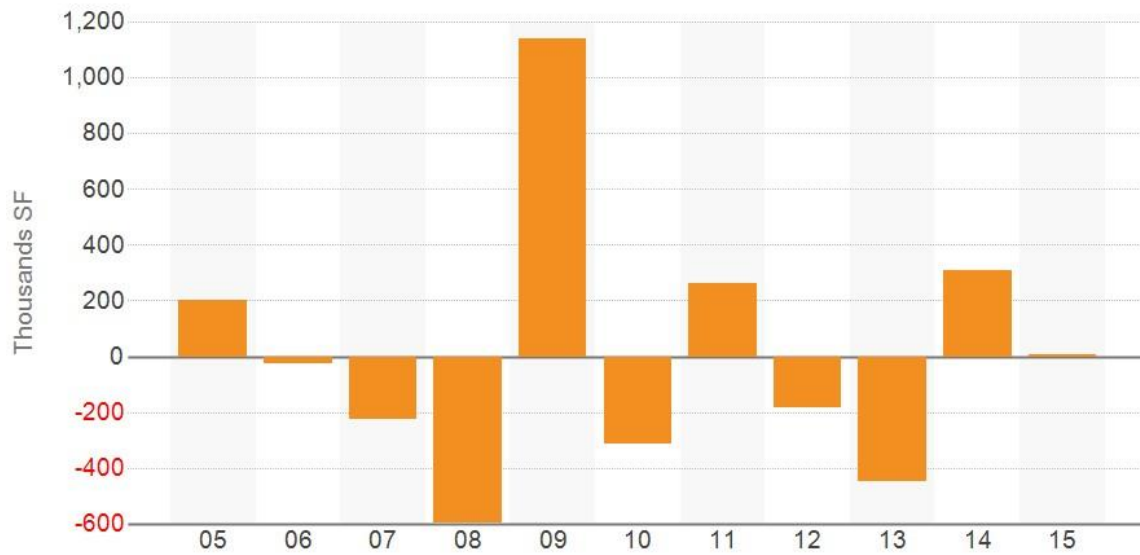
Source: U.S. Census Bureau and Bureau of Labor Statistics

According to CoStar Group, Inc., the industrial market had a total of 14.7 million square feet in the 1st quarter of 2015. The YTD vacancy is at 9.5%, which is a total of 1.4 million square feet. The average rental rate for 2015 is \$2.74 NNN. As can be seen in the charts below, the net absorption for Topeka in the past has fluctuated, but the total net absorption has been at -80,336 square feet for the past 10 years.

Topeka Industrial Market					
Year	Total SF	Vacant SF	Vacancy %	Net Absorption	Rate (nnn)
2005	14,136,773	751,907	5.3%	200,304	\$ 4.00
2006	14,183,773	792,887	5.6%	(25,563)	\$ 4.53
2007	14,206,789	977,100	6.9%	(224,987)	\$ 3.91
2008	14,254,053	1,380,966	9.7%	(596,891)	\$ 4.00
2009	14,386,208	1,587,893	11.0%	1,140,257	\$ 3.13
2010	14,730,548	1,318,425	9.0%	(311,469)	\$ 2.92
2011	14,715,968	1,181,239	8.0%	262,617	\$ 3.00
2012	14,715,968	1,387,363	9.4%	(183,898)	\$ 3.36
2013	14,709,014	1,340,629	9.1%	(447,954)	\$ 3.38
2014	14,706,696	1,495,586	10.2%	307,552	\$ 3.24
Total	14,512,113	1,273,565	8.8%	(80,336)	\$ 3.50

Source: CoStar Group, Inc.

Topeka Industrial Market Net Absorption



Source: CoStar Group, Inc.

Topeka Industrial Market Vacancy Rate and Gross Rental Rate



Source: CoStar Group, Inc.

According to CBRE as of 2014 Q3, Class A buildings have an occupancy rate of 99.47% while Class B buildings have an occupancy rate of 91.14%. Nearly 200,000 sf of Class B space was absorbed from Q2 to Q3's end, due to two major transactions.

Industrial	Class A					Class B				
	Properties	Total SF	Vacant SF	Occupancy	Avg Rent	Properties	Total SF	Vacant SF	Occupancy	Avg Rent
Buildings > 20,000 SF										
2014 Q1	20	5,408,007	12,072	99.78%	\$ 4.85	113	9,580,360	1,066,006	88.87%	\$ 3.53
2014 Q2	20	5,408,007	28,830	99.47%	\$ 4.85	112	9,498,560	1,023,110	89.23%	\$ 3.66
2014 Q3	20	5,408,007	28,830	99.47%	\$ 4.85	113	9,478,860	838,480	91.14%	\$ 3.74

Source: CBRE, Inc.

One of these major transactions included the former Hallmark Cards facility located at 140 SE Madison being leased an additional 100,000 sf, raising its occupancy to 25% of the 702,700 sf warehouse. The tenant then chose to purchase their portion of the building in the beginning of February 2015 for \$3.5 million.

The Northwest submarket of Topeka also has two large vacancies as of the 2nd quarter of 2014: 62,630 sf at the former ProBuild facility at 4501 NW Hwy 24 and 99,430 sf at the former Southwest Publishing facility on 5035 NW Hwy 24 which moved to a 211,836 sf facility at 4000 SE Adams St.

Mars Chocolate North America LLC occupied a roughly 500,000 sf Class A new chocolate plant within the Kanza Fire Industrial Complex in South Topeka and began production in March 2014.

PROPERTY DATA

Site Description

Identification

Location	601 NW Jackson St., Topeka, Shawnee County, Kansas.
Location Description	The property is located north of the Kansas River in a historically industrial area of Topeka, KS.
Latitude/Longitude	39.065135 / -95.669606
Legal Description	EUGENE ADDITION , Lot 69 + , JACKSON ST LOT 69 & 1/2 VAC ALLEY EUGENES ADD SECTION 30 TOWNSHIP 11 RANGE 16

Physical Features

Size	Approximately 0.29 acres, or 12,600 square feet
Configuration	Approximately Rectangular (see following parcel map)
Topography	Generally level; at grade with surrounding streets
Drainage	Appears adequate

Flood Plain

In Flood Plain?	Yes (Levee protected, flood insurance is typically not required by most lenders)
Flood Map #	20177C0208E, effective September 29, 2011
Flood Zone	X500 or B Zone
Utilities	All Available
Ground Stability	We were not provided with a soil report. We assume that the load bearing capacity of the soil is sufficient to support the existing structure. We did not observe any evidence to the contrary during our physical inspection of the property.

Streets, Access, Frontage

Access	NW Curtis St.
Primary Frontage	corner of NW Curtis St. and NW Railroad St.
Traffic Count	Minor (traffic count not available)

Legal

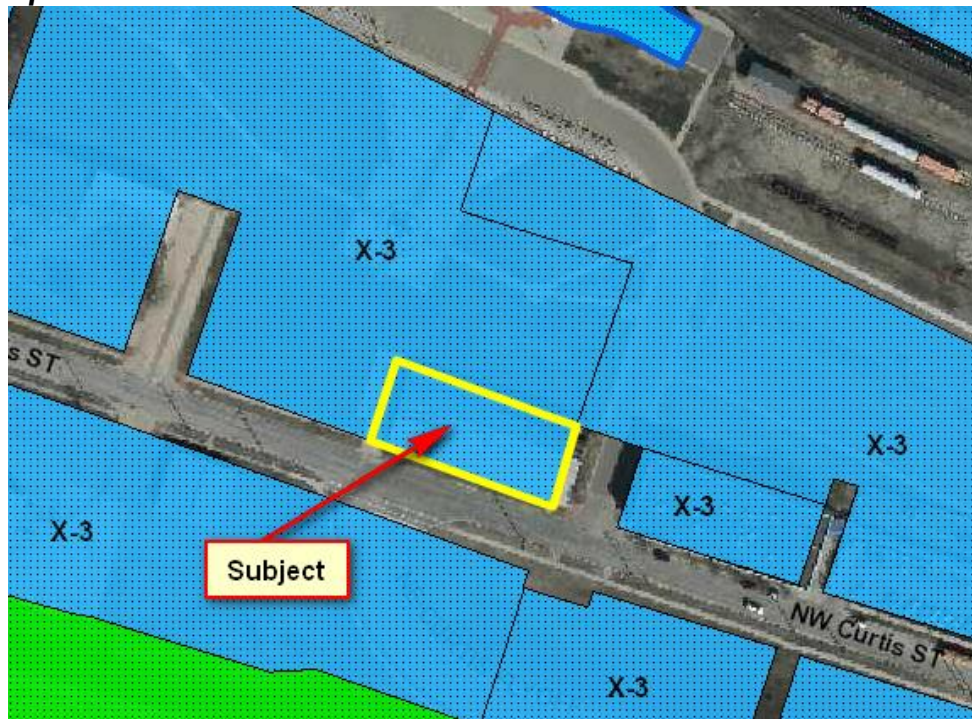
Zoning	X-3, Mixed Use
Conformance	The existing improvements appear to be legally conforming.
Easements, Encumbrances, Moratoriums	We were not provided a current title report to review. We do not know of any easements, encroachments, or restrictions that would adversely affect the site's use. However, we recommend a title search be completed to determine whether any adverse conditions exist.

Encroachments	We were not provided an ALTA survey. However, an inspection of the site revealed no apparent encroachment(s).
Environmental	As referenced in the Assumptions and Limiting Conditions to this report, we are not considered experts nor competent to assess environmental issues. Given this limitation, it is noted that our physical inspection of the subject property did not reveal any indication of environmental hazard.

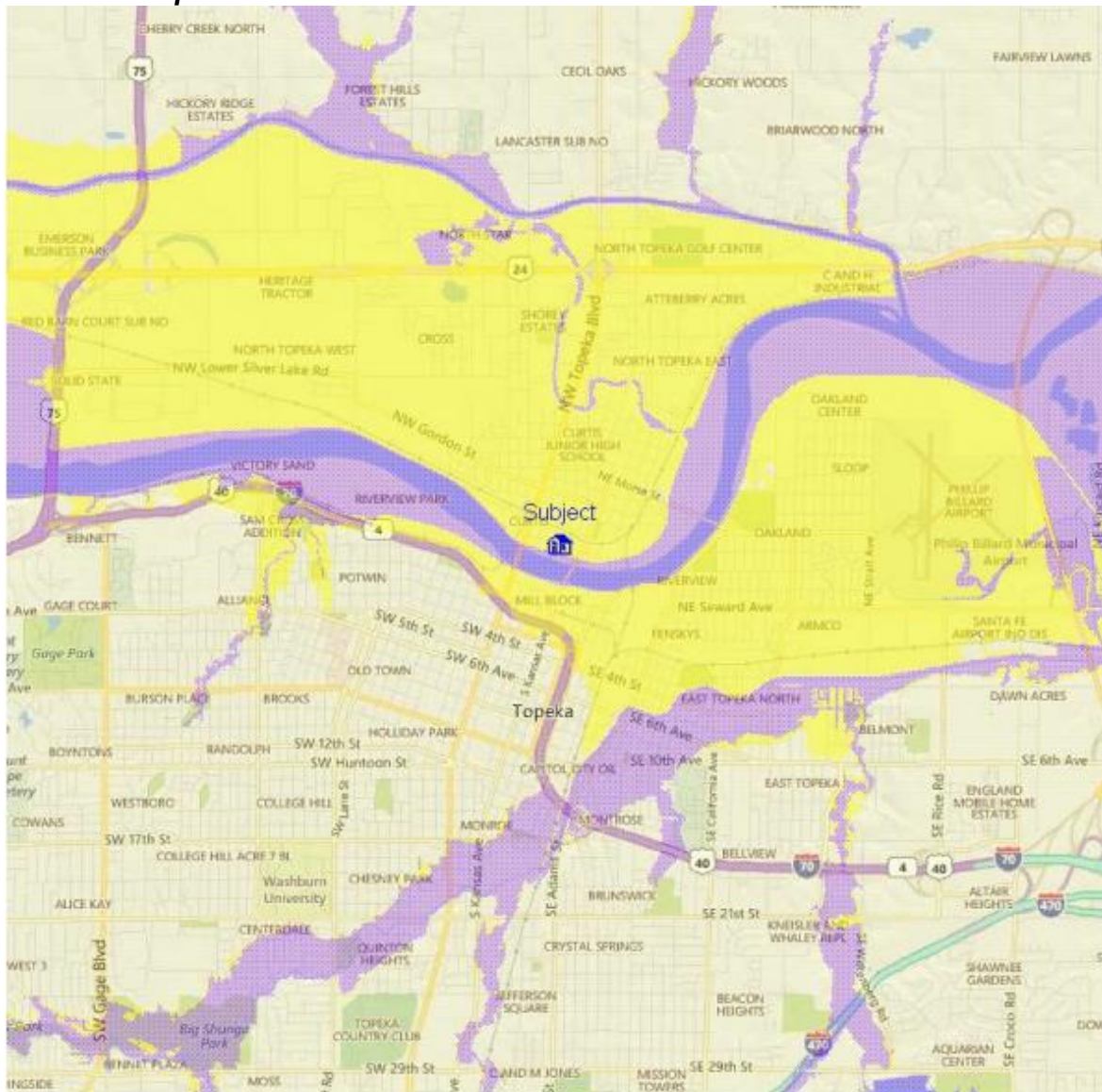
Parcel Map



Zoning Map



Flood Plain Map



MAP DATA

Map Number : **20177C0208E**

Panel Date : **September 29, 2011**

FIPS Code : **20177**

Census Tract : **0008.00**

Geo Result : **S8 (Most Accurate) - single valid address match, point located at a single known address point candidate (Parcel)**

Flood

- X or C Zone
- X500 or B Zone
- A Zone
- V Zone
- D Zone
- Area Not Mapped

Traffic Count Map

Improvement Description

The subject improvements are described in the following outline format.

General

Design/Use:	Industrial
Building Size:	GBA: 12,366 square feet
Year Built:	1940
Building Height:	One Story
Construction Type:	Class C Industrial building (per Marshall Valuation Service)
Land to Building Ratio:	1.02:1

Exterior/Structure

Construction Type:	Block with Metal
Quality:	Average
Exterior Walls:	Block
Foundation Type:	Concrete slab
Basement:	None
Roof Type:	Pitched
Roof Material:	Metal.

Industrial

Clear Height:	Various between 8' and 16', Blended 12'
Dock High Doors:	0
Drive In Doors:	2
Climate Control	Warehouse has one heater, several ventilating fans. Office has in the wall gas heater and window air conditioning units. Systems were not tested, building had been winterized.
Mezzanine:	None
Lighting:	Hi bay in warehouse

Interior/Finish

Finished Area:	2,610 square feet or 21.1% of gross building area. However, finish is very dated.
Layout:	Open entrance, private offices
Interior Walls:	Paneling/sheetrock
Floor Cover:	Vinyl
Window Type:	Metal frame
Ceiling:	Dropped ceiling, many tiles missing or damaged
Lighting:	Recessed

Restrooms: None, only restroom in back of warehouse. Restroom was winterized and not in working order

Parking and Site Improvements

Surface Type: Limited parking, part of parking and entrance on city row
Spaces: 2
Parking Ratio: 0.16 Spaces per 1,000 square feet of building area
Other Site Improvements: None

Overall Condition and Functionality

Condition/Deferred Maintenance: The property is considered to be in fair to average condition. Additionally, the property has been reasonably well maintained, and our inspection did not reveal any significant deferred maintenance.
Functional Utility: Our inspection did not reveal any significant functional problems. However lack of parking and outside storage noted.

Subject Photos







REAL ESTATE TAXES

Real estate taxes in the State of Kansas are assessed at 11.50% for residential and 25.00% of appraised value for commercial properties. Vacant land is assessed at 12.00% of appraised value. Agricultural land is assessed at 30.00% of appraised value. For the subject, the county has assigned a parcel identification number of 1093004001001000.

The historical taxes for the subject are provided below:

Real Estate Taxes			
Tax Year	2014	2015	Appraiser's Projections
Land	\$ 10,400	\$ 10,400	
Improvements	\$ 88,750	\$ 88,750	
Tax Market Value	\$ 99,150	\$ 99,150	\$ 89,000
Assessment Ratio	25.0%	25.0%	25.0%
Assessed Value	\$ 24,788	\$ 24,788	\$ 22,250
Taxable Value	\$ 24,788	\$ 24,788	\$ 22,250
Mill Levy	163.4300		
Real Estate Taxes	\$4,051		\$ -
Special Assessments			Not Applicable
Total Taxes	\$4,051	\$0	\$ -
Payment Status	Current		
Amount Due			

HIGHEST AND BEST USE

Process – The highest and best use of the property must be determined for both the subject site as though vacant and for the property as currently improved (if applicable). The highest and best use is:

1. Physically possible for the site.
2. Permitted or reasonably probable under the zoning laws and deed restrictions that apply to the site.
3. Economically feasible.
4. The use which will produce the highest net return on investment (i.e. highest value) from among the possible, permissible, and economically feasible uses.

Highest and Best Use (Site as if Currently Vacant)

Physically Possible Use – As detailed in the site description, the subject is generally level and at grade with surrounding streets. The site is approximately 0.29 acres. It is located at the corner of NW Curtis and NW Railroad Street. The site is in the 500 year flood plain or protected by the levee. All utilities are available. The size, shape, and characteristics of the usable area allow a variety of uses.

Permissible Use – The site is zoned X-3, Mixed Use. According to the city, this district was designed to facilitate a destination-oriented mixed use district in the area known as the North Crossings area of North Topeka. This area serves as the north entertainment/cultural anchor of downtown.

The objectives of the district include: (1) Improving the area as a 24-hour destination for urban, cultural, entertainment, community, and residential experiences; and (2) Retention and attraction of businesses, workplaces and residences through adaptive reuse and rehabilitation of existing buildings as a preference; and (3) Redeveloping vacant and under-utilized properties through appropriately scaled in-fill development; and (4) High quality development and urban design standards that maintain a sense of history, human scale, and pedestrian-orientation.

Feasible Use – Uses in the area are mixed, they include industrial, institutional and include a museum. As was shown in the Submarket Overview section of this report, current rents and occupancies do not justify new speculative construction. As a result, speculative construction has not been occurring. Originally built as industrial, the area is in transition. A museum has been created, NOTO has undergone revitalization. At the same time, the Topeka Rescue Mission has been active in the area and new Children's Palace is being built. It's the desire of city and county officials to revitalize the area. However, as can be seen in the recent listing and sale of the subject, there is no speculative value found in the market place. The subject was listed on the market for over a year and recently sold for a value commensurate with similar properties in the area.

Maximum Profitability – Holding the subject site as vacant is the highest and best use of the subject as vacant.

Highest and Best Use (Site as Currently Improved)

The subject site has been developed with an industrial building which is owner occupied. The existing use produces a significant positive cash flow, before debt, and this can reasonably be expected to continue.

There are no alternative uses that could reasonably be expected to provide a higher present value than the current use. The value of the subject under the existing use exceeds the potential value associated with the alternatives. Furthermore, the value produced by the existing improvements exceeds the value of the site, as if vacant. For these reasons, the existing use as industrial is concluded to be maximally productive, and the highest and best use of the site as improved.

COST APPROACH

The cost approach is not included in this assignment due to the age of the property and current market conditions. This approach would be the least reliable for the subject.

SALES COMPARISON APPROACH

We have valued the subject according to its highest and best use, as improved. A summary of the sales follows. In evaluating the comparable sales, we selected Sales Price per SF of Gross Building Area as the primary unit of comparison. This is the unit of comparison most commonly quoted by brokers, sellers, and purchasers when discussing sales transactions and is considered the most relevant for the subject.

Before any adjustments, the sales range from \$4.59 to \$10.31 per SF of Gross Building Area. We would expect the value of the subject to fall within this range because of the shared similarities of building type and location. Please note that Sale 6 is the prior sale of the subject.

Sales Summary

	Subject	Sale # 1	Sale # 2	Sale # 3	Sale # 4	Sale # 5	Sale # 6
CompID	615209	609428	609243	615290	613598	609419	615209
Name	Warehouse	Warehouse	Industrial	Warehouse	Vincent Roofing	Industrial	Warehouse
Address	601 NW Jackson St	834 SE Adams	125 N Kansas	1605 NW Central Ave.	340 SE 15th St	2001 SW Western	601 NW Jackson St
City	Topeka	Topeka	Topeka	Topeka	Topeka	Topeka	Topeka
Sale Price	N/A	\$149,900	\$140,000	\$99,000	\$122,000	\$150,000	\$79,000
Date of Sale	N/A	12/28/2012	6/6/2011	4/21/2015	12/31/2014	4/2/2013	7/6/2015
Analysis Price	N/A	\$149,900	\$140,000	\$99,000	\$122,000	\$150,000	\$79,000
SF of GBA	12,366	16,280	28,647	9,600	26,582	16,986	12,366
Price/SF of GBA	N/A	\$9.21	\$4.89	\$10.31	\$4.59	\$8.83	\$6.39
Year Constructed	1940	1966	1919	1985	1930	1920	1940
Current Use	Industrial,	Industrial Other	Warehouse,	Industrial,	Industrial,	Office	Industrial,
Land to Building Ratio	1.02	1.76	0.79	3.12	2.30	2.11	1.02

Elements of Comparison – Related to the Transaction

We have evaluated the comparable sales based on differences in various elements of comparison. The first of these are elements that must be compared in every analysis and are related to the property rights conveyed, the terms/financing and conditions of the sale. The property rights, terms/financing, and conditions involved in the sales did not appear to have a significant impact on the prices, and no adjustments were required for these items.

The sales transacted between June 6, 2011 and July 6, 2015. Available market data does not indicate support for any significant change in prices of comparable properties during this period, and no adjustments for market conditions were required.

Elements of Comparison – Related to the Real Estate

In addition, it is necessary to evaluate the sales based on location, physical and economic characteristics. The elements of comparison considered most appropriate for this analysis are discussed individually in the following paragraphs.

Location/Flood plain

The subject is located in North Topeka in an area protected by the Levee. All the sales are similar in location. Sales 4 and 5 are located in the flood plain and are inferior.

Quality/Design

The subject is a masonry structure. Sales 1 and 3 are metal and are inferior. The others are similar.

Age/Condition

The subject is considered to be in fair to average condition. All but Sale 3 was considered to be comparable. Sale 3 is newer.

Land to Building

The subject has a land to building ratio of 1.02:1. This restricts the potential uses of the subject. Sales 1, 3, 4 and 5 have higher land to building ratios and have been adjusted downwards.

Finish

The subject has 21.1% finished space. However, the quality and condition of the finish is poor. All but Sale 4 were considered to be similar. Sale 4 was superior.

Size

There is generally an inverse relationship between the size of a building and the amount that can be obtained per SF. Larger sales have been adjusted upwards, while smaller sales have been adjusted downwards.

Second Story

Sale 2 featured floor area on two levels. It was considered inferior and adjusted upwards.

Sale Adjustments

	Subject	Sale # 1	Sale # 2	Sale # 3	Sale # 4	Sale # 5	Sale # 6
Property Name	Warehouse	Warehouse	Industrial Building	Warehouse	Vincent Roofing	Industrial Building	Warehouse
Address	601 NW Jackson St	834 SE Adams	125 N Kansas	1605 NW Central Ave.	340 SE 15th St	2001 SW Western	601 NW Jackson St
City	Topeka	Topeka	Topeka	Topeka	Topeka	Topeka	Topeka
SF of GBA	12,366	16,280	28,647	9,600	26,582	16,986	12,366
Year Constructed	1940	1966	1919	1985	1930	1920	1940
Land to Building Ratio	1.02	1.76	0.79	3.12	2.30	2.11	1.02
Overall Rate	N/A	N/A	N/A	N/A	N/A	N/A	N/A
EGIM	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Sale Price	N/A	\$149,900	\$140,000	\$99,000	\$122,000	\$150,000	\$79,000
Gross Building SF	12,366	16,280	28,647	9,600	26,582	16,986	12,366
Unadjusted Price/SF	\$6.39	\$9.21	\$4.89	\$10.31	\$4.59	\$8.83	\$6.39
Adjustments							
Property Rights		Similar	Similar	Similar	Similar	Similar	Similar
Terms/Financing		Cash Equiv.	Cash Equiv.	Cash Equiv.	Cash Equiv.	Cash Equiv.	Cash Equiv.
Conditions of Sale		Similar	Similar	Similar	Similar	Similar	Similar
Time/Market Conditions		Dec-12	Jun-11	Apr-15	Dec-14	Apr-13	Jul-15
Time Adjusted Price/SF		\$9.21	\$4.89	\$10.31	\$4.59	\$8.83	\$6.39
Location/Flood plain		Similar	Similar	Similar	Inferior	Inferior	Similar
% Adjustment		0.0%	0.0%	0.0%	10.0%	10.0%	0.0%
\$ Adjustment		\$0.00	\$0.00	\$0.00	\$0.46	\$0.88	\$0.00
Quality/Design		Inferior	Similar	Inferior	Similar	Similar	Similar
% Adjustment		5.0%	0.0%	5.0%	0.0%	0.0%	0.0%
\$ Adjustment		\$0.46	\$0.00	\$0.52	\$0.00	\$0.00	\$0.00
Age/Condition		Similar	Similar	Superior	Similar	Similar	Similar
% Adjustment		0.0%	0.0%	-20.0%	0.0%	0.0%	0.0%
\$ Adjustment		\$0.00	\$0.00	-\$2.06	\$0.00	\$0.00	\$0.00
Land to Building		Superior	Similar	Superior	Superior	Superior	Similar
% Adjustment		-5.0%	0.0%	-10.0%	-5.0%	-5.0%	0.0%
\$ Adjustment		-\$0.46	\$0.00	-\$1.03	-\$0.23	-\$0.44	\$0.00
Finish		Similar	Similar	Similar	Superior	Similar	Similar
% Adjustment		0.0%	0.0%	0.0%	-5.0%	0.0%	0.0%
\$ Adjustment		\$0.00	\$0.00	\$0.00	-\$0.23	\$0.00	\$0.00
Size		Similar	Inferior	Superior	Inferior	Similar	Similar
% Adjustment		0.0%	10.0%	-10.0%	10.0%	0.0%	0.0%
\$ Adjustment		\$0.00	\$0.49	-\$1.03	\$0.46	\$0.00	\$0.00
Second Story		Similar	Inferior	Similar	Similar	Similar	Similar
% Adjustment		0.0%	25.0%	0.0%	0.0%	0.0%	0.0%
\$ Adjustment		\$0.00	\$1.22	\$0.00	\$0.00	\$0.00	\$0.00
Total Adjustments							
Net % Adjustments		0.0%	35.0%	-35.0%	10.0%	5.0%	0.0%
Net \$ Adjustments		\$0.00	\$1.71	-\$3.61	\$0.46	\$0.44	\$0.00
Total % Adjustments		10.0%	35.0%	45.0%	30.0%	15.0%	0.0%
Total \$ Adjustments		\$0.92	\$1.71	\$4.64	\$1.38	\$1.32	\$0.00
Adjusted Price/SF		\$9.21	\$6.60	\$6.70	\$5.05	\$9.27	\$6.39
Adjusted Price Indications							
Minimum Adjusted Price / SF	\$5.05	\$7.20/SF					
Maximum Adjusted Price / SF	\$9.27	\$89,035					
Average Adjusted Price / SF	\$7.20	\$89,000					

Value Conclusion -- Sales Comparison Approach

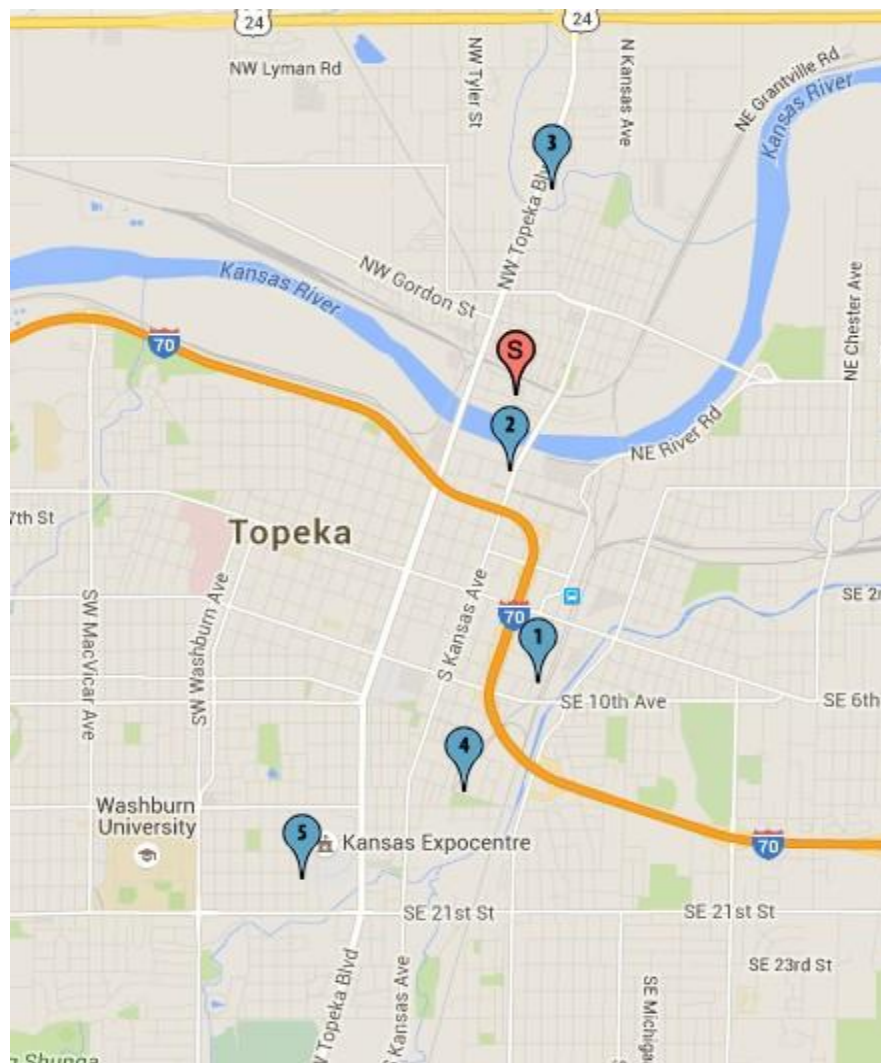
The adjustments are summarized in the "Summary Grid of Adjustments" above. The six sales provide an adjusted range of value indications from \$5.05 to \$9.27 per SF with an average of \$7.20 per SF. Sale 6 represents the recent sale of the subject. Based on these indications, we concluded the most reasonable and well supported value indication by sales comparison to be \$7.20 per SF. The estimated value for the subject would be as follows:

$$12,366 \text{ SF of Gross Building Area} \times \$7.20 \text{ per SF} = \$89,035$$

Or \$89,000 (Rounded)

The indicated value for the subject property (rounded) is as follows:

Value Indication by the Sales Comparison Approach: \$89,000



Marketing Time and Exposure Period

Shown below is the historical exposure period for the comparable sales included in this report.

Exposure Period

Sale No.	Project City	Sale Date YOC	Time on Market
# 1	Warehouse Topeka, Kansas	Dec-12 1966	3 Months
# 5	Industrial Building Topeka, Kansas	Apr-13 1920	1.5 Years
# 6	Warehouse Topeka, Kansas	Jul-15 1940	365.00

Based on the above sales, the exposure period for similar properties in the market is consistent with an exposure period of 18 Months or less. Additionally, we have reviewed the most recent *PwC Investor Survey*, for the third quarter of 2015. According to the survey, the marketing period for National Warehouse properties ranges from 1 to 12 months, with an average of 4.6 months. Market conditions are generally stable. Based on this information, we have concluded the market value for the subject property is consistent with a marketing period of 18 Months or less.

ADDENDA

APPRAISER QUALIFICATIONS

GLOSSARY

AREA DATA

IMPROVED SALES

CLIENT'S LETTER OF ENGAGEMENT

Keller, Craig & Associates

APPRAISER QUALIFICATIONS

TIMOTHY J. KELLER, MAI

Phone: (785) 841-0110

Cell: (785) 979-9555

tkeller@kellercraig.com

real estate appraiser . consultant
property developer. expert witness. instructor

WORK EXPERIENCE

Keller, Craig & Associates, Merriam & Lawrence, Kansas

President

2014 to the present

Keller & Associates, Lawrence, Kansas

President

1996-2014

Nunnink & Associates, Westwood, Kansas

Appraiser

1989-1996

SPECIAL ASSIGNMENTS

Various Kansas Department of Transportation Projects including

Gateway Project, Lenexa & Olathe, Kansas

Homestead Lane Interchange, Edgerton, Kansas

I-70 Interchange, Bonner Springs, Kansas

South Lawrence Interchange, Lawrence, Kansas

Kansas Supreme Court Appointed Appraiser

Topeka State Hospital & Grounds, Kansas

Security Benefit Tower, Kansas

Regional shopping malls in Kansas, Missouri, Colorado,

Indiana, Florida, Texas, Nevada, South Carolina,

Montana, Ohio, Virginia, and Maryland

Industrial parks in Kansas, Missouri, Colorado

Shopping centers in Kansas, Missouri and Illinois

Office towers in Kansas, Ohio, Nebraska and Missouri

Big Box Retailers in Kansas, Missouri, Michigan and Maryland

PROFESSIONAL DESIGNATIONS/CERTIFICATIONS

Member of the Appraisal Institute (MAI 10473)
Certified General Real Property Appraiser, Kansas (G-911); Missouri (RA 002814); Nebraska (CG2014012R); Iowa
(CG03342)
Successful completion, Certified Public Accountant Examination, 1984

EDUCATION

University of Notre Dame, MBA, 1984
Fort Hays State University, BS in Accounting, cum laude, 1982

CIVIC GROUPS

Kansas Real Estate Appraisal Board, past board member and former chair
Greater Kansas City Chapter, Appraisal Institute,
past chapter president, past board chair
Douglas County VNA, current board member and treasurer
Wakarusa Valley Development, Inc.,
past board member
Sertoma Club of Lawrence,
past president, past board chair
Leadership Northeast Johnson County,
past board member
Fort Hays State Alumni Association
University of Notre Dame Alumni Association

Keller, Craig & Associates

GLOSSARY

Unless otherwise noted, the following definitions are taken from The Dictionary of Real Estate Appraisal, Fifth Edition, published by the Appraisal Institute in 2010.

Appraisal

The act or process of developing an opinion of value; an opinion of value. (p. 10)

Depreciation

In appraising, the loss in property value from any cause; the difference between the cost of an improvement on the effective date of the appraisal and the market value of the improvements on the same date. (p. 56)

Exposure Time

Estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal. (USPAP)

Extraordinary Assumption

An assumption, directly related to a specific assignment, as of the effective date of the assignment results, which, if found to be false, could alter the appraiser's opinions or conclusions. (USPAP)

Fee Simple Estate

Absolute ownership unencumbered by any other interest or estate, subject only to the limitations imposed by the governmental powers of taxation, eminent domain, police power, and escheat. (p. 78)

Furniture, Fixtures and Equipment (FF&E)

The movable property of a business enterprise not classified as stock or inventory or leasehold improvements; frequently found in the ownership of hotels or motels, restaurants, assisted-living facilities, service stations, car washes, greenhouses and nurseries, and other service-intensive properties. Furniture, fixtures, and equipment frequently wears out much more rapidly than other components of those properties.

Highest and Best Use

The reasonably probable and legal use of vacant land or an improved property that is physically possible, appropriately supported, financially feasible, and that results in the highest value. The four criteria the highest and best use must meet are legal permissibility, physical possibility, financial feasibility, and maximum productivity. Alternately, the probable use of land or improved property – specific with respect to the user and timing of the use – that is adequately supported and results in the highest present value. (p. 93)

Hypothetical Condition

A condition, directly related to a specific assignment, which is contrary to what is known by the appraiser to exist on the effective date of the assignment results, but is used for the purpose of the analysis. (USPAP)

Investment Value

The value of a property interest to a particular investor or class of investors based on the investors specific requirements. Investment value may be different from market value because it depends on a set of investment criteria that are not necessarily typical of the market. (p. 105)

Leased Fee Interest

A freehold (ownership interest) where the possessory interest has been granted to another party by creation of a contractual landlord-tenant relationship (i.e. a lease) held by a landlord with the rights of use and occupancy conveyed by lease to others. (p. 111)

Leasehold Interest

The tenant's possessory interest created by a lease. (p. 112)

Liquidation Value

The most probable price that a specified interest in real property is likely to bring under all of the following conditions:

1. Consummation of a sale within a short time period.
2. The property is subjected to market conditions prevailing as of the date of valuation.
3. Both the buyer and seller are acting prudently and knowledgeably.
4. The seller is under extreme compulsion to sell.
5. The buyer is typically motivated.
6. Both parties are acting in what they consider to be their best interests.
7. A normal marketing effort is not possible due to the brief exposure time.
8. Payment will be made in cash in U.S. dollars or in terms of financial arrangements comparable thereto.
9. The price represents the normal consideration for the property sold, unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (p. 115-116)

Market Rent

The most probable rent that a property should bring in a competitive and open market reflecting all conditions and restrictions of the specified lease agreement including term, rental adjustment and revaluation, permitted uses, use restrictions, and expense obligations; the lessee and lessor each acting prudently and knowledgeably, and assuming consummation of a lease contract as of a specified date and the passing of the leasehold from lessor to lessee under conditions whereby;

1. Lessee and lessor are typically motivated.
2. Both parties are well informed or well advised, and acting in what they consider their best interests.
3. A reasonable time is allowed for exposure in the open market.
4. The rent payment is made in terms of cash in United States dollars, and is expressed as an amount per time period consistent with the payment schedule of the lease contract.
5. The rental account represents the normal consideration for the property leased unaffected by special fees or concessions granted by anyone associated with the transaction. (p. 176 -4th Edition)

Marketing Time

An opinion of the amount of time it might take to sell a real or personal property interest at the concluded market value level during the period immediately after the effective date of an appraisal. Marketing time differs from exposure time, which is always presumed to precede the effective date of an appraisal. (Advisory Opinion 7 or the Appraisal Standards Board of The Appraisal Foundation and Statement on Appraisal Standards No. 6, "Reasonable Exposure Time in Real Property and Personal Property Market Value Opinions" address the determination of reasonable exposure and marketing time.) (p. 121)

Market Value

The most probable price that a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. buyer and seller are typically motivated;
2. both parties are well informed or well advised, and acting in what they consider their best interests;
3. a reasonable time is allowed for exposure in the open market;
4. payment is made in terms of cash in US dollars or in terms of financial arrangements comparable thereto; and
5. the price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale. (p. 123)

Neighborhood

A group of complementary land uses; a congruous grouping of inhabitants, buildings, or business enterprises. (p. 133)

Replacement Cost

The estimated cost to construct, at current prices, as of the effective appraisal date, a substitute for the building being appraised, using modern materials and current standards, design, and layout. (p. 168)

Reproduction Cost

The estimated cost to construct, at current prices as of the effective date of the appraisal, an exact duplicate or replica of the building being appraised, using the same materials, construction standards, design, layout, and quality of workmanship and embodying all the deficiencies, superadequacies, and obsolescence of the subject building. (p. 169)

Use Value

In real estate appraisal, the value a specific property has for a specific use; may be the highest and best use of the property or some other use specified as a condition of the appraisal. (p. 204)

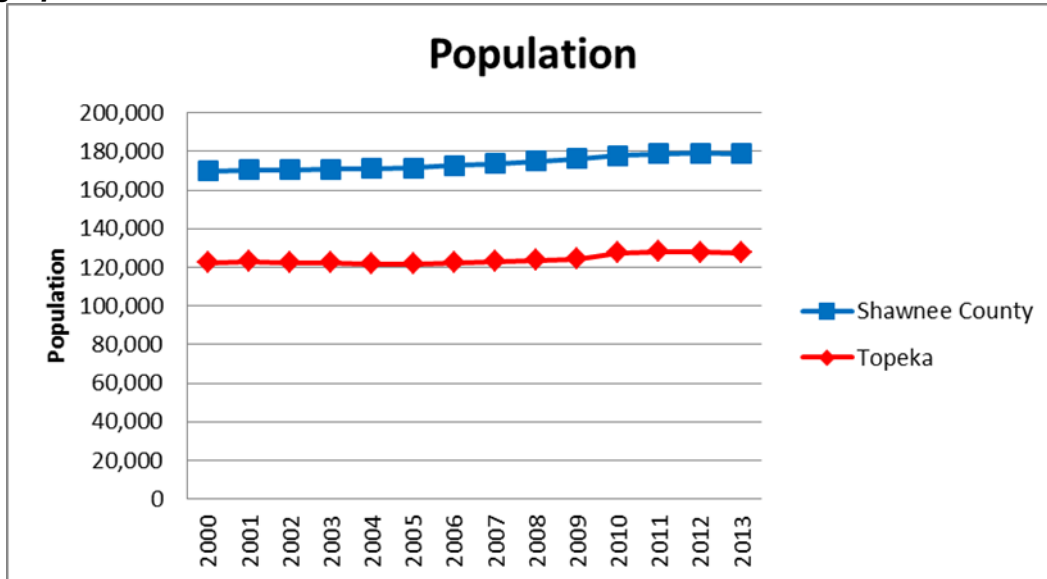
Keller, Craig & Associates

AREA DATA

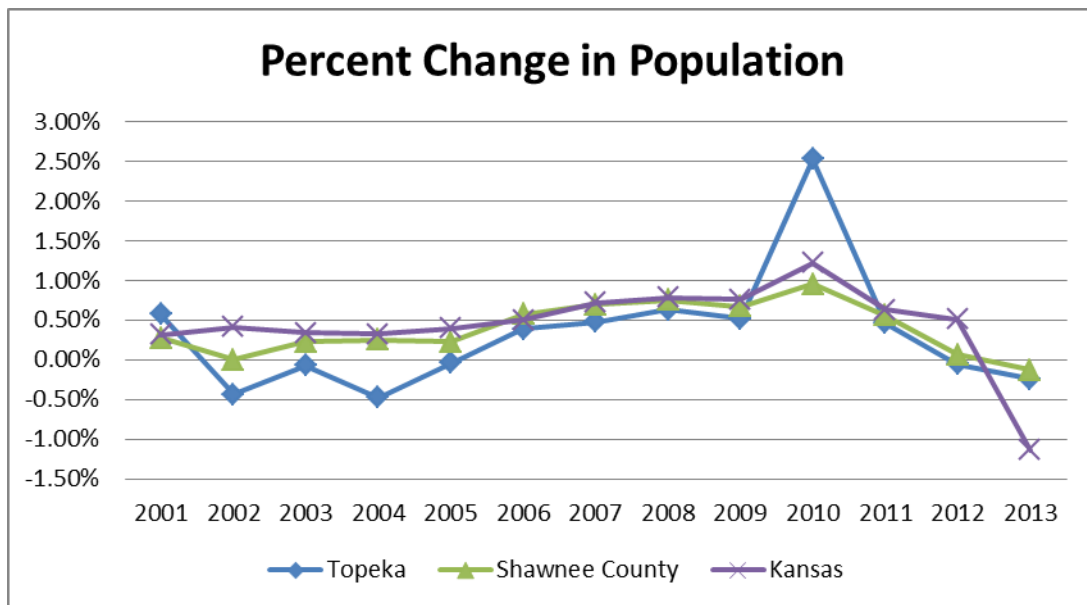
Area Defined

The subject is located in the City of Topeka, in northeast Kansas. Located equidistant between Manhattan, KS and Kansas City, MO, Topeka is near the geographic center of the United States. Topeka is the county seat of Shawnee County, the capital of Kansas, and the fourth largest city in the state. Conveniently located on I-70 and I-35, Topeka is 72 miles from Kansas City International Airport.

Demographics



Source: 2013 US Census Bureau



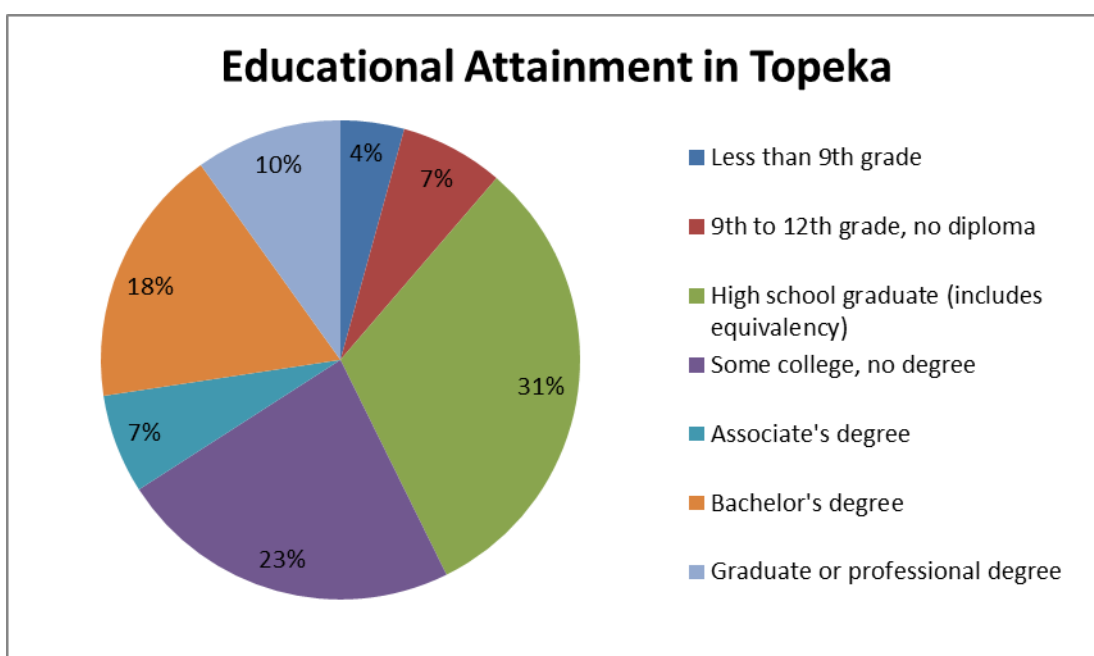
Source: 2013 US Census Bureau

Topeka has averaged a yearly population increase of 0.33% since 2000 and Shawnee County has grown at a higher yearly rate of 0.40%. The population doesn't change very much year to year. Currently 178,831 people live in Shawnee County, with the majority, 127,679 living in Topeka.

Education

Five public school districts serve the Greater Topeka area. Topeka has 21 public and 13 private elementary schools, 6 public middle schools, and 3 public and 2 private senior high schools. Topeka is also home to Washburn University where 7,230 students have access to over 200 programs of study. The following institutions of higher education are also located nearby:

University of Kansas	20 miles	Lawrence
Kansas State University	50 miles	Manhattan
Emporia State University	50 miles	Emporia

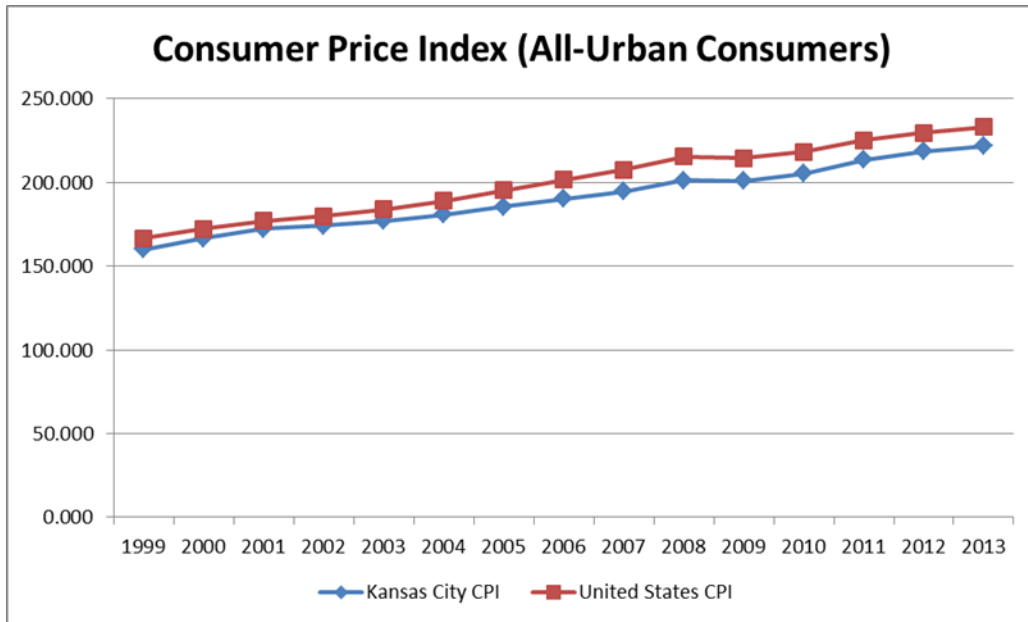


Source: 2012 American Community Survey

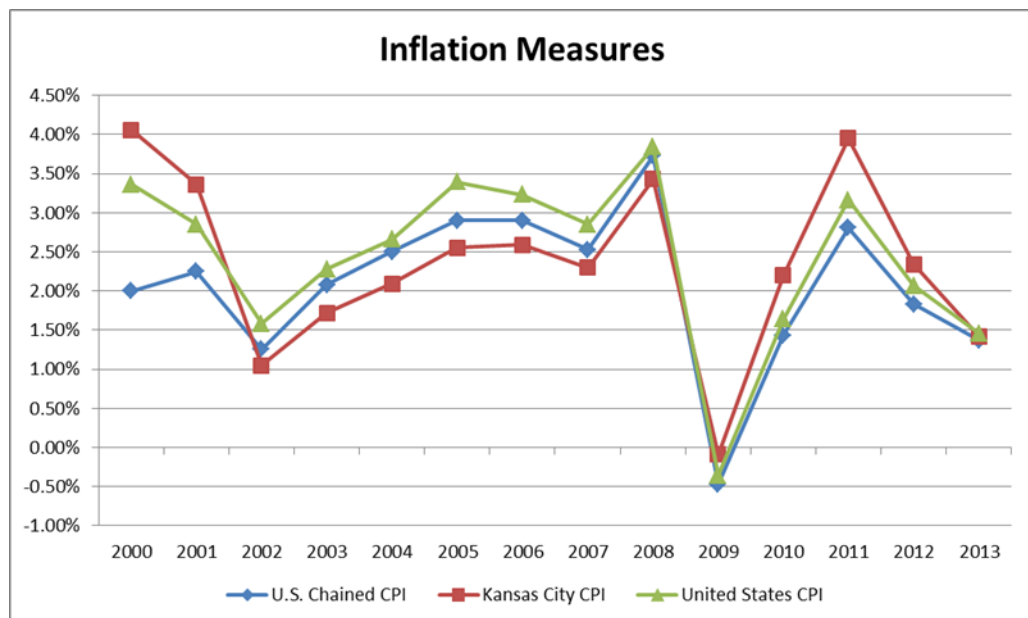
Educational attainment for Topeka is slightly lower than the rest of the state. Roughly 89% of residents have a high school education or higher and 27% of residents has completed a 4-year degree or more. State and national percentages for people earning a bachelor's degree or higher are roughly 30%. The number of residents holding high school degrees or greater is 1% less than the Kansas average and 3% better than the national average.

Interest Rates & Inflation

In 2009, the nation and the Kansas City area experienced slight deflation for the first time in decades, with Kansas City experiencing deflation of -0.09% and the nation at -0.36%. Still, Kansas City has had an average inflation rate of 2.43% per year since 2000. As shown in the chart below, the nation and the Kansas City area seem to have recovered from the downturn of 2009. Kansas City experienced inflation of 3.95% in 2011, 2.34% in 2012, and 1.42% in 2013 while the US City average was 3.16% in 2011, 2.07% in 2012, and 1.46% in 2013.



Source: Bureau of Labor Statistics



Source: Bureau of Labor Statistics

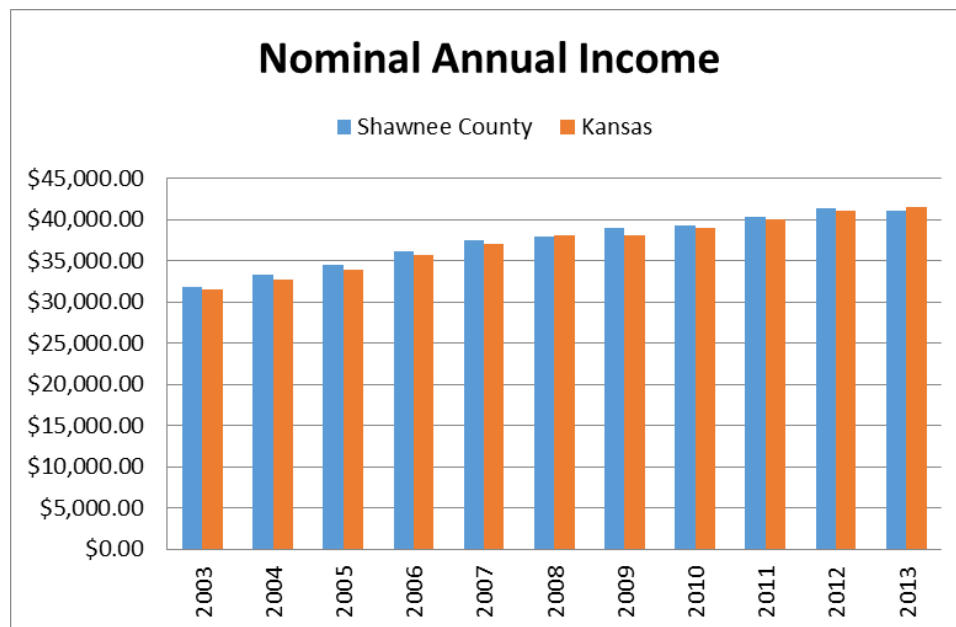
Income and Expenses

The cost of living in Kansas City is above that of other Midwestern cities. However, Kansas City ranks favorably when compared to some of the larger Midwestern cities like Chicago and Denver.

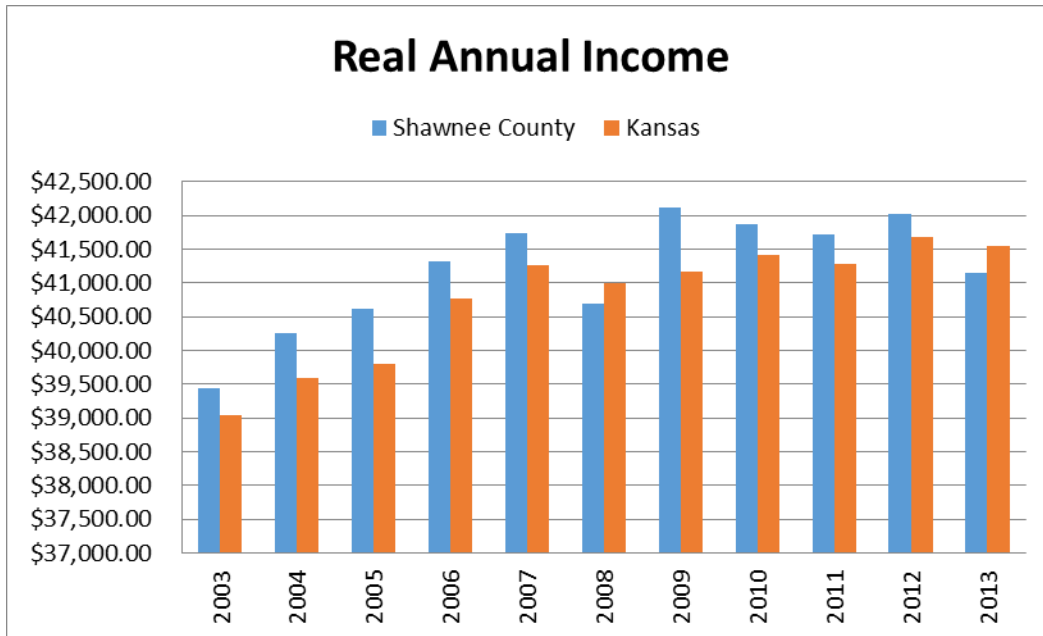
ACCRA Cost of Living Index 2014 1 st Quarter: A Sampling of Midwest Cities	
Chicago, IL	117.5
Denver, CO	106.6
Houston, TX	98.2
Kansas City, MO-KS Metro	100.3
Little Rock, AR	99.3
Dallas, TX	95.7
Topeka, KS	92.4
Manhattan, KS	94.4
Des Moines, IA	91.8
Oklahoma City, OK	88.9
Springfield, MO	92.4
Omaha, NE	86.5
Columbus, OH	91.9

Source: Topeka Chamber of Commerce

The nominal annual income for Shawnee County in 2013 was \$41,546. Shawnee County's income is 1.0% less than the nominal annual income for the state. The difference is also shown when comparing real annual income, which accounts for the effects of inflation. Since 2001, the average annual income growth rate for Shawnee County has been 0.44% compared to a statewide average of 0.63%.

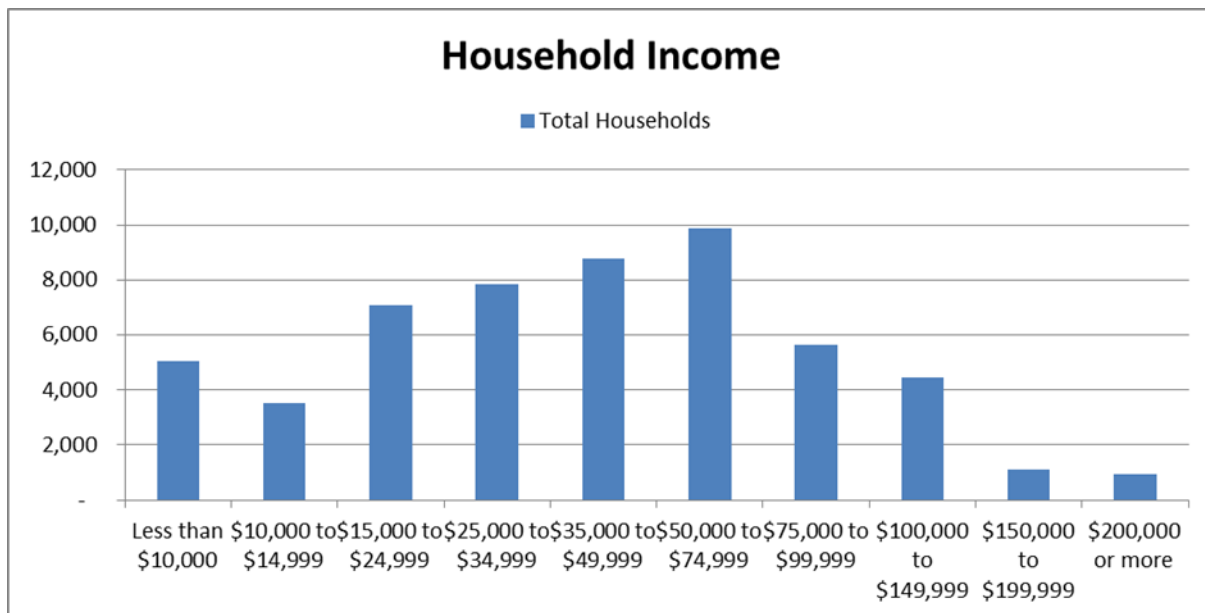


Source: 2013 Bureau of Labor Statistics



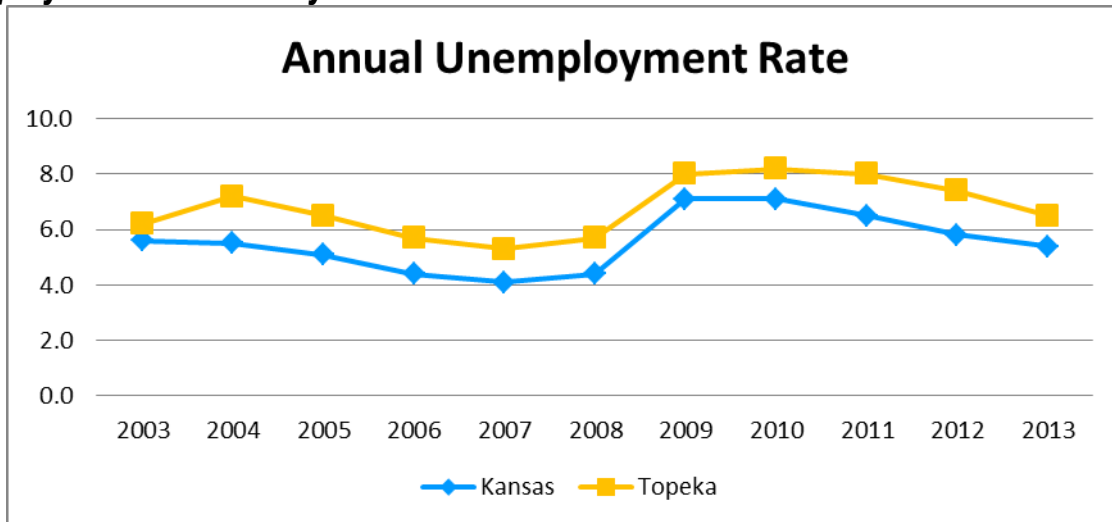
Source: 2013 Bureau of Labor Statistics, calculations made by Keller & Associates

Household income and benefits in Topeka have a left leaning distribution. Only 28.77% of households in Topeka have incomes below \$25,000 which is higher than the state rate of 22.6%. The majority of households in Topeka (18.2%) have incomes from \$50,000 to \$74,999. The majority of the state of Kansas also earns incomes in the \$50,000 to \$74,999 range.

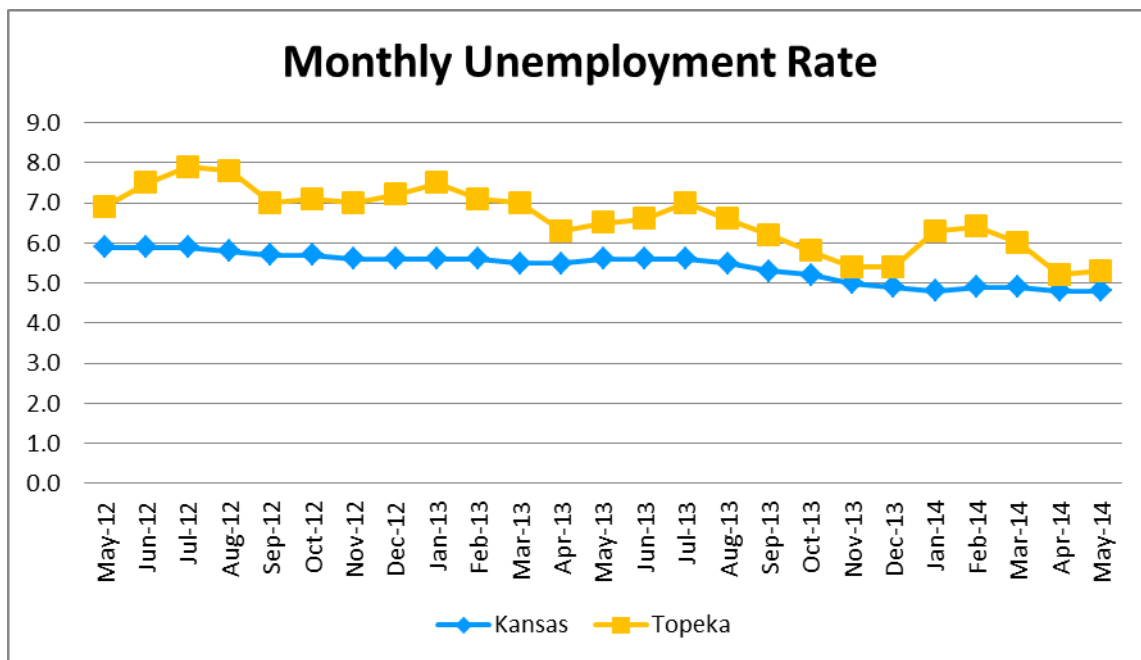


Source: 2012 American Community Survey

Employment and Industry



Source: 2013 Bureau of Labor Statistics



Source: 2014 Bureau of Labor Statistics

Unemployment in Topeka has been higher than the Kansas unemployment rates for all years studied. Annual unemployment in Topeka dropped from 7.4% in 2012 to 6.5% in 2013. The statewide rate also declined, dropping from 5.8 % in 2012 to 5.4% in 2013. As of May 2014, monthly unemployment in Topeka was at 5.3% compared to the state rate of 4.8%

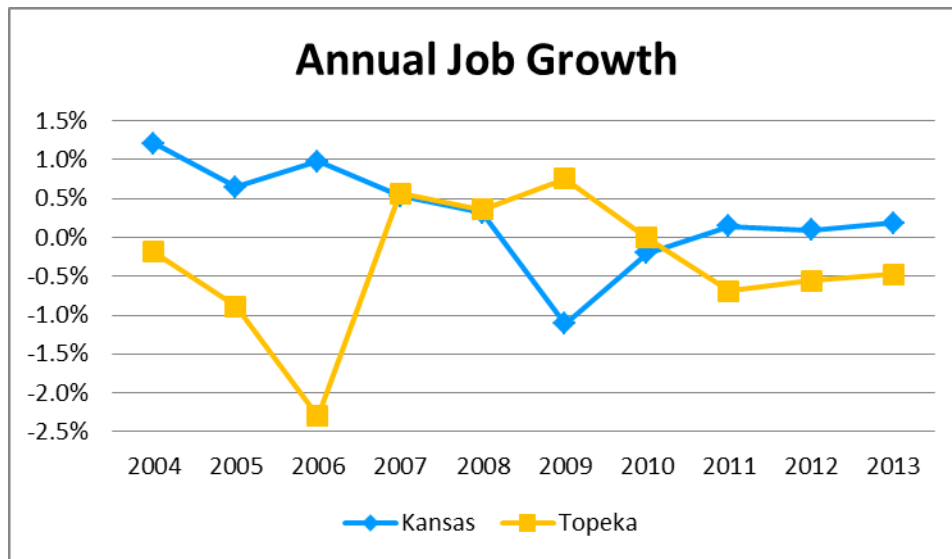
Industry	Employed	% Employed
Agriculture, forestry, fishing and hunting, and mining	311	0.50%
Construction	3,169	5.30%
Manufacturing	4,769	8.00%
Wholesale trade	1,284	2.10%
Retail trade	7,206	12.10%
Transportation and warehousing, and utilities	2,783	4.70%
Information	1,298	2.20%
Finance and insurance, and real estate and rental and leasing	4,367	7.30%
Professional, scientific, and management, and administrative and waste management services	5,349	9.00%
Educational services, and health care and social assistance	14,949	25.00%
Arts, entertainment, and recreation, and accommodation and food services	5,542	9.30%
Other services, except public administration	2,727	4.60%
Public administration	5,973	10.00%

Source: 2012 American Community Survey

Largest Employers in Topeka, KS		
Company	Description	# of Employees
State of Kansas	Government	6,263
Stormont-Vail HealthCare	Health Care	4,100
AT&T Corp.	Telecommunications	3,822
Washburn University	Higher Education	2,112
Topeka USD #501	Public Education	2,084
Saint Francis Health Care	Health Services	1,764
VA Eastern Kansas Health Care System	Health Services	1,625
Goodyear Tire & Rubber Co	Tire mfg. & distribution	1,550
Blue Cross and Blue Shield of Kansas	Insurance	1,450
Shawnee County	Government	1,100
City of Topeka	Government	1,080
Frito-Lay Inc.	Snack food mfg. & distribution	1,009

Source: Topeka Chamber of Commerce

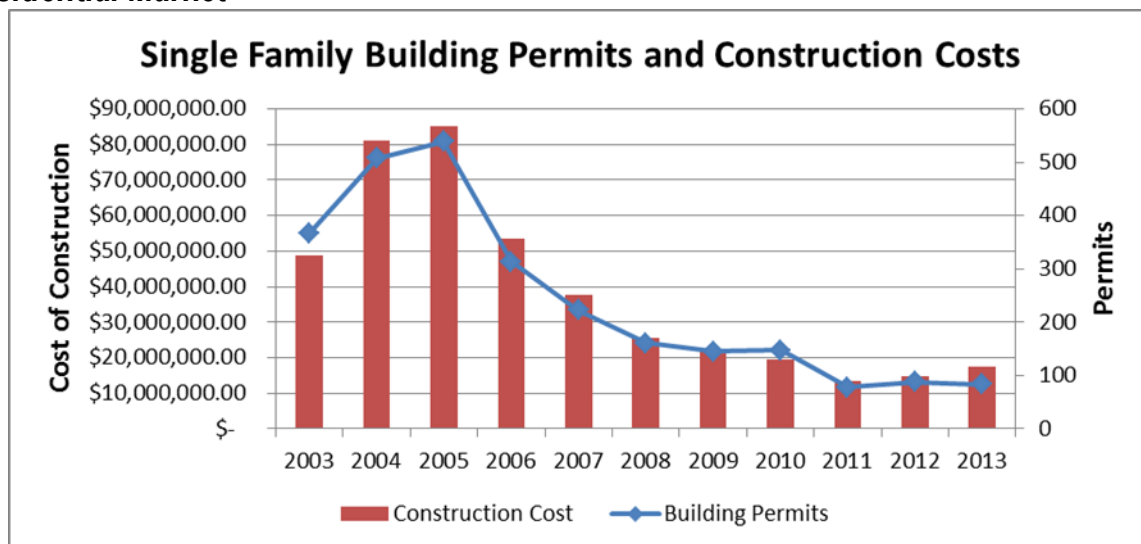
Employment by industry in Topeka lies heavily in the educational services and health care industries. There are also a significant number of Topeka residents employed by state and local government administrations. This distribution of industry employment is further represented by State of Kansas and Stormont-Vail HealthCare being the top two employers in Topeka.



Source: 2013 Bureau of Labor Statistics

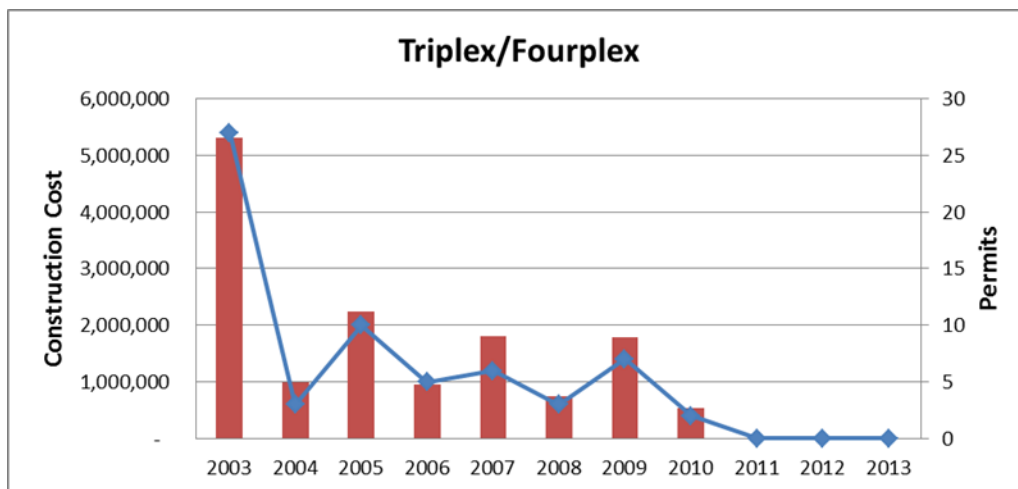
As shown in the chart above, Topeka's annual job growth has fluctuated quite a bit, but seems to have stabilized in the last 3 years. In 2011, job growth actually declined 0.68%, in 2012 and 2013 job growth declined again, but at a slower rate. In comparison, employment in Kansas grew by about 1.5% annually from 2011 to 2013.

Residential Market

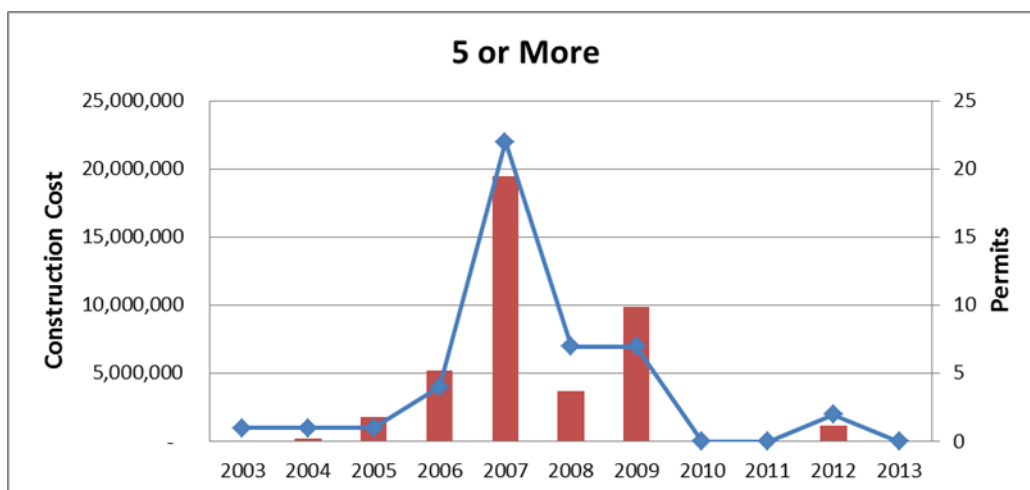


Source: U.S. Census Bureau

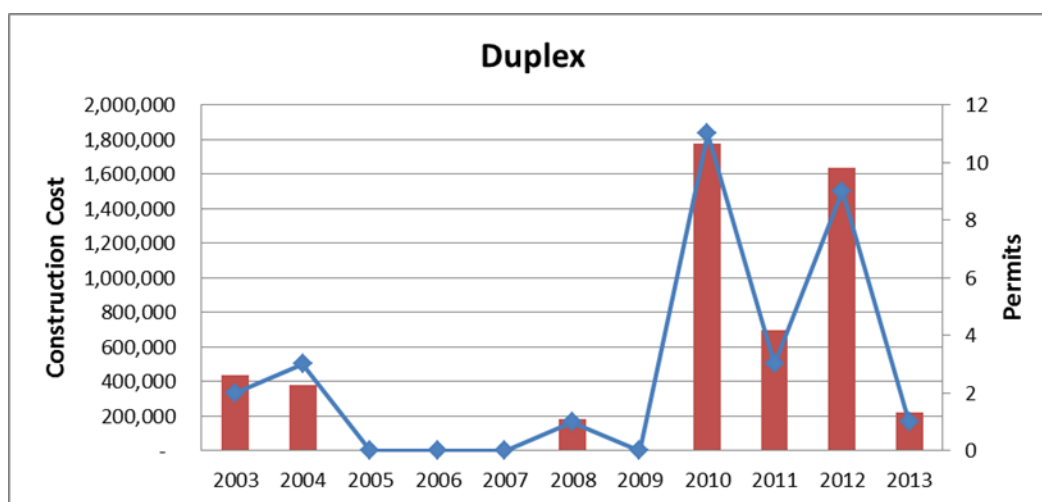
Demand for residential building permits in the City of Topeka decreased drastically from 2005 to 2013. This was primarily due to the national housing bust. From 2003-2006, building permits averaged over 432 per year. Since 2006, new single-family permits only averaged 132 per year. The housing market remains sluggish and is expected to continue the trend. The number of single family building permits issued in Topeka in 2013 was 84.



Source: U.S. Census Bureau



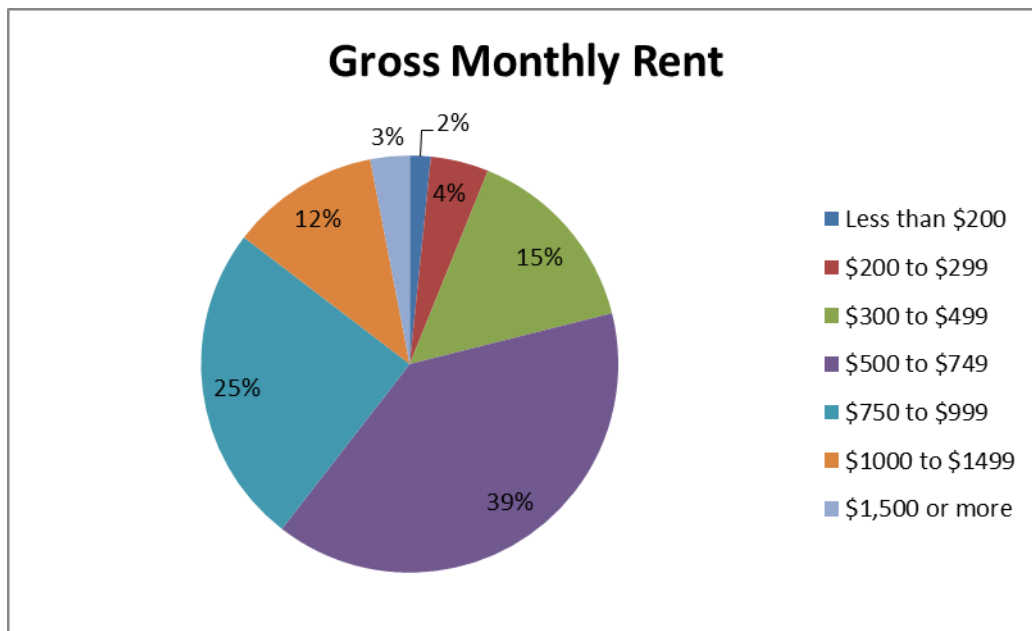
Source: U.S. Census Bureau



Source: U.S. Census Bureau

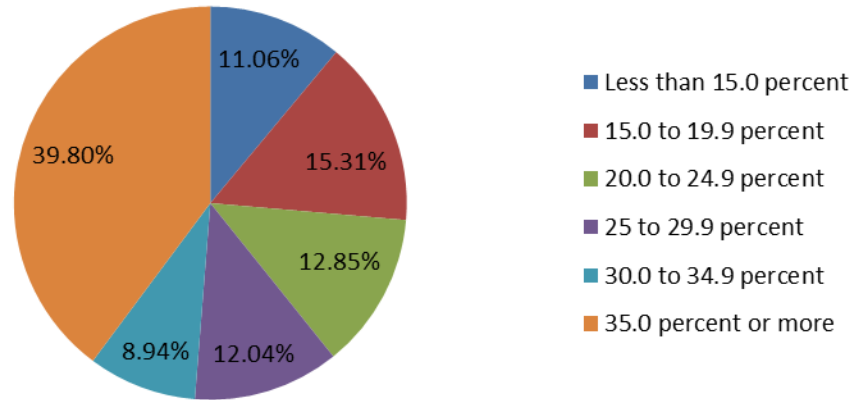
As can be seen by the previous three charts, demand for each type of multifamily building seems to fluctuate every three or so years. From 2003 to 2006 there was a demand for triplex/fourplex buildings, then from 2007 to 2009 a demand for 5 or more unit buildings, and most recently demand for duplexes. 2013 saw the lowest demand for any multifamily units in the past 10 years, with only one duplex permit issued at a cost of \$220,000.

The median gross monthly rent paid in Topeka is \$681 per month. The majority of rent is in the \$500 to \$749 range. For 39.8% of households, monthly rent consumed 35% or more of their monthly income. This number is only slightly higher than the statewide rate of 36.5%.



Source: 2012 American Community Survey

Gross Rent as a percentage of Household Income



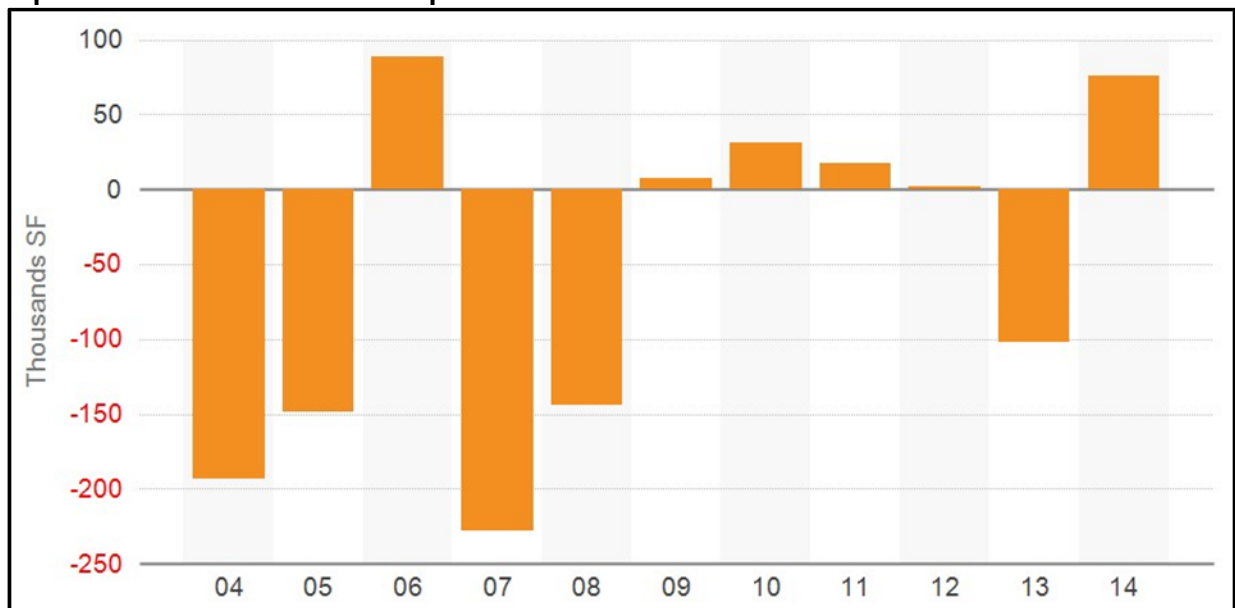
Source: 2012 American Community Survey

Office Market

Source: CoStar Group, Inc.

Since 2005 the vacancy rate has been at an average of 6.2% and 651,977 square feet. Year to date for 2014 has a total office square feet at 10,392,248 and a 6.4% vacancy. The average rental rate for 2014 is \$13.42 in fee simple. As can be seen in the charts below the rental rate has been increasing since 2004, but the vacancy rate has plateaued since 2010.

Topeka Office Market Net Absorption



Topeka Office Market Vacancy, Net Absorption, and Rental Rate

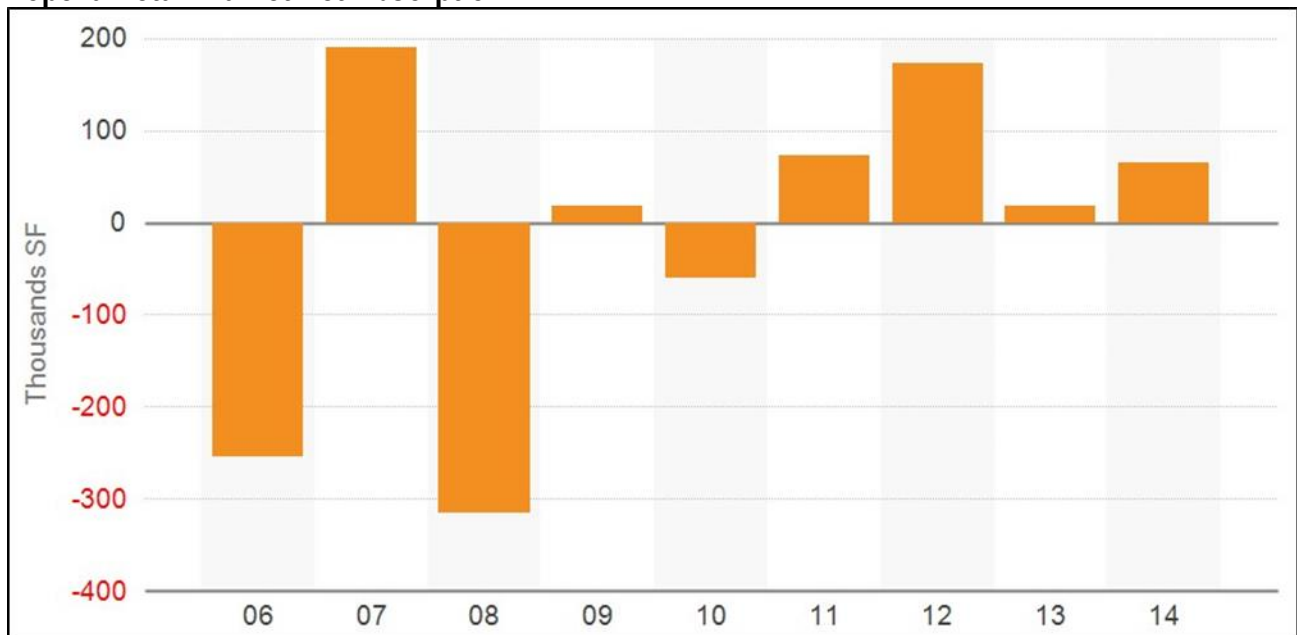
Topeka Office					
	Total SF	Vacant SF	Vacancy %	Net Absorption	Rate (fs)
2005	10,363,714	338,535	3.30%	-37,038	\$10.59
2006	10,431,133	375,653	3.60%	22,111	\$11.63
2007	10,482,361	533,006	5.10%	-57,071	\$11.27
2008	10,484,475	709,798	6.80%	-35,987	\$11.54
2009	10,484,291	772,193	7.40%	1,896	\$12.55
2010	10,489,585	842,907	8.00%	7,714	\$12.68
2011	10,505,467	756,036	7.20%	4,461	\$12.69
2012	10,505,467	742,601	7.10%	518	\$12.72
2013	10,448,858	781,982	7.50%	-25,428	\$12.78
2014 YTD	10,392,248	667,063	6.40%	25,299	\$13.42
Total	10,458,760	651,977	6.20%	-9,352	\$12.19

Retail Market

Source: CoStar Group, Inc.

The Topeka retail market has an average 8.0% vacancy rate and total square feet of 11,942,029 to date in 2014. The average rate for 2014 is \$6.92 net lease. As can be seen in the charts below, the net absorption for Topeka in the past four years has been positive, but the average net absorption has been at -1,988 square feet per year since 2006. The vacancy rate has been decreasing and stabilizing to the 8.0% average since 2011, but the rental rates continue to decrease despite the recovering market.

Topeka Retail Market Net Absorption



Topeka Retail Market Vacancy Rate and Gross Rental Rate



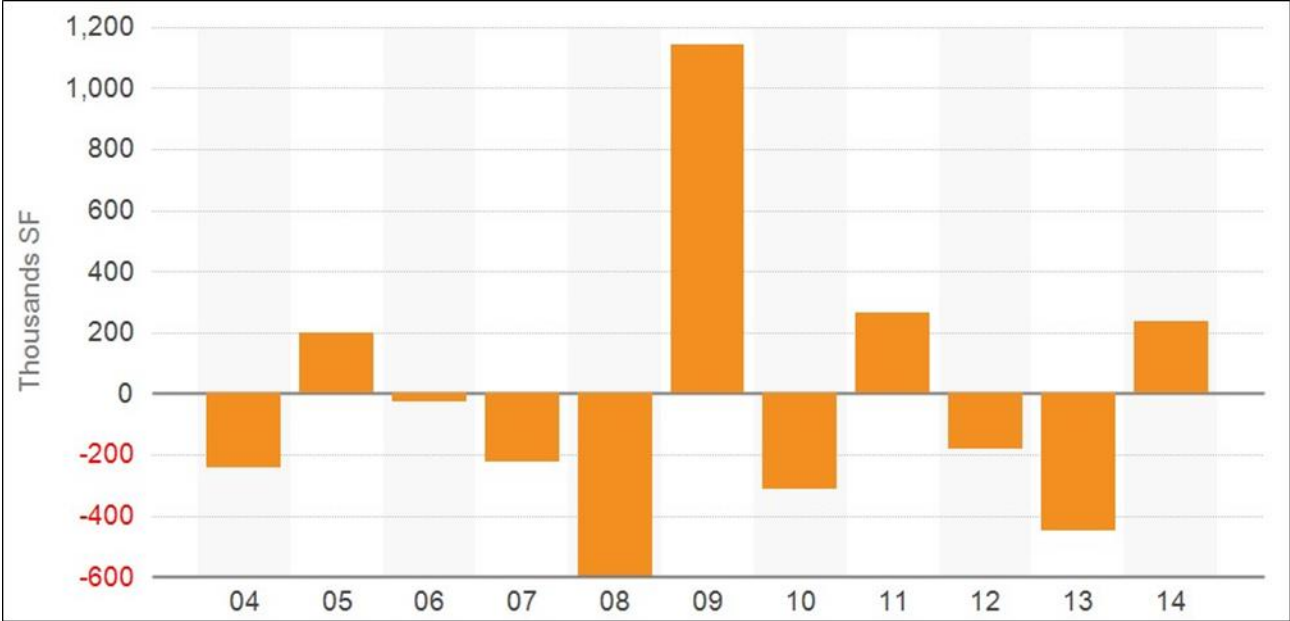
Topeka Retail Market					
	Total SF	Vacant SF	Vacancy %	Net Absorption	Rate (nnn)
2006	11,666,156	748,760	6.40%	-63,445	\$7.98
2007	11,750,911	807,436	6.90%	47,453	\$8.56
2008	11,777,620	947,160	8.00%	-78,693	\$8.52
2009	11,730,921	995,490	8.50%	4,645	\$7.88
2010	11,740,945	1,077,281	9.20%	-15,148	\$7.26
2011	11,744,457	1,087,891	9.30%	18,008	\$7.11
2012	11,836,346	1,017,882	8.60%	43,311	\$6.96
2013	11,919,209	990,659	8.30%	4,382	\$6.94
2014 YTD	11,942,029	961,304	8.00%	21,595	\$6.92
Total	11,789,844	959,318	8.10%	-1,988	\$7.57

Industrial Market

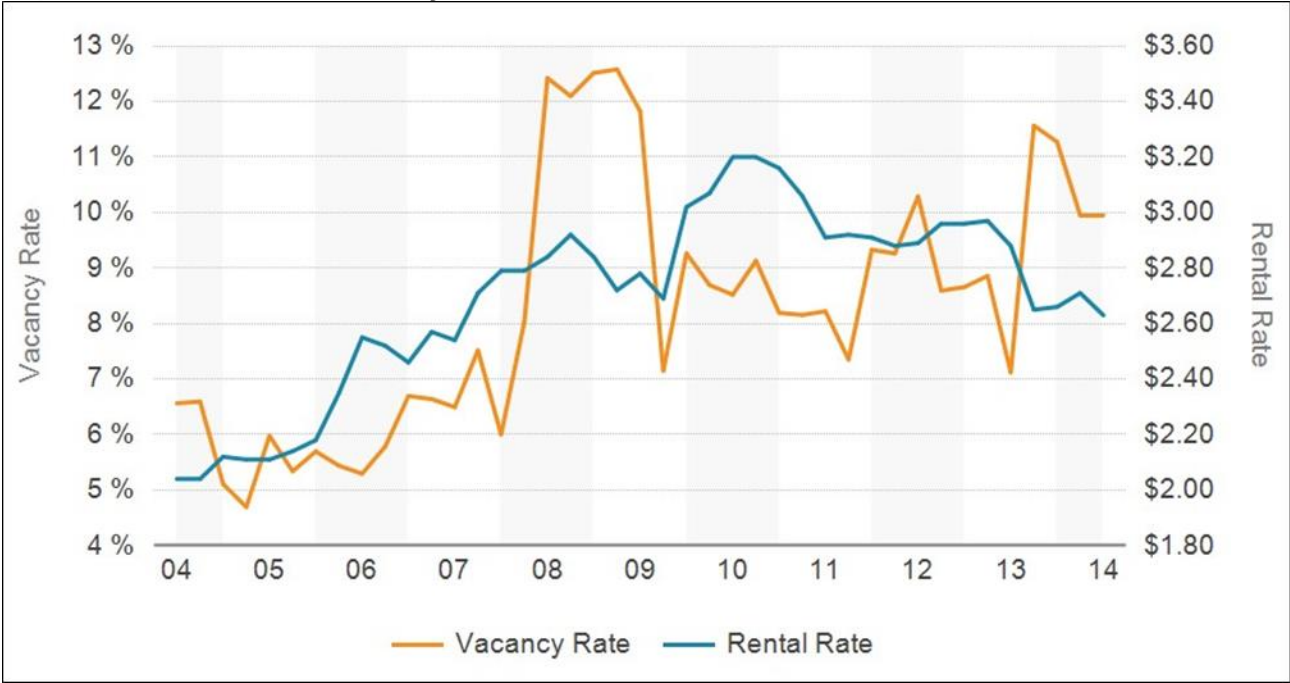
Source: CoStar Group, Inc.

The Topeka industrial market has an average 10.4% vacancy rate and total square feet of 14,746,097 to date in 2014. The average rate for 2014 is \$3.31 net lease. As can be seen in the charts below, the net absorption for Topeka in the past has been constantly changing, but the average net absorption has been at 3,320 square feet per year since 2004. The vacancy rate has been increasing since 2005 and saw its worst vacancy in 2009 due to the national recession.

Topeka Industrial Market Net Absorption



Topeka Retail Industrial Vacancy Rate and Gross Rental Rate



Topeka Industrial Market					
	Total SF	Vacant SF	Vacancy %	Net Absorption	Rate (nnn)
2005	14,176,174	748,507	5.30%	49,976	\$4.00
2006	14,223,174	790,062	5.60%	-6,416	\$4.53
2007	14,246,190	973,975	6.80%	-56,172	\$3.91
2008	14,293,454	1,378,141	9.60%	-149,373	\$4.00
2009	14,425,609	1,584,893	11.00%	285,189	\$3.13
2010	14,769,949	1,314,875	8.90%	-77,667	\$2.92
2011	14,755,369	1,177,614	8.00%	65,654	\$3.00
2012	14,755,369	1,382,488	9.40%	-45,775	\$3.36
2013	14,748,415	1,334,929	9.10%	-111,739	\$3.38
2014 YTD	14,746,097	1,532,173	10.40%	79,524	\$3.31
Total	14,513,980	1,221,766	8.40%	3,320	\$3.55

Cultural Attractions

Topeka is a city rich with history and culture. Visitors and residents can travel back in time with a ride on a 1908 vintage carousel or enjoy the sights of Gage Park on board a mile-long mini-train ride. Visitors can learn about the federal desegregation of public schools at the Brown v. Board of Education National Historic Site. Old Prairie Town at Ward-Meade Historic site, located on the Oregon Trail is a 6-acre historic site with gardens, preserving the family history of one of the earliest settlers in the area.

Visitors can also visit the recently restored Kansas State Capitol. The Capitol's distinctive copper dome with Ad Astra statue is a prominent feature of the Topeka skyline, but the view inside the dome is just as spectacular. From the first floor, look upward to appreciate the many murals, glass panels, and bright copper and brass railings of the dome. The capitol is rich with art. There are many murals depicting important events, people, and places in Kansas history.

Conclusion of Area Analysis

Topeka is the largest city and county seat in Shawnee County, Kansas. Population growth rates in the city have been increasing since 2005 except in 2013 where it decreased by 0.13%. Real annual income in Shawnee County has been growing steadily, and in 2013 was only 1.0% less than the state amount. There were 84 single family homes constructed in 2013 which is nearly the same as the previous four years.

Unemployment in this area has been higher than the state levels, and it seems likely that this trend will continue into the future. Since much of the economy relies on the education and government administration industries, it would be very beneficial to the county and its residents if businesses were able to create jobs in other industries.

Keller, Craig & Associates

IMPROVED SALES



Location

Property ID	609428	State	Kansas
Property Name	Warehouse	Zip Code	66607
Address	834 SE Adams	MSA	Topeka
City/Municipality	Topeka	Property Use	Industrial Other
County	Shawnee		
Legal Description	HOLLIDAY SUB , Lot 286 + , ADAMS ST LOTS 286, 288 & PT LOTS 29 0, 292, 294 & ADJ VAC STS ALL DAF B EG NW CORLT 286, TH ELY 147.5', SLY 50', ELY 67'(S), SWLY 41'(S), WLY SECTION 32 TOWNSHIP 11 RANGE 16		

Land

Tax Parcel Number	089-109-32-0-30-25-005.00-0		
Land Acres	0.65714	Floor to Area Ratio	0.57
Land Sq Ft	28,625	Usable Land Percent	0.0%
Land to Building Ratio	1.76	Primary Frontage (Feet)	196.00
Primary Frontage Description	There is roughly 196' of frontage along SE Adams		
Zoning Code	I-2	Grade	at grade
Zoning Description	Heavy Industrial	Drainage	Appears adequate
Access	Adequate	In Flood Plain?	No
Shape	Irregular	Utilities Description	All Available
Topography	Level		

Building

GBA	16,280	Ceiling Height	18
GBA Source	County Records	Year Built	1966
Rentable Area	16,280	Percent Office	2.6%
Efficiency (RA/GBA)	100.00%	Office Area SF	417

Building Finish

Construction Quality	Average	Basement Type	Partial - Finished
Construction Class	S	Fire Sprinkler Type	Dry system
Construction Description	Steel Frame	Roof Type	Pitched
Building Condition	Average	Roof Material	Corrugated Metal
Exterior Walls	Metal Siding		
Additional Building Info	The gross building area includes 5,080 SF basement served by a freight elevator.		

Industrial Related

Number of DHD	5	Number of DID	0
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Sale Transaction

Sale Status	Recorded	Recording Number	110940
Seller	Sonoco Recycling, LLC	Days on Market	3 Months
Buyer	Hunter Glen, LLC	Sale Confirmed By	Matt Speer
Sale Date	12-28-2012	Sale Confirmed With	County Records, Broker
Sale Price	\$149,900	Sale ID	61056
Book/Page	5062/147		

Sale History	There have been no sales in the previous three years., Last sold for \$200,000 in 2007
Sale Remarks	The property was listed for sale for \$180,000 from October 2012 to January 2013. The property was purchased by an adjoining property owner. The broker indicated there were multiple other parties interested in the site, and the buyer had to outbid them. Therefore, this is considered an arm's length sale.

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$149,900
Percent Conveyed	100%		

Cost Analysis

Land Value Per SF	\$.00	Improvements Value Per Acre	\$0
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Adjusted Price Indices

Adjusted Price/SF of GBA	\$9.21	Adjusted Price/SF of Land	\$5.24
Adjusted Price/SF of RA	\$9.21	Adjusted Price per FF	\$764.80
Adjusted Price/Acre	\$228,110		

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$9.21	Unadjusted Price/SF Land	\$5.24
Unadjusted Price/SF of RA	\$9.21	Unadjusted Price/FF	\$764.80
Unadjusted Price/Acre	\$228,110		

Sale Unit of Measure (Per SF RA)

	Actual		Stabilized
PGI Per SF	\$.00	PGI Per SF	\$.00
Vacancy Per SF	\$.00	Vacancy Per SF	\$.00
EGI Per SF	\$.00	EGI Per SF	\$.00
Fixed Exp. Per SF	\$.00	Fixed Exp. Per SF	\$.00
Variable Exp. Per SF	\$.00	Variable Exp. Per SF	\$.00



Location

Property ID	609243	State	Kansas
Property Name	Industrial Building	Zip Code	66603
Address	125 N Kansas	MSA	Topeka
City/Municipality	Topeka	Property Use	Warehouse, Storage
County	Shawnee		
Legal Description	MILL BLOCK , Lots 25, 27, 29, 31, 33, 35		

Land

Tax Parcel Number	089-109-30-0-40-09-001.00-0 and 089-109-30-0-40-09-001.01-0		
Land Acres	0.51653	Floor to Area Ratio	1.27
Land Sq Ft	22,500	Usable Land Percent	0.0%
Land to Building Ratio	0.79		
Primary Frontage Description	Along Kansas Avenue		
Shape	Rectangular	In Flood Plain?	No
Topography	Level	SF in Flood Plain	0
Grade	at grade	Utilities Description	All Available
Drainage	Appears adequate		

Building

GBA	28,647	Ceiling Height	12
Rentable Area	28,647	Year Built	1919
Efficiency (RA/GBA)	100.00%	Number of Stories	2

Building Finish

Construction Quality	Average	Building Condition	Average
Construction Class	C	Exterior Walls	Brick
Construction Description	Brick	Basement Type	None
Investment Class	D	Roof Type	Flat
Additional Building Info	Building consists of 14,700 square feet on the first floor, and 13,947 on the second floor.		

Sale Transaction

Sale Status	Recorded	Book/Page	4905/62
Seller	Heritage Bank	Recording Number	105884
Buyer	M - D Class Storage, LLC	Sale Confirmed By	Matt Speer
Sale Date	06-06-2011	Sale Confirmed With	County Records
Sale Price	\$140,000	Sale ID	60957
Sale History	There have been no sales in the previous three years.		
Sale Remarks	The sales price per square foot for the first floor area only is \$9.52.		

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$140,000
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Cost Analysis

Land Value Per SF	\$.00	Improvements Value Per Acre	\$0
Land Value Per Acre	\$0		

Adjusted Price Indices

Adjusted Price/SF of GBA	\$4.89	Adjusted Price/Acre	\$271,040
Adjusted Price/SF of RA	\$4.89	Adjusted Price/SF of Land	\$6.22

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$4.89	Unadjusted Price/Acre	\$271,040
Unadjusted Price/SF of RA	\$4.89	Unadjusted Price/SF Land	\$6.22

Sale Unit of Measure (Per SF RA)

	Actual		Stabilized
PGI Per SF	\$.00	PGI Per SF	\$.00
Vacancy Per SF	\$.00	Vacancy Per SF	\$.00
EGI Per SF	\$.00	EGI Per SF	\$.00
Fixed Exp. Per SF	\$.00	Fixed Exp. Per SF	\$.00
Variable Exp. Per SF	\$.00	Variable Exp. Per SF	\$.00



Parcel Pic

R19461 10/16/2014
Building

Location

Property ID	615290	Zip Code	66608
Property Name	Warehouse	MSA	Topeka
Address	1605 NW Central Ave.	Market Area	Topeka
City/Municipality	Topeka	Submarket Area	Topeka
County	Shawnee	Property Use	Industrial, Warehouse
State	Kansas		
Legal Description	JACKSON STREET ADDITION , Lot 29 + , CENTRAL AVE LOTS 29-30-31-32-33-34- 35-36-37 JACKSON ST ADD SECTION 20 TOWNSHIP 11 RANGE 16		

Land

Tax Parcel Number	1042003006003000		
Land Acres	0.68797	Floor to Area Ratio	0.32
Land Sq Ft	29,968	Usable Land Percent	0.0%
Land to Building Ratio	3.12	Primary Frontage (Feet)	155.00
Primary Frontage Description	NW Central Ave.		
Zoning Code	I-1	Grade	at grade
Zoning Description	Industrial	Drainage	Appears adequate
Access	Average	In Flood Plain?	No
Shape	Approximately Rectangular	Utilities Description	All available
Topography	Generally level		

Building

GBA	9,600	Number of Stories	1
Rentable Area	9,600	Number of Parking Spaces	10
Efficiency (RA/GBA)	100.00%	Parking Ratio GBA	1.04
Ceiling Height	12	Parking Ratio NRA	1.04
Year Built	1985	Parking Description	Off street/onsite

Building Finish

Construction Quality	Average	Building Frame	Wood frame
Construction Class	D	Foundation Type	Slab
Building Condition	Average	Roof Type	Pitched
Exterior Walls	Metal siding	Roof Material	Metal

Industrial Related

Number of DHD	0	Number of DID	2
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Sale Transaction

Sale Status	Recorded	Sale Price	\$99,000
Seller	Kaw Valley Bank	Book/Page	2015R06411
Seller Info	110 N. Kansas, Topeka KS 66608	Sale Confirmed By	Aaron Keck
Buyer	William D Berry Trust	Sale Confirmed With	Shawnee County Sales Info./COV
Buyer Info	1420 NE HAPPY HOLLOW PL., TOPEKA, KS 66617	Occupancy at Sale	0.0%
Sale Date	04-21-2015	Sale ID	65354
Financing Description	All cash		
Sale Remarks	Bank sale but property was made available to other potential purchasers.		

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$99,000
Percent Conveyed	100%		

Cost Analysis

Land Value Per SF	\$.00	Improvements Value Per Acre	\$0
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Adjusted Price Indices

Adjusted Price/SF of GBA	\$10.31	Adjusted Price/SF of Land	\$3.30
Adjusted Price/SF of RA	\$10.31	Adjusted Price per FF	\$638.71
Adjusted Price/Acre	\$143,901		

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$10.31	Unadjusted Price/SF Land	\$3.30
Unadjusted Price/SF of RA	\$10.31	Unadjusted Price/FF	\$638.71
Unadjusted Price/Acre	\$143,901		

Sale Unit of Measure (Per SF RA)

	Actual		Stabilized
PGI Per SF	\$.00	PGI Per SF	\$.00
Vacancy Per SF	\$.00	Vacancy Per SF	\$.00
EGI Per SF	\$.00	EGI Per SF	\$.00
Fixed Exp. Per SF	\$.00	Fixed Exp. Per SF	\$.00
Variable Exp. Per SF	\$.00	Variable Exp. Per SF	\$.00



prop



parcel

Location

Property ID	613598	State	Kansas
Property Name	Vincent Roofing	Zip Code	66607
Address	340 SE 15th St	MSA	Topeka
City/Municipality	Topeka	Property Use	Industrial, Warehouse
County	Shawnee		
Legal Description	S06 , T12 , R16 , BEG NW INTER 15TH & MADISON TH WLY 73' TO POB TH WLY 268.7' NLY 175'(S) ELY 345'(S) SLY 180'(S) W 73' TO POB & S1/2 LOT 489 ALL LOTS 491-493		

Land

Tax Parcel Number	089-133-06-0-10-19-005.00-0		
Land Acres	1.40202	Floor to Area Ratio	0.44
Land Sq Ft	61,072	Usable Land Percent	0.0%
Land to Building Ratio	2.30		
Primary Frontage Description	Adams		
Zoning Code	I1, I2	SF in Flood Plain	61,072
Zoning Description	Industrial	Flood Area %	100.00%
Shape	Irregular	Flood Zone	AE Zone
Topography	Level	Utilities Description	Access to all
In Flood Plain?	Yes		

Building

GBA	26,582	Renovation Comments	Interior Remodel
Rentable Area	26,582	Number of Buildings	1
Efficiency (RA/GBA)	100.00%	Number of Stories	1
Ceiling Height	12	Percent Office	33.7%
Year Built	1930	Office Area SF	8,970
Last Renovation Year	2008	Parking Description	Concrete

Building Finish

Construction Quality	Average	Foundation Type	Concrete Block
Construction Class	C	Roof Type	Gable
Building Condition	Average to Good	Roof and HVAC Comments	Warmed and cooled air for mezzanine and retail
Exterior Walls	Hardboard Siding		
Additional Building Info	5332 sf of retail 21250 sf warehouse. Total finished area is 5322 + 3684 (office in warehouse) Various Ceiling Heights		

Industrial Related

Number of DID	5	Mezzanine Description	Open not included in gba
Mezzanine Area (SF)	3,648		

Sale Transaction

Sale Status	Recorded	Book/Page	2015R001111
Seller	Vincent Roofing Inc	Recording Number	117934
Buyer	Haag Real Estate	Sale Confirmed By	County and KS Commercial
Sale Date	12-31-2014	Occupancy at Sale	0.0%
Sale Price	\$122,000	Sale ID	64142
Sale Remarks	Buyer owns land adjoining.		

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$122,000
Financing Terms	Cash to Seller		

Cost Analysis

Land Value Per SF	\$.00	Improvements Value Per Acre	\$0
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Adjusted Price Indices

Adjusted Price/SF of GBA	\$4.59	Adjusted Price/Acre	\$87,017
Adjusted Price/SF of RA	\$4.59	Adjusted Price/SF of Land	\$2.00

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$4.59	Unadjusted Price/Acre	\$87,017
Unadjusted Price/SF of RA	\$4.59	Unadjusted Price/SF Land	\$2.00

Sale Unit of Measure (Per SF RA)

	Actual		Stabilized
PGI Per SF	\$.00	PGI Per SF	\$.00
Vacancy Per SF	\$.00	Vacancy Per SF	\$.00
EGI Per SF	\$.00	EGI Per SF	\$.00
Fixed Exp. Per SF	\$.00	Fixed Exp. Per SF	\$.00
Variable Exp. Per SF	\$.00	Variable Exp. Per SF	\$.00



Location

Property ID	609419	State	Kansas
Property Name	Industrial Building	Zip Code	66604
Address	2001 SW Western	MSA	Topeka
City/Municipality	Topeka	Property Use	Office Warehouse
County	Shawnee		
Legal Description	STEELE'S, S01, T12, R15, BLOCK 01, Lot 733 +, ACRES 0.65, WESTERN AVE LOTS 733-735-737-739-741-743-745 STEELES ADD		

Land

Tax Parcel Number	089-141-01-0-40-28-001.00-0		
Land Acres	0.82128	Usable Land Percent	0.0%
Land Sq Ft	35,775	Primary Frontage (Feet)	175.00
Land to Building Ratio	2.11	Secondary Frontage (Feet)	159.00
Floor to Area Ratio	0.47		
Primary Frontage Description	There is roughly 175' of frontage along SW Western Avenue and 159' along SW 20th Street		
Zoning Code	I-1	In Flood Plain?	Yes
Zoning Description	Industrial	SF in Flood Plain	35,775
Access	Adequate	Flood Area %	100.00%
Shape	Rectangular	Flood Zone	AE
Topography	Level	Utilities Description	All Available
Grade	at grade		

Building

GBA	16,986	Year Built	1920
GBA Source	County Records	Number of Stories	1
Rentable Area	16,986	Percent Office	1.4%
Efficiency (RA/GBA)	100.00%	Office Area SF	240
Ceiling Height	12		

Building Finish

Construction Quality	Average	Exterior Walls	Concrete Block
Construction Class	C	Basement Type	None
Construction Description	Masonry	Roof Type	Flat
Building Condition	Average		

Industrial Related

Number of DHD	0	Number of DID	4
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Sale Transaction

Sale Status	Recorded	Book/Page	2013/06799
Seller	Western Avenue LLC	Recording Number	111686
Buyer	James Starkey	Days on Market	1.5 Years
Sale Date	04-02-2013	Sale Confirmed By	Matt Speer
Sale Price	\$150,000	Sale Confirmed With	County Records, Broker
Asking Price	\$250,000	Sale ID	61047
Sale Price/List Price Ratio	60%		
Sale History	The property has not sold in the previous three years.		
Sale Remarks	The property was listed in July 2011 for \$250,000, which was then lowered to \$195,000 in January 2013. The sales validation questionnaire included \$40,000 in FF&E, but according to the broker there was no FF&E included in the sale. The buyer was the tenant, who had been on a month to month lease. The broker indicated that this was an arm's length sale.		

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$150,000
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Cost Analysis

Land Value Per SF	\$.00	Improvements Value Per Acre	\$0
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Adjusted Price Indices

Adjusted Price/SF of GBA	\$8.83	Adjusted Price/SF of Land	\$4.19
Adjusted Price/SF of RA	\$8.83	Adjusted Price per FF	\$857.14
Adjusted Price/Acre	\$182,642		

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$8.83	Unadjusted Price/SF Land	\$4.19
Unadjusted Price/SF of RA	\$8.83	Unadjusted Price/FF	\$857.14
Unadjusted Price/Acre	\$182,642		

Sale Unit of Measure (Per SF RA)

	Actual		Stabilized
PGI Per SF	\$.00	PGI Per SF	\$.00
Vacancy Per SF	\$.00	Vacancy Per SF	\$.00
EGI Per SF	\$.00	EGI Per SF	\$.00
Fixed Exp. Per SF	\$.00	Fixed Exp. Per SF	\$.00
Variable Exp. Per SF	\$.00	Variable Exp. Per SF	\$.00



Location

Property ID	615209	Zip Code	66608
Property Name	Warehouse	MSA	Topeka
Address	601 NW Jackson St.	Market Area	Topeka
City/Municipality	Topeka	Submarket Area	Topeka
County	Shawnee	Property Use	Industrial, Warehouse
State	Kansas		
Legal Description	EUGENE ADDITION , Lot 69 + , JACKSON ST LOT 69 & 1/2 VAC ALLEY EUGENES ADD SECTION 30 TOWNSHIP 11 RANGE 16		
Additional Location Info	The property is located north of the Kansas River in a historically industrial area of Topeka, KS.		

Land

Tax Parcel Number	1093004001001000		
Land Acres	0.28926	Floor to Area Ratio	0.98
Land Sq Ft	12,600	Usable Land Percent	0.0%
Land to Building Ratio	1.02		
Primary Frontage Description	corner of NW Curtis St. and NW Railroad St.		
Zoning Code	X-3	In Flood Plain?	Yes
Zoning Description	Mixed Use	SF in Flood Plain	0
Access	NW Curtis St.	Flood Zone	X500 or B Zone
Shape	Approximately Rectangular	Flood Map Number	20177C0208E
Topography	Generally level	Flood Map Effective Date	09-29-2011
Grade	at grade	Utilities Description	All Available
Drainage	Appears adequate		

Taxes

Tax Parcel(s)	Year	Market Value	Assess. Ratio	Assessed Value	Taxable Value	Tax Rate	Tax Amount	Taxes Total
		\$99,150	25.00%	\$24,788	\$24,788			\$0.00
1093004001001000	2014	\$99,150	25.00%	\$24,788	\$24,788	163.43000	\$4,051	\$4,051.02
* Totals *		\$198,300		\$49,575	\$49,575		\$4,051	\$4,051.02

Building

GBA	12,366	Number of Units	1
Rentable Area	12,366	Percent Office	21.1%
Efficiency (RA/GBA)	100.00%	Office Area SF	2,610
Density (Units/Acre)	3.46	Average Unit SF	12,366
Ceiling Height	12	Number of Parking Spaces	2
Year Built	1940	Parking Ratio GBA	0.16
Year Built Comments	Original building built in 1942.	Parking Ratio NRA	0.16
Renovation Comments	Improvements made in 1990 and 1992.	Parking Description	Limited parking, part of parking and entrance on city row
Number of Stories	1		

Building Finish

Construction Quality	Average	Foundation Type	Concrete slab
Construction Class	C	Basement Type	None
Construction Description	Block with Metal	Fire Sprinkler Type	None
Building Condition	Fair to Average	Roof Type	Pitched
Exterior Walls	Block	Roof Material	Metal
Interior Wall Type	Concrete block	Heating Type	Space heaters
Building Frame	Steel frame	Air Conditioning Type	Window Units
Additional Building Info	Office in poor condition and was very dated. Office area contained 2610 SF. It had in the wall heat and window units as AC. Overall finish contributed little value. Thus showing as no finish as buying plans to use it as storage. Varying ceiling heights, roughly 5100 sf had 16' clearance with steel trusses and small bridge cranes. Balance was 8 to 10'		

Industrial Related

Number of DHD	0	Number of DID	2
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Sale Transaction

Sale Status	Recorded	Asking Price	\$129,000
Seller	Clifford & Lynda Flowers	Sale Price/List Price Ratio	61%
Buyer	Gage Jackson & Emily Struttman	Book/Page	2015R12731
Sale Date	07-06-2015	Days on Market	365
Sale Price	\$79,000	Sale ID	65365
Financing Description	All Cash		
Sale Remarks	Property was filled with electrical parts and other material which had to be removed, some of it was sold. Buyer thought salvage value = the cost of clearance		

Analysis

Property Rights Conveyed	Fee Simple	Adjusted Sale Price	\$79,000
Percent Conveyed	100%		

Cost Analysis

Improvements Value Per Acre	\$0		
-----------------------------	-----	--	--

Adjusted Price Indices

Adjusted Price/SF of GBA	\$6.39	Adjusted Price/Acre	\$273,114
Adjusted Price/SF of RA	\$6.39	Adjusted Price/SF of Land	\$6.27
Adjusted Price/Unit	\$79,000		

UnAdjusted Price Indices

Unadjusted Price/SF of GBA	\$6.39	Unadjusted Price/Acre	\$273,114
Unadjusted Price/SF of RA	\$6.39	Unadjusted Price/SF Land	\$6.27
Unadjusted Price/Unit	\$79,000		

Keller, Craig & Associates

CLIENT'S LETTER OF ENGAGEMENT

CITY OF TOPEKA CONTRACT NO. _____
AGREEMENT FOR APPRAISAL SERVICES

The **CITY OF TOPEKA, KANSAS, DEPARTMENT OF NEIGHBORHOOD RELATIONS** "City", and **Keller, Craig & Associates, Inc.** "Appraiser", agree to a contract for the appraisal of real property located at:

324 NW Curtis St., 601 NW Jackson St. and West 115 ft. Lots 132 to Lot 144 Curtis Addition. **(See Attached Property Record Cards)**

The City will provide:

1. The Shawnee County Appraiser's Property Record Cards included in this agreement.

The Appraiser agrees:

2. To perform all work necessary to appraise the property.
3. To deliver full appraisal for each parcel within four (4) weeks after receipt of the materials provided by the City, i.e. Property Record Cards.
4. The Appraiser shall NOT prepare and submit a data book for the project.

The City may grant an extension of this deadline, but the parties understand the project is proceeding on an expedited basis and time is of the essence.

The Appraiser will prepare and submit one copy of the Full Commercial Appraisal Report for 601 SW Jackson St. and the NW Curtis property and a General Residential Appraisal Report for the 324 NW Curtis St. property estimating the value for each tract appraised. Appraisal reports shall include but not be limited to: inspection detail; highest and best use; explanation of adjustments; plats and photographs; certificate of appraiser; and, limiting conditions form.

The Appraiser shall keep and maintain individual tract files, including appraisal reports and all related correspondence in connection with and incidental to the performance of this Agreement, and to make said files available at any time for inspection by the City. All such information shall become the property of the City under this Agreement and shall be delivered to the City immediately, on a continuous basis as tracts are appraised. Appraiser further agrees that all information gained regarding the appraisals on the project shall be kept confidential.

If the appraisal services and related documentation are deficient in any respect and are not to the satisfaction of the City, Appraiser shall immediately make the necessary corrections and/or furnish the additional information or documentation required upon notification from the

City or his/her authorized representative. The Appraiser shall be paid no additional payment for correcting these deficiencies.

The Appraiser warrants it has no direct or indirect interest in such properties and will in no way benefit from the appraisal or acquisition of properties appraised under this Agreement. .

Payment

The City will compensate the Appraiser \$4,175 for subject appraisals as follows:

The City will pay \$425 for the residential property appraised for this project:

324 NW Curtis St. \$425

[Which includes all direct and indirect expenses of any nature whatsoever, including but not limited to: wages; overhead; taxes; licenses; penalties; fines; administrative expenses; travel expenses, and vehicle expense; computer expense; clerical support; stationary; and, postage.]

The City will pay \$2,250 and \$1,500 respectively for the commercial properties appraised for this project:

601 NW Jackson St. \$2,250

[Which includes all direct and indirect expenses of any nature whatsoever, including but not limited to: wages; overhead; taxes; licenses; penalties; fines; administrative expenses; travel expenses, and vehicle expense; computer expense; clerical support; stationary; and, postage.]

NW Curtis St. \$1,500

[Which includes all direct and indirect expenses of any nature whatsoever, including but not limited to: wages; overhead; taxes; licenses; penalties; fines; administrative expenses; travel expenses, and vehicle expense; computer expense; clerical support; stationary; and, postage.]

If the Appraiser is required to appear for pretrial conferences or as a witness in court, the City will pay Appraiser, in addition to the appraisal fees described above, \$225 per hour for Mr. Tim Keller's services and/or \$150 per hour for Senior Appraisers.

The City will pay for appraisal services only after receipt of a properly executed statement for services, which shall include the Purchase Order number for these services and the Appraiser's social security or FEIN number. The Appraiser must submit its statement for services through the City's online invoice system: accountspayable@topeka.org.

If any appraisal work remains incomplete after the due date specified above, the City may assess the sum of Twenty-five Dollars (\$25.00) per day per each incomplete tract, which sums may be deducted from any monies due the Appraiser, not as a penalty but as liquidated damages.

The City will not deduct these liquidated damages if such remaining incomplete work is the result of major changes made by the City, which would cause an extension of the due date.

Both parties agree:


The City reserves the right to terminate this Agreement at any time. The Appraiser will be paid the reasonable value of the services rendered up to the time of termination. All work performed and documents produced by the Appraiser shall become the property of the City.

If a dispute arises concerning a question of fact in connection with appraisal policies and procedures and is not resolved by agreement between the parties, the dispute shall be submitted to the City Attorney for final settlement.

This Agreement is binding upon the parties hereto and their successors and assigns.

APPRAISER

CITY OF TOPEKA, KANSAS



Jim Colson, City Manager



SHAWNEE COUNTY APPRAISER'S OFFICE

1515 NW Saline Street, Suite 100

Topeka, KS 66618-2838

785.232.4461

Visit our website: www.snco.us/ap

Date Mailed:

March 1, 2016

Appeal Deadline:

March 31, 2016**2016 ANNUAL NOTICE OF VALUE—THIS IS NOT A TAX BILL****Property Owner**

STRUTTMAN, EMILY L & JACKSON, GAIGE C
2245 NE 46TH ST
TOPEKA KS 66617

Property ID TMB

089-109-30-0-40-01-001.00-0

Quick Reference ID

R25245

Legal Description

EUGENE ADDITION , Lot 69 + , JACKSON ST LOT 69 & 1/2 VAC ALLEY
EUGENES ADD SECTION 30 TOWNSHIP 11 RANGE 1

Property Address

601 NW JACKSON ST

Prior and Current values assigned by the County Appraiser to the above property:

2015 Valuation		2016 Valuation	
Classification	Appraised Value	Classification	Appraised Value
C	99,150	C	104,700
Total	99,150	Total	104,700

Note: According to Kansas law, real property must be valued at its "fair market value" as it exists on January 1 of each year, except for land devoted to agricultural use which is appraised at its "use value," not "market value".

You can find more detailed information about your comparables by selecting the corresponding Property ID link below:

Address	Property ID	Sale Date	Sale Price																								
<table> <tr> <th>Classification • Description</th><th>Assess. Rt.</th><th colspan="2" rowspan="11"> "A guide to the Property Tax Appeals Process in Kansas" published by the Kansas Division of Property Valuation is available without charge at the Appraiser's Office, or the PVD website. </th></tr> <tr> <td>R • Residential use including apartments and condominiums</td><td>11.5%</td></tr> <tr> <td>F • Residences on farm homesites</td><td>11.5%</td></tr> <tr> <td>A • Land devoted to agricultural use</td><td>30.0%</td></tr> <tr> <td>A • Improvements on land devoted to agricultural use</td><td>25.0%</td></tr> <tr> <td>V • Vacant lots</td><td>12.0%</td></tr> <tr> <td>N • Real property owned and operated by not-for-profit organizations</td><td>12.0%</td></tr> <tr> <td>C • Real property used for commercial or industrial purposes</td><td>25.0%</td></tr> <tr> <td>O • All other rural and urban real property</td><td>30.0%</td></tr> <tr> <td>U • Public utility real property</td><td>33.0%</td></tr> <tr> <td>E • Exempt property</td><td></td></tr> </table>				Classification • Description	Assess. Rt.	"A guide to the Property Tax Appeals Process in Kansas" published by the Kansas Division of Property Valuation is available without charge at the Appraiser's Office, or the PVD website .		R • Residential use including apartments and condominiums	11.5%	F • Residences on farm homesites	11.5%	A • Land devoted to agricultural use	30.0%	A • Improvements on land devoted to agricultural use	25.0%	V • Vacant lots	12.0%	N • Real property owned and operated by not-for-profit organizations	12.0%	C • Real property used for commercial or industrial purposes	25.0%	O • All other rural and urban real property	30.0%	U • Public utility real property	33.0%	E • Exempt property	
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E • Exempt property																											

APPEAL PROCESS PLEASE READ THE FOLLOWING

You have the right to appeal the appraised value and the classification (the use) assigned to your property. Each year is a new valuation. If you have an appeal pending for the prior tax year, to preserve your rights for the current tax year, you must appeal the current year's valuation. A resolution of a prior tax year may not affect a subsequent tax year. Should you decide to appeal, follow these instructions. Please note the filing deadline: March 31, 2016.

1. You may ask questions or schedule an informal appeal by calling the taxpayer service number 785-232-4461.
2. If you want to schedule an informal hearing on the valuation and/or classification of your property by mail, please mail this form to the appraiser's office. To be a valid appeal, this form must be postmarked on or before March 31, 2016. You will receive a confirmation letter stating the date and time of the hearing to be sent to you at the address shown on the front of this form (unless you have indicated a different address below), in advance of your scheduled hearing.
3. If you plan to be represented by someone other than an attorney, you must file a "Declaration of Representative" form with the appraiser's office prior to the date of the hearing. An immediate family member or attorney may represent you without filing a declaration. To obtain the representative form, contact the appraiser's office or visit our website.
4. All informal hearings will be conducted prior to May 1, 2016. Results of the hearings stating the county's final determination will be sent to you by mail no later than May 20, 2016.
5. For more property information visit our website, www.snco.us/ap

2016 INFORMAL APPEAL FORM

NOTICE OF APPEAL	INSTRUCTIONS FOR APPEALING: ONE APPLICATION PER PROPERTY Print your name and address. List telephone number where you can be reached during the daytime hours. List your estimate of value. Sign and date the form. Mail the appeal form. THIS FORM MUST BE POSTMARKED ON OR BEFORE March 31, 2016. The county will send a confirmation letter of the date and time of the informal meeting prior to the scheduled date.		RETURN THIS NOTICE TO: Shawnee Co. Appraiser's Office 1515 NW Saline Topeka KS 66618-2838
OWNER'S NAME AND ADDRESS	Name and Address: <div style="text-align: right;">() () ()</div> <input type="checkbox"/> CHECK THIS BOX IF YOUR MAILING ADDRESS HAS CHANGED FROM THE ONE SHOWN ON THIS FORM		Daytime Telephone Number:
REPRESENTATIVE	Name of Representative or Attorney (If Applicable) Address:		
PARCEL IDENTIFICATION NUMBER	Quick Ref ID: R25245 Parcel Number: 089-109-30-0-40-01-001.00-0		
INDICATE TYPE OF HEARING DESIRED	<input type="checkbox"/> IN PERSON (in our office) ---OR--- <input type="checkbox"/> TELEPHONE (we call you) Indicate telephone number to be used for telephone hearing: () () ()		
OWNER'S ESTIMATE OF VALUE	Owner's Estimate of Value: \$ _____	Basis of Estimate:	
Sign and Date	Owner's Signature _____		Date: _____

IF YOU CHOOSE TO SCHEDULE YOUR INFORMAL HEARING BY MAIL, PLEASE RETURN THIS FORM TO THE APPRAISER'S OFFICE. RETAIN A COPY FOR YOUR RECORDS.

1 As Amended by the Economic Development Committee
2 August 16, 2002

3
4 RESOLUTION NO. 7253

5
6 A RESOLUTION introduced by Councilmember John Alcala requesting designation of
7 \$200,000 per year for approximately thirteen (13) consecutive years
8 beginning FY2003 from the Transient Guest Tax fund to restore the
9 Great Overland Station.
10

11 WHEREAS, the Great Overland Station is listed on the Register of Historic
12 Kansas Places and has been determined eligible for listing on the National Historic
13 Register. The Station has been approved by the Topeka Landmark Commission; and

14 WHEREAS, the Station stands as a symbol of an extraordinary era in America's
15 history, a period of great industrial and cultural expansion which mirrors the optimism
16 and hope of the American people. It served as the hub for transportation and industry,
17 and community life centered around this Station; and

18 WHEREAS, once transformed into the Great Overland Station, the once-proud
19 building will become the symbol of a new era of vitality and vision in our community,
20 serving as a catalyst to economic development and to efforts to create a riverfront park
21 on the Kansas River. The historic site contains stories of our early history, stories of the
22 Kaw Indians, French-Canadian traders, Oregon Trail pioneers, Underground Railroad
23 freedom seekers, rowdy frontier characters and hometown hero Charles Curtis. During
24 the war years, the Station was a significant stopping point for thousands of soldiers and
25 it served as a centerpiece for the entire Topeka community. Connecting that history
26 with railroad heritage represented at the Station will provide Topekans and visitors with
27 a knowledge and appreciation of deep and colorful roots of our community and validate

the contributions of the many individuals from all ethnic and social backgrounds who came together to create and grow our community and State; and

WHEREAS, the restoration of the historic building, the preservation of Topeka's railroad heritage and the development of the historic site reaching to the Kansas River are extremely important to Topeka and to Kansas.

WHEREAS, the City of Topeka Transient Guest Tax funds are to be allocated to support programs, which promote the City of Topeka and attract visitors to the community thereby stimulating revenue flow and creating increased sales tax revenue; and

WHEREAS, The Great Overland Station requires an additional \$2.5 million to restore the Station to its former glory and to develop a river front park. Said restoration costs would include acquisition of the land; demolition or relocation of some existing buildings; cleaning and clearing the land for development; providing matching monies to the TEA-21 grant Phase II; supporting costs for professional design services and administration; construction of a Veteran's Memorial; providing access roads, pedestrian pathways, parking, lighting, signage, landscaping, and development interpretive exhibits; and

WHEREAS, the City of Topeka is supportive of the efforts to restore the Great Overland Station so that the building can be transformed into an important transportation, tourist, visitor, educational and community gathering center, and will serve as an example of how a community can come together to provide education, knowledge, innovation and economic development for generations to come.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Topeka that the City of Topeka ~~provide the Great Overland Station \$250,000 per year for 10 (ten) consecutive years from Transient Guest Tax funds beginning FY2003 for restoration of the Station so that it can be transformed into an important transportation, tourist, visitor, educational and community gathering center.~~ shall do the following:

1. Appropriate \$200,000 per year for the Great Overland Station project. This commitment shall begin in Fiscal Year 2003 and continue until the City of Topeka has expended a total of \$2,500,000 on the project, or through Fiscal Year 2015, whichever occurs first. The project shall include the following components:

- a. Acquisition of land for park purposes
- b. Demolition or relocation of some existing buildings
- c. Cleaning and clearing the land for development
- d. Providing matching monies to the TEA-21 grant Phase II
- e. Supporting costs for professional design services and project administration
- f. Construction of a Veteran's Memorial
- g. Providing, at a minimum, access roads, pedestrian pathways, parking, lighting, signage, landscaping, pedestrian trailhead and a river recreation access trailhead.
- h. Development of hands-on exhibits that provide, at a minimum, interpretative displays of the Kaw Indians, French-Canadian traders, Oregon Trail pioneers, Underground Railroad freedom-seekers, rowdy frontier characters and Charles Curtis.

Items d), e), f) and h) shall be developed by Railroad Heritage, Inc. pursuant to a contract with the City of Topeka in an amount not to exceed \$1,175,000. Items a), b), c) and g) shall be part of a river front park to be developed by the City of Topeka Parks and Recreation Department, with the total expenditures from the Transient Guest Tax not to exceed \$1,325,000. The City of Topeka may, by separate agreement, contract with Railroad Heritage, Inc. to provide these items, in order to more efficiently develop the project and/or to assist in leveraging other funding sources.

2. To meet its obligation to Railroad Heritage, Inc., as described in paragraph 1, above, the City of Topeka will provide an annual commitment of \$94,000 to the Railroad Heritage, Inc. The total commitment to the Railroad Heritage, Inc. shall not exceed \$1,175,000.

3. The funding commitment to the Railroad Heritage, Inc. shall be subject to the negotiation and execution of an agreement between the Railroad Heritage, Inc. and the City of Topeka which shall, at a minimum, provide the following:

a. That the funds committed by the City of Topeka represent the entirety of the City's commitment to the Railroad Heritage, Inc., i.e. that no more funds will be requested or committed.

b. Funds appropriated to the Railroad Heritage, Inc. shall be expended for construction and development of Phase II of the project, which shall include, at a minimum, those items identified in paragraph one, above.

4. The funds identified in paragraph 1 above, and not committed by agreement to Railroad Heritage, Inc. shall be expended by the City of Topeka on other

components of the project, up to the project limitation of \$2,500,000, as described in paragraph one, above.

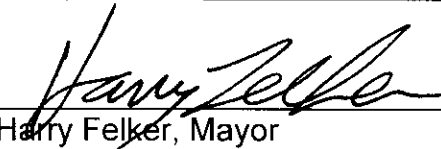
5. All financial commitments referenced in this Resolution shall be subject to the State of Kansas Budget and Cash Basis laws, and all Governing Body approvals as required by State law or City ordinance.

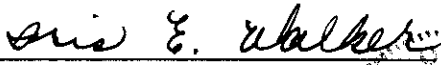
BE IT FURTHER RESOLVED, that in order to fund the Great Overland Station project and other projects that enhance the rich historical heritage of the City of Topeka, the Council of the City of Topeka resolves to:

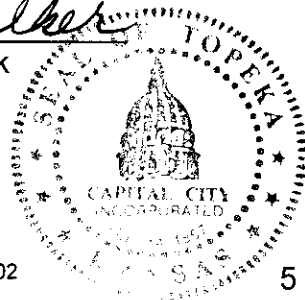
1. Consider the adoption of a Charter Ordinance that would increase the current Transient Guest Tax from its current rate of 5% to a rate of 6%, to be effective on January 1, 2003 (or the first day of the month following its approval, whichever is later). The Charter Ordinance shall include a provision that discontinues the 1% increase on December 31 of the thirteenth year following the approval.

2. Deposit funds collected from the increase in the Transient Guest Tax in excess of the \$200,000 per year committed to the Great Overland Station project in the Historic Preservation Fund. This fund will be expended for projects and activities that enhance the rich historical heritage of Topeka, as authorized by City Code Section 2-331.

ADOPTED and APPROVED by the City Council AUG 20 2002.


Harry Felker, Mayor


Iris E. Walker, City Clerk



APPROVED AS TO FORM AND LEGALITY	
DATE <u>8/16/02</u>	BY <u>PL</u>

City of Topeka Contract No. _____

REAL ESTATE PURCHASE AGREEMENT

This Real Estate Purchase Agreement ("Agreement") is made and entered into on this _____ day of _____, 2016 between Emily L. Struttman and Gaige C. Jackson (referred to collectively as "Seller") and the City of Topeka, a municipal corporation ("Buyer").

1. Sale of Property. Subject to the terms and conditions herein set forth, Seller hereby agrees to sell and convey to Buyer by good and sufficient general warranty deed, free and clear of encumbrances, and Buyer hereby agrees to purchase, that certain real estate legally described as:

EUGENE ADDITION , Lot 69 + , JACKSON ST LOT 69 & 1/2 VAC
ALLEY EUGENES ADD SECTION 30 TOWNSHIP 11 RANGE 16;
commonly known as 601 N.W. Jackson Street, Topeka, Kansas, (the
"Real Estate").

The Real Estate shall include all attached improvements permanently affixed to the premises, or any improvements thereon.

2. Purchase Price. The purchase price for the Real Estate shall be the sum of One Hundred Thousand Dollars (\$100,000.00) ("Purchase Price").

3. Other Purchase Conditions. Upon acquisition of title of the Real Estate by Buyer, Buyer will execute a lease of the Real Estate to Seller for a term ending on December 31, 2017 at a rent of \$1.00 (one dollar). Moreover, Buyer shall pay: (a) the pro rata share of real property taxes assessed for 2016 from the date of closing through December 31, 2016; and (2) real property taxes assessed for 2017.

4. Time of Purchase. The time for closing of the purchase of the Real Estate shall be within thirty (30) days of the date upon which all of the conditions precedent are satisfied or waived in writing by the party for whose benefit the condition is provided.

5. Title and Conveyance. Seller agrees to cooperate in furnishing Buyer a title insurance commitment (the "Commitment") to insure the Real Estate in the amount of the Purchase Price, which Commitment shall show marketable title vested in Seller, subject to all rights of way, easements, and restrictions of record. The Commitment shall be delivered to Buyer at least ten (10) days prior to the closing of this transaction for examination by Buyer or Buyer's attorney. In Buyer's opinion, if Seller's title to the Real Estate is not marketable, Buyer shall notify Seller in writing, specifying its objections. Seller shall use its best efforts, within a reasonable time (not to exceed ten (10) days) after receipt of such objections from Buyer in which to correct such title objections and the closing date shall be extended for up to such period of time. In the event the title objections are not corrected by Seller to the satisfaction of Buyer within the aforesaid period of time, Buyer may terminate this Agreement upon written notice to Seller or elect to close notwithstanding such title objections. As a part of the closing, Seller shall cause the title company to issue and deliver to Buyer a title insurance policy in the amount of the Purchase Price. The cost of the Commitment and title insurance policy shall be paid by Buyer.

6. Voluntary Negotiation. Seller and the Buyer acknowledge the parties entered into good faith negotiation to acquire the Real Estate. Seller acknowledges that there has been no discussion of eminent domain proceedings to acquire the Real Estate.

7. Governing Body Approval. It is understood and agreed between the Buyer and Seller that this Agreement is contingent upon approval by the City governing body. If the latter does not approve the Agreement, the Buyer shall not be obligated to complete the purchase.

8. Seller's Representations. The Seller hereto respectively covenants, represents, and warrants that Seller owns good and marketable title to the Real Estate; which covenants, representations, and warranties shall be true and accurate as of the date of closing and shall survive the closing and the transfer of the deed of conveyance.

9. Taxes and Assessments. Notwithstanding Section 3, all taxes and assessments on the Real Estate due and payable in prior years and a pro rata share of the 2016 taxes shall be paid by Seller to date of closing.

10. Closing and Possession. The closing for this transaction shall occur within 30 days of the governing body's approval unless the parties agree to extend the date. The closing shall occur at the offices of Lawyers Title of Topeka, and the closing costs shall be paid by Buyer. Possession shall be delivered to Buyer subject to the lease referred to in Section 3.

11. Default. If Buyer fails to close the purchase of the Real Estate, Seller may, at its sole option, either terminate this Agreement or exercise any rights and remedies available to it at law or in equity, including but not limited to, specific performance. If Seller fails to close the purchase of the Real Estate, Buyer may, at its sole option, either terminate this Agreement and/or exercise any rights and remedies available to it, at law or in equity, including but not limited to specific performance.

12. Successors and Assigns. This Agreement shall be binding upon and inure to the benefit of the successors and assigns of the parties hereto.

13. Construction of Agreement. This Agreement is intended to be interpreted and construed under and by virtue of the laws of the State of Kansas.

14. Execution in Counterparts. This Agreement may be signed by faxed or electronic signature, which shall be deemed to be an original signature. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, and all of which shall be deemed to constitute one and the same instrument.

IN WITNESS WHEREOF, this Agreement has been executed as of the date first above written.

BUYER
CITY OF TOPEKA, KANSAS

Larry E. Wolgast, Mayor

ATTEST:

Brenda Younger, City Clerk

APPROVED AS TO FORM AND LEGALITY
by the CITY ATTORNEY'S OFFICE

DATE _____ BY _____

SELLER

Emily L. Struttman

Gaige C. Jackson

CITY OF TOPEKA CONTRACT NO. _____

LEASE AGREEMENT

THIS LEASE AGREEMENT is entered into this _____ day of _____, 2016, by and between the City of Topeka, a duly organized municipal corporation hereinafter referred to as "Lessor" and Emily L. Struttman and Gaige C. Jackson (collectively referred to as "Lessee").

WHEREAS, Lessor and Lessee wish to provide for the lease of premises hereinafter described and the circumstances and conditions under which Lessee will operate such premises.

NOW, THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS CONTAINED HEREIN THE PARTIES AGREE AS FOLLOWS:

1. PREMISES: Lessor leases to Lessee the following described real estate, hereinafter referred to as "Premises," together with any and all improvements and equipment thereon:

EUGENE ADDITION , Lot 69 +, JACKSON ST LOT 69 & 1/2 VAC ALLEY
EUGENES ADD SECTION 30 TOWNSHIP 11 RANGE 16; commonly
known as 601 N.W. Jackson Street, Topeka, Kansas.

2. LEASE TERM: The term of this Lease commences on the acquisition of title to the Premises by Lessor pursuant to City of Topeka Contract No. _____ and terminates on December 31, 2017. The parties may renew this Lease for such terms and rent as the parties shall mutually agree.

3. RENT: Upon execution of this Lease, Lessee shall pay the Lessor a lease payment of one dollar (\$1.00).

4. USE OF PREMISES AND PERMITS/LICENSES: Lessee agrees to use the Leased Premises exclusively in connection with the operation of a warehouse. Any and all modifications and/or upgrades to the Premises shall be at Lessee's expense. Lessee shall abide by all federal, state, and local laws and regulations applicable to its operations.

5. GENERAL MAINTENANCE OBLIGATION: Lessee, at its own expense, shall protect, preserve, maintain, and repair the Premises so that the Premises will at all times be kept in at least as good a condition as when received hereunder, subject, however, to ordinary wear and tear.

6. CONDITION OF LEASED PROPERTY: As the former owner of the Premises, Lessee accepts the condition and state of repair of the Premises and acknowledges that Lessor has made no representation concerning such condition and state of repair, nor any agreement or promise to alter, improve, adapt, repair, or keep in repair the same, or any item thereof, which has not been fully set forth in this Lease.

7. EXISTING AND FUTURE EASEMENTS AND RIGHTS OF WAY: This Lease is subject to all outstanding easements and rights of way over, across, in, and upon the Premises, or any portion thereof, and to the right of Lessor to grant such additional easements and rights of way over, across, in, and upon the Premises as Lessor shall determine to be in the public interest, provided, that any such additional easement or right of way shall not unreasonably interfere with Lessee's right of peaceful occupancy.

8. ACCESS: Lessor shall have access to the Premises at all reasonable times for any purposes not inconsistent with the quiet enjoyment thereof by Lessee, including, but not limited to, the purpose of inspection. Wherever practicable, Lessor shall give advance notice of such inspection of Lessee.

9. TAXES: Lessor is responsible for paying: (1) the pro rata share of real property taxes assessed for 2016 from the date of the closing of Lessor's purchase of the Premises through December 31, 2016; and (2) real property taxes assessed on the Premises for 2017. Lessee is responsible for all other applicable federal, state, and local taxes with regard to Lessee's operations. In the event Lessee fails or declines to pay any applicable taxes, Lessor may terminate this Lease immediately. Lessor's right to terminate this Lease may be exercised if Lessee does not cure its failure to perform or diligently commence to cure such default within fifteen (15) calendar days after receipt of the default notice specifying the failure.

10. INSURANCE: Lessor shall maintain, at its expense, insurance coverage under its corporate blanket property and general liability policies. Minimum coverage for physical damage and fire shall be \$1,000,000.00. Minimum coverage for comprehensive general liability, which shall include bodily injury, property damage, and pollution insurance shall be \$1,000,000.00. The certificate of insurance shall name Lessor as an additional insured and shall be provided to Lessor for approval prior to the

~~execution of this Lease.~~ for damage to the warehouse building, excluding the contents of the warehouse. Lessee shall maintain, at its expense, insurance coverage for the contents of the warehouse.

11. HOLD HARMLESS:

(a) Lessee covenants to indemnify, save and hold harmless Lessor, its officers, agents, and employees for and from any and all liability or claims for damages to property or injuries to or death of persons which may arise from or be incident to the use and occupancy of the Premises by Lessee, or damages to the property or injuries to or death of the person of Lessee's officers, agents, servants, employees, or others who may be on the Premises at their invitation or the invitation of any one of them, resulting from use and occupancy of the Premises.

(b) Lessee shall be responsible for any loss or damage to the Premises resulting from Lessee's use or occupancy of the Premises, provided that Lessee shall not be responsible for any loss or damage to the Premises caused by an act of God, including fire, flood, windstorm or earthquake.

(c) Lessee shall be responsible for all liability for damages (including, but not limited to, damages to land and other natural resources), expenses, causes of actions, suits, claims, costs (including response, removal, and remedial costs), fees, (including reasonable attorney fees and costs), penalties or fines whether civil, administrative, and/or criminal, or judgments, caused by or arising out of use, occupation, or control of the property by Lessee, or by its invitees, agents, employees, licensees or permittees except as may arise solely out of the willful or negligent act of Lessor.

(d) Lessee further covenants that any property of Lessor (other than the Leased Premises) damaged or destroyed by Lessee incident to Lessee's use and occupancy of the Premises shall be promptly repaired or replaced by Lessee to Lessor's satisfaction, or in lieu of such repair or replacement shall, if so required by Lessor pay to Lessor money in an amount sufficient to compensate for the loss sustained by Lessor by reason of the destruction of the property. This, Paragraph 11, shall survive the expiration of this Lease.

13. CANCELLATION: Notwithstanding Section 2, either party may cancel this Lease for any reason by giving 180 days prior written notice to the individuals/entities identified in Section 17.

14. SURRENDER: Upon the expiration of this Lease or its prior termination, Lessee shall peacefully remove themselves and their personal property from the Premises and surrender the possession of the Premises to Lessor.

15. FAILURE OF LESSOR TO INSIST ON COMPLIANCE: The failure of Lessor to insist, in any one or more instances, upon performance of any of the terms, covenants, or conditions of this Lease shall not be construed as a waiver or relinquishment of Lessor's right to the future performance of any such terms, covenants, or conditions and Lessee's obligations with respect to such future performance shall continue in full force and effect.

16. ASSIGNMENT OR SUBLETTING: Lessee shall not transfer or assign this Lease or any interest herein nor sublet or otherwise make available to any third party or parties, any portion of the Premises or rights therein without the prior written consent of Lessor.

17. NOTICES: Any notice required or permitted by this Lease, to be given by either party to the other, may be mailed U.S. postage prepaid, return receipt requested, or hand-delivered to the addresses of the parties set forth below unless another address shall have been substituted by notice in writing, the date of receipt or hand-delivery being the date of notice:

IF FOR LESSOR:

City Clerk
City of Topeka
215 S.E. 7th Street
Topeka, KS 66603

and

City of Topeka
Director, Department of Neighborhood Relations
620 S.E. Madison
Topeka, KS 66603

IF FOR LESSEE:

Emily L. Struttman and Gaige C. Jackson
2245 N.E. 46th Street
Topeka, KS 66608

18. ENTIRE LEASE AGREEMENT: This Lease constitutes the entire agreement of the parties, supersedes any and all prior written or oral agreements between the parties and neither party shall rely upon any verbal representations, either express or implied not specifically stated herein. This Lease shall not be amended or modified except by written agreement of both parties.

19. SEVERABILITY: If any section, subsection, paragraph, sentence, clause, or phrase in this Lease, or any part thereof, is for any reason held to be invalid, ineffective, or unenforceable by any court of competent jurisdiction, such decision shall not affect the validity or effectiveness of the remaining portions of this Lease or any part thereof.

20. EFFECTIVENESS: This Lease shall not be considered accepted, approved or otherwise effective until the legally required signatures and approvals have been given.

21. EXECUTION IN COUNTERPARTS. This Agreement may be signed by faxed or electronic signature, which shall be deemed to be an original signature. This Agreement may be executed in counterparts, each of which shall be deemed to be an original, and all of which shall be deemed to constitute one and the same instrument.

IN WITNESS WHEREOF, the parties have hereto executed this contract as of the day and year first above written.

LESSOR
CITY OF TOPEKA, KANSAS

Jim Colson, City Manager

ATTEST:

Brenda Younger, City Clerk

APPROVED AS TO FORM AND LEGALITY
by the CITY ATTORNEY'S OFFICE

DATE _____ BY _____

LESSEE

Emily L. Struttman

Gaige C. Jackson



City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE:	June 21, 2016	
CONTACT PERSON:	Bill Fiander	DOCUMENT #:
SECOND PARTY/SUBJECT:	Harry Colmery	PROJECT #:
CATEGORY/SUBCATEGORY		
CIP PROJECT:	No	
ACTION OF COUNCIL:		JOURNAL #:
		PAGE #:

DOCUMENT DESCRIPTION:

RESOLUTION introduced by City Manager Jim Colson, requesting the Kansas Department of Transportation to install "Home of Harry W. Colmery, Author of the GI Bill" signs on the interstate highway around the city limits and retain the existing "Home of Ron Evans" signs.

(Approval would initiate a request of the Kansas Department of Transportation to install signs at Interstate and State Highway approaches to the city limits.)

POLICY ISSUE:

Whether to initiate a request of the Kansas Department of Transportation (KDOT) to install "Home of Harry W. Colmery" signs at Interstate and State Highway approaches to the city limits. Due to KDOT and Federal Highways policy, only one individual per city may be recognized and only the name of the person may be on the sign. If approved, this would replace the current sign "Home of Astronaut Ron Evans" located at the western city limits and I-70 approach.

STAFF RECOMMENDATION:

Staff is recommending the Governing Body move to approve the resolution.

BACKGROUND:

A request to add "Home of Harry Colmery" signs to federal and state highway approaches to the city is being sought by the American Legion Department of Kansas and the Downtown Topeka Foundation.

The Kansas Department of Transportation (KDOT) has a "Home Of" program which allows cities to recognize the birthplace or home of a living or historic person. Only one individual per city is allowed and only their name can be on the sign.

Currently, one "home of" sign exists at the western city limits and I-70 for Astronaut Ron Evans who was a

graduate of Highland Park High School and part of the last manned Apollo mission to the moon in 1972. The sign was put up by the federal government to promote NASA's space program about this time. The City of Topeka did not request this sign.

Harry W. Colmery is best known as the author of the Servicemen's Readjustment Act, also known as the "G.I. Bill" which became law on June 22, 1944. The G.I. Bill is one of the most significant laws in American history because it provided American soldiers returning from World War II and other military conflicts the financial resources to acquire education, obtain health benefits and secure low-interest loans. It transformed the United States both economically and socially by creating a middle class. As the architect of the G.I. Bill, Topeka's own Harry W. Colmery - a World War I veteran, attorney and American Legion national commander - wanted veterans to avoid the unemployment and poverty that his fellow World War I veterans faced when returning from service.

In recognition of Mr. Colmery's significant contribution to the country, the American Legion, Kansas Department and Downtown Topeka Foundation will be dedicating a new pocket park Downtown on June 22, 2016 to commemorate the 72nd anniversary of the G.I. Bill signing by President Roosevelt. It is believed that by celebrating Topeka as the home of Mr. Colmery, the signs may have greater widespread impact on tourism to Topeka. In addition, park creators have offered to raise funds for a Ron Evans placard Downtown since he is on the list of notable Topekan.

Staff recommends a variance be sought from KDOT to keep the Ron Evans sign and add Harry W. Colmery signs including descriptive text "Author of the GI Bill" as cities with an astronaut "home of" sign were never given a chance to request a sign and are essentially excluded from the program. This results in an unfair choice to remove an already commemorated individual that is significant to the community.

BUDGETARY IMPACT:

Signs would be installed at Kansas Department Of Transportation expense.

SOURCE OF FUNDING:

Kansas Department Of Transportation

ATTACHMENTS:

Description

Resolution

Ron Evans sign on I-70

Map - City Limit Signs

1 RESOLUTION NO. _____
2

3 A RESOLUTION introduced by City Manager Jim Colson, requesting the Kansas
4 Department of Transportation to install "Home of Harry W. Colmery,
5 Author of the GI Bill" signs on the interstate highway around the city
6 limits and retain the existing "Home of Ron Evans" signs
7

8 WHEREAS, the Servicemen's Readjustment Act, also known as the "G.I. Bill"
9 became law on June 22, 1944; and

10 WHEREAS, the G.I. Bill is one of the most significant laws in American history
11 because it provided American soldiers returning from World War II and other military
12 conflicts the financial resources to acquire education, obtain health benefits and secure
13 low-interest loans; and

14 WHEREAS, the G.I. Bill transformed the United States both economically and
15 socially by creating a middle class; and

16 WHEREAS, the architect of the G.I. Bill was Topeka's own Harry W. Colmery: a
17 World War I veteran, attorney and American Legion national commander who wanted
18 veterans to avoid the unemployment and poverty that his fellow World War I veterans
19 faced when returning from service; and

20 WHEREAS, it is fitting to memorialize Mr. Colmery so that his efforts are not
21 forgotten; and

22 WHEREAS, the Kansas Department of Transportation (KDOT) has a "Home Of"
23 program allowing cities to request that a person's name be placed on signs located at
24 various points on the interstate highway in the vicinity of the city limits; and

25 WHEREAS, the current "Home Of" sign honors Astronaut Ron Evans, a graduate of
26 Highland Park High School and the University of Kansas, who, as a member of Apollo 17,
27 orbited the moon in 1972.

28 NOW, THEREFORE, BE IT RESOLVED BY THE GOVERNING BODY OF THE
29 CITY OF TOPEKA, KANSAS, that:

30 (1) The Governing Body recognizes the efforts of Harry W. Colmery and is desirous
31 of memorializing his name. As such, the Governing Body requests that KDOT install signs
32 with the caption: "Home of Harry W. Colmery, Author of the GI Bill" at various points on
33 the interstate highway around the city limits, as determined by KDOT; and

34 (2) The Governing Body requests that KDOT retain the "Home of Ron Evans" signs
35 located on the interstate highway around the city limits.

36 ADOPTED and APPROVED by the Governing Body on _____.

37 CITY OF TOPEKA, KANSAS
38
39
40
41

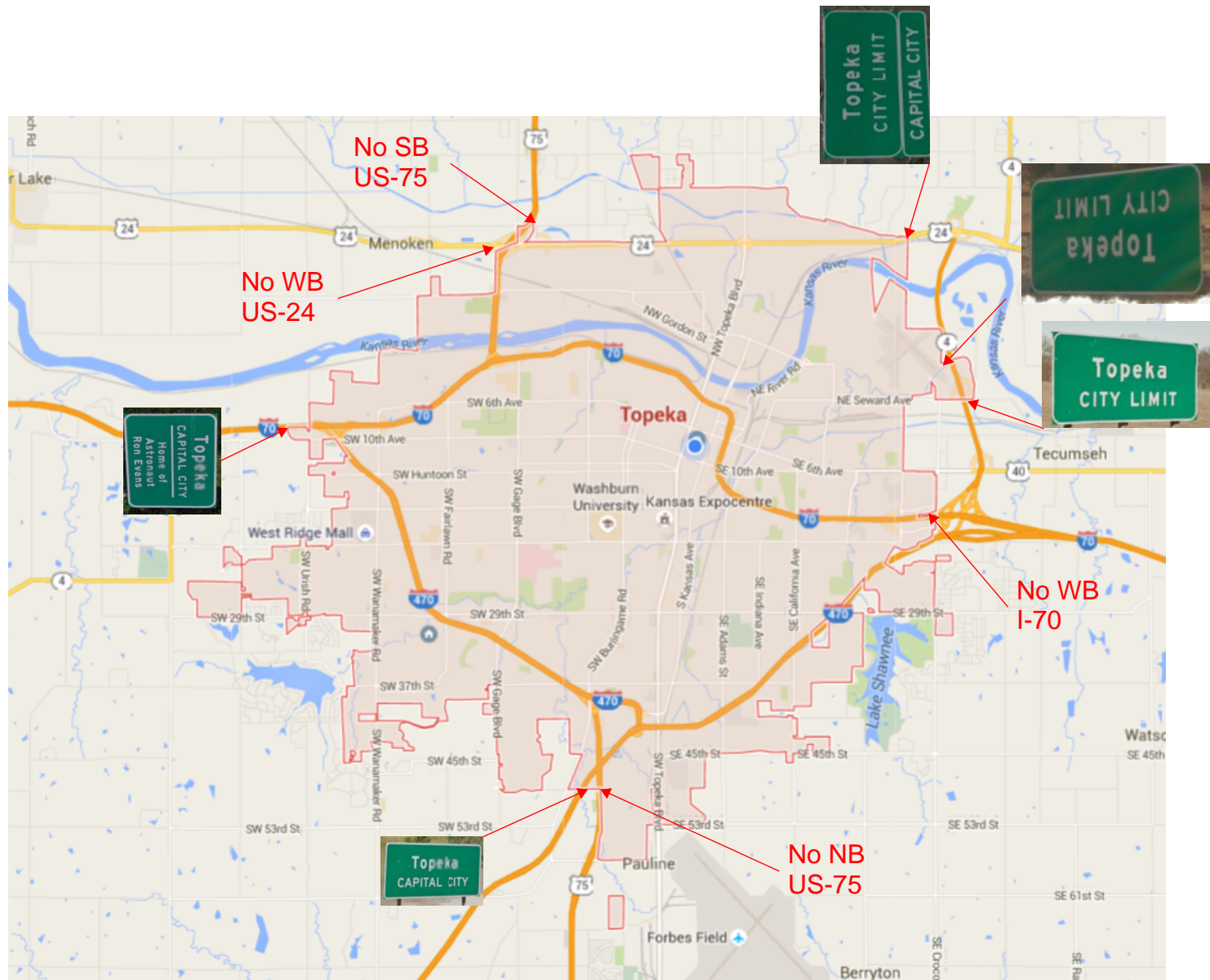
42 _____
43 Larry E. Wolgast, Mayor
44

44 ATTEST:
45
46
47
48

49 _____
Brenda Younger, City Clerk

Topeka
CAPITAL CITY

Home of
Astronaut
Ron Evans





City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016

DATE: June 21, 2016
CONTACT PERSON: Bill Fiander **DOCUMENT #:**
SECOND PARTY/SUBJECT: Elmhurst Neighborhood **PROJECT #:**
Conservation District
CATEGORY/SUBCATEGORY
CIP PROJECT: No
ACTION OF COUNCIL: **JOURNAL #:**
PAGE #:

DOCUMENT DESCRIPTION:

DISCUSSION on the Elmhurst Neighborhood Conservation District. (NCD 16/1) (Council District No. 6)

POLICY ISSUE:

The amendment is the second application of Topeka Municipal Code Section 18.270, Neighborhood Conservation Districts adopted in May 2013. This would create an overlay zoning district specific to the Elmhurst neighborhood.

STAFF RECOMMENDATION:

The Topeka Planning Commission recommended APPROVAL of the ordinance at its May 16, 2016 public hearing by a vote of 5-0-1 as referenced in the attached minutes. The Planning Department recommended APPROVAL of the proposed Neighborhood Conservation District as reference in the attached staff report.

BACKGROUND:

A Neighborhood Conservation District (NCD) is a neighborhood-initiated set of design standards to preserve historic character. This proposal adds the "Elmhurst Neighborhood Conservation District Overlay" to the existing base zoning for residential properties between SW 10th Ave to the north, SW Washburn Ave to the east, SW Huntoon St to the south, and SW Boswell Ave to the west. This will be the second NCD in Topeka after the Westboro NCD was adopted in February, 2014.

The Elmhurst Neighborhood Association (NA) contacted staff in early 2014 wanting to create an NCD zoning overlay for their neighborhood to provide a level of protection from incompatible development. Staff assisted in the drafting of their preliminary NCD and attended all of the public meetings held on this case. Many of the suggested changes that the residents made at the public meetings were incorporated into final draft NCD document approved by the Elmhurst NA Board to be presented to the Planning Commission. Some of the changes made to the document after the public meetings include:

- Concern about the proposed restriction on new curb cuts—this standard was removed
 - Concern about the accessory building standard that did not allow for metal sheds if they were visible from the alley or street—this standard was rewritten to only consider visibility from the street, not the alley
 - Concern about the proposed standard regarding window sizes—this standard was removed
- Some examples of the standards included in the final NCD draft are:
- No metal storage sheds or carports visible from the public street shall be permitted
 - Each new residence or substantial addition shall be constructed consistent with one of the architectural styles currently identified on its block
 - Chain link and other wire fences shall not be allowed in front of the front face of the residence

In addition to the Elmhurst NA's regularly held meetings, there were 4 public meetings held - 2 before the Planning Commission initiated this zoning case and 2 after they initiated. City staff mailed notices to all registered property owners within this district for all 4 public meetings.

BUDGETARY IMPACT:

Not applicable.

SOURCE OF FUNDING:

Not applicable.

ATTACHMENTS:

Description

Elmhurst NCD Document
 Elmhurst Summary Report
 Elmhurst Locational Map
 Elmhurst Staff Report
 Elmhurst Initiation Letter
 7.28.15 Public Meeting Minutes
 8.10.15 Public Meeting Minutes
 3.16.16 Neighborhood Information Meeting Minutes
 2.15.16 Planning Commission Initiation Minutes
 5.16.16 Planning Commission Public Hearing Minutes



Neighborhood Conservation Districts

ELMHURST



NEIGHBORHOOD CONSERVATION DISTRICT

ELMHURST NEIGHBORHOOD ASSOCIATION

ELMHURST NEIGHBORHOOD ASSOCIATION

ELMHURST NEIGHBORHOOD ASSOCIATION

2015 BOARD MEMBERS

MARC GALBRAITH	PRESIDENT
L J POLLY	VICE PRESIDENT
BEBO LOWERY-BORN	TREASURER
MARGE AHRENS	SECRETARY
JIM WOODS	HISTORIAN
KIM RIBELIN	SAFETY CHAIR
L J POLLY	NEIGHBORHOOD APPEARANCE
SHERRY TYREE	NEWSLETTER EDITOR
JANET CATHCART	SPECIAL EVENTS
SHERRY TYREE	DATABASE ADMINISTRATOR

MISSION STATEMENT

Elmhurst should be a visibly safe, clean, stable, nurturing and economically viable neighborhood that strives to achieve a deep-rooted sense of community which encompasses and celebrates the diversity and creativity of all. ELMHURST: A PLACE WHERE PEOPLE WANT TO LIVE!

NEIGHBORHOOD GOALS

- To ensure that Elmhurst is inviting to all residents
 - To ensure that Elmhurst is a viable option for home buyers
 - To protect the established historic character of the neighborhood
 - To ensure new development complements the traditional feel of the existing neighborhood
 - To encourage home maintenance
 - To encourage crime prevention
 - To develop a walkable neighborhood
 - To support neighborhood schools and the highest quality of education
-

WHY OUR NEIGHBORHOOD SHOULD BE A NEIGHBORHOOD CONSERVATION DISTRICT

The Elmhurst neighborhood was established in 1909 and features a variety of housing styles including the American Foursquare, several variations on the Bungalow, the American Craftsman, as well as others. While the Craftsman Style can be traced to the British Arts and Crafts movement, the American version included its own distinct adaptations and emphasized originality, simplicity, local materials and honest woodwork. Captured within these late 19th and early 20th century homes, and particularly so with regard to the Craftsman Bungalow, was a desire to ennoble the modest home for a rapidly expanding U.S. middle class. Similarly, the American Foursquare was purposively boxy to maximize floor space and to capture, to best advantage, the typically small urban tract on which they were built. These are classically American styles and they are all well represented within the boundaries of Elmhurst. Of further local interest is the fact that a handful of Elmhurst homes were built from Bungalow style home plans featured in locally produced catalogs by the Garlinghouse Company.

A BRIEF HISTORY OF THE ELMHURST NEIGHBORHOOD

The 1880's were boom years for the U.S. and for Topeka. The city saw phenomenal growth downtown with many new office buildings and many large, mansion like homes along Topeka Blvd and suburbs spreading out from the city center. In the year 1909, the value of building permits issued in Topeka was \$1.6M, greater by half a million dollars than permits issued in 1907, which had been a record year.

Seeing opportunities, two young Topeka businessmen, L.F. Garlinghouse and Napoleon B. Burge, jumped into real-estate promoting Westside subdivisions.

On January 29, 1909, the Daily Capital announced Elmhurst as Topeka's newest addition. Quoted sources indicate the developer intended Elmhurst to be beautiful. Accounts also note each home would be located on a block of ground 50 feet wide, 125 feet long and 35 feet back from the front of the lot. Most properties in Elmhurst continue to exhibit this urban residential style.

Advertisements for the Elmhurst development proclaimed that all homes would be located close to Lowman Hill School and that elm trees were to be planted throughout the addition. Elmhurst would be served by two street car lines and was to be the first development in which all homes would be served by a new gas main and high pressure water main. The streets would be paved and, in another first for Topeka, all homes would be fronted by new cement sidewalks. Local advertisements listed universal telephone service, nearby churches, proximity to Washburn University, terraced lots, fine homes and fine people as other reasons to live in Elmhurst.

'Choice lots' in Elmhurst were to be sold for \$325 and other lots for \$200. The June 10, 1911 Topeka Capital Journal listed a newly constructed Elmhurst bungalow, at 1172 Mulvane, for sale at \$3,300.

Elmhurst thrived through the first decades of early 20th century. Many prominent citizens built homes in Elmhurst including J.W. Crane, Judge James McClure and Dr. Alvin Harrison. While Elmhurst was closely located to downtown and served by street car lines, the neighborhood was also served by the commercial development, Elmhurst Plaza, fashioned after the J.C. Nichols Country Club Plaza of Kansas City, and built by the Dibbles Company in an old English style. The development was likely welcomed by Elmhurst residents as they could easily walk to the nearby shops which included a grocery store, drug store, interior decorators, dry cleaners, shoe store and more.

Elmhurst was off to a great start, but it must be acknowledged that not all was good and high minded in Elmhurst as its history is regrettably marred by the fact that ads for the new development clearly indicated only white people would be allowed to buy or lease in the neighborhood. This is sad history, to be sure, but it is also history that will, we trust, never be repeated. In fact, Elmhurst is now a social and economically diverse neighborhood and hopefully will continue to evolve in that fashion.

Architecturally, Elmhurst is homogeneous. Its houses reflect middle class tastes from the second decade of the 20th century. The neighborhood, stylistically, consists of larger 2 ½ story houses. Whether the front gable, side gable, hip roof (the American Foursquare type) or 1 ½-story version, all are classified by the authoritative *Field Guide to American House* as the Prairie or Craftsman style. Most of the residences date from the late 'teens or early 1920s and are in the popular bungalow design or the unique Topeka Airplane Bungalow type. Here and there other styles, notably Tudor and Dutch Colonial, can be identified.

The neighborhood blends the different architectural styles well, whether a block of Foursquares or Airplane Bungalows. At least ten residences appeared in catalogues of Topeka's L.F. Garlinghouse Co., either built from a catalogue design or they were the inspiration for one.

After WWII, pressure mounted from different groups, including the local Chamber of Commerce, to expand the conversion of older homes into multi-unit complexes. While neighborhoods such as Holliday Park and Bethany Square felt the full brunt of this change, Elmhurst was, for a while, able to retain its single family zoning designation. Unfortunately, by 1956, the neighborhood was up-zoned. This made it possible to divide single family style homes north of Munson and on Garfield, Washburn, and some parts of Huntoon.

In 1965, Lowman Hill Methodist Church left Elmhurst and the Methodist Home for the Aged, left the neighborhood in 2003. Both large institutional locations were eventually purchased and refurbished by Topeka Bible Church.

A huge blow in the 60s and 70s was the loss of the elm trees for which the neighborhood was named. These trees had dominated the landscape and provided a lush green canopy arching over the streets. Dutch elm disease took virtually all of the Elmhurst elms.

Elmhurst couldn't very well change with modern fashions and trends in residential architecture and modern living. In the 1980's and 90's, it did see a shift in attitudes, at least among some, as

older homes began to be viewed as classic, charming and historic. Newcomers to Elmhurst sought solutions to present conditions and civic leaders realized the necessity for strong city cores.

During the 1980s, older Topeka neighborhoods, where 51% of the population earned under the median income level, formed Neighborhood Improvement Associations (NIAs). The new districts were eligible for HUD based grants for neighborhood upgrades, as well as home owner tax rebates for house improvements. Elmhurst did not fit the NIA guidelines and formed a Neighborhood Association (NA).

By the end of the 1990's Elmhurst had experienced considerable change. In 1996 Elmhurst requested down zoning from the Topeka-Shawnee County Planning Commission, a process designed to halt and ultimately reverse the decades-old encroachment in older areas of single-family to multi-family home conversions. The down zoning work led to a cooperative study and planning effort between the Elmhurst Neighborhood Association and the city's Planning Department. The final product of that cooperative effort was the creation and approval of "2001 Elmhurst Neighborhood Plan." That plan, as employed by the Elmhurst NA, has served as an ongoing guide for neighborhood stabilization and revitalization.

The following paragraph is excerpted from the "2001 Elmhurst Neighborhood Plan":

"The Elmhurst neighborhood is comprised of two ratings - at risk for the area north of 11th Street and outpatient for the area south of 11th Street. Both areas are considered stable and would fall into "average" to "low" priority, respectively. However, Elmhurst shares Washburn Avenue along its eastern edge with Tennessee Town, an intensive care and "high" priority neighborhood. The eastern edge of Elmhurst would be considered a high priority for resource allocation since it would help to anchor Tennessee Town's high priority area and prevent further spread of blight westward."

The Plan notes that 50 residences within the neighborhood exhibited major deficiencies. Some of those deficiencies have been corrected, but informal surveys subsequent to the publication of the Plan have indicated that deficiencies continue to be a problem and are one of the neighborhood's most significant challenges. Elmhurst actively encouraged Topeka to confront some of the priority concerns along Washburn Avenue. That effort resulted in dilapidated housing being removed along the west side of the second 1100 block of Washburn and it was replaced with green space.

To develop community pride and as a means of revitalization, the Elmhurst NA engaged in a host of activities. These include: organized neighborhood and home clean-ups, sponsored crime watches, fund raising, a regularly published newsletter, a periodic Christmas open house, home owner renovation assistance, contributions to help neighbors to replace damaged sidewalks and tree planting. In addition, the NA supports central Topeka's Turn-Around Team, the Lowman Hill School, the Washburn-Lane Parkway corridor project and revitalization of the College Hill commercial district.

In 2009 residents celebrated the Elmhurst centennial with a block party and an open house tour in November. The past 100 years saw countless alterations to homes and landscapes in

Elmhurst. Similarly, the socio-economic make-up of neighborhood residents has also continued to change. Elmhurst is best described as a richly mixed and diverse urban neighborhood.

Elmhurst has survived the fads and fashions of the times and remains a classic example of early 20th Century America. Today more and more people appreciate the unique qualities of Elmhurst and that fact in conjunction with solid, beautiful, century-old homes helps assure the future of Elmhurst.

Written by the Elmhurst Neighborhood Association

(Much thanks to the Shawnee County Historical Society for its “Lively Elmhurst; the Classic Topeka Neighborhood” Bulletin No. 84)

HOW AN NCD DESIGNATION AND OUR DESIGN GUIDELINES WILL IMPROVE OUR NEIGHBORHOOD

Since its inception the Elmhurst neighborhood has seen a great deal of change. Among the most significant of those was the post-World War II movement to the suburbs. That development was accompanied by a change in zoning which allowed homes, originally designed for single family residency, to be divided into two or more living quarters. Fortunately, the appeal of older homes and neighborhoods began to change again in the late 1980s and Elmhurst saw a resurgence of new owners with an interest in stabilization and restoration. Elmhurst is now a diverse neighborhood with a wide spectrum of demographics. Some of the divided homes have reverted back to single family, the neighborhood has benefitted from new infill construction and residents are also working together to rebuild infrastructure.

While much restoration still needs to be done, the original architecture and design of Elmhurst homes remains largely intact. Among Elmhurst residents there is a shared desire to preserve the quality and craftsmanship of neighborhood homes for current and future occupants. Elmhurst residents believe the protection offered by the NCD designation is key. The Elmhurst Neighborhood Association also believes that the designed standards within its NCD application will not only help with preservation, but will also encourage new development.

EXAMPLES OF OUR UNIQUE CHARACTERISTICS

Originally platted in 1909, the homes within the Elmhurst Neighborhood have been built in a variety of distinct and representative architectural styles, using equally distinct materials, and craftsmanship. The following are a collective sample of the styles of home built within the Elmhurst Neighborhood through the last 106 years.

Craftsman Bungalow



Time Period of Significance: 1905 - 1930

Neighborhood Significance: This architectural style is common within the greater Elmhurst, Norton, and Bartholomew Additions. Its Craftsman distinctions were representative of residential construction styles within the period of the neighborhood's initial development.

Architectural Description: Craftsman Bungalows can be constructed with a variety of external siding, most commonly either wood, stone, or stucco. This style features a low-pitched roof, with wide eaves with triangular brackets, exposed roof rafters, and a porch with thick square or round columns. Porches may also have stone porch supports, and an exterior chimney made with stone, or brick. The interior of a Craftsman Bungalow has an open floor plans, with few hallways, numerous windows, some being decorative with stained or leaded glass. Craftsman Bungalows may also feature beamed ceilings in the larger interior rooms.

California Bungalow



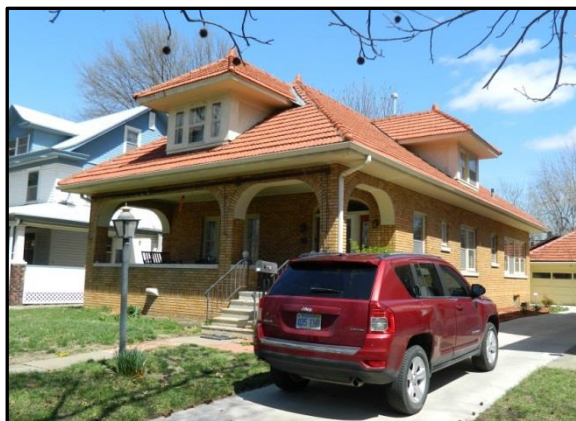
Time Period of Significance: 1905 - 1930

Neighborhood Significance: California Bungalows are unique to the original Elmhurst Addition. Their numbers are few, but they are representative of the scale, massing, materials, and craftsmanship typically used during the time period of development of the majority of the Elmhurst Neighborhood.

Architectural Description: California Bungalows are typically 1 to 1 ½ stories in height, with a low sloping roof supported by sturdy beams. This style features spacious front porches, with exposed brackets and other Craftsman details. Their orientation is typically narrow frontage, with greater depth extending toward the rear of the property.

Neighborhood Conservation District Application

Chicago Bungalow



Time Period of Significance: 1905 - 1930

Neighborhood Significance: Though there are few examples of Chicago Bungalows within the Elmhurst Neighborhood, this style is still representative of the architectural styles constructed across the nation during the early decades of the 20th Century. As exhibited within Elmhurst, this style typically required a greater initial investment, and was reflective of the occupant's values for quality materials, design, and presence within the community.

Architectural Description: Chicago Bungalows are usually built with a brick exterior, with a full basement, extending the full length and width of the house. Typical of many bungalow styles, the Chicago Bungalow features a narrow frontage, low hipped roof, with large gabled dormer facing the street. This home also features a spacious porch, which is often enclosed for additional living space.

Swiss Bungalow



Time Period of Significance: 1905 - 1930

Neighborhood Significance: Swiss bungalows are relatively rare within the Elmhurst Neighborhood, but do represent a significant architectural style for residential construction during the early 20th Century across the country. This time period is consistent with the development of Elmhurst, and much of Central Topeka.

Architectural Description: Swiss bungalows are typified by a broad front-facing roofline, often featuring a curved truss or gable above the front door. This style may be constructed with decorative half-timbering, similar to Tudor Revival, with other elements such as scalloped verge boards, and exposed interior rafters.

Neighborhood Conservation District Application

English Cottage



Time Period of Significance: 1890 - 1940

Neighborhood Significance: The English Cottage actually predates the time-period of development of the Elmhurst Neighborhood, and was constructed within its current boundaries within the Bartholomew Addition, which lies adjacent to and north of the Elmhurst Addition.

Architectural Description: English Cottages are typically 1 to 2 stories in height, with an asymmetrical floor plan and exterior facade. This style is also cross-gabled, with a medium to steeply pitched roof, sometimes with clipped gables. The exterior features arrangements of tall, narrow multi-light windows, often casements with leaded or diamond paned decorative features. Over scaled chimneys with decorative brick or stone work and chimney pots are also typical elements of this style. Doors may be half-round or arched with decorative hardware. Siding is commonly stucco, shingle, lapped panels. Decorative half-timbering is often seen.

American Foursquare



Time Period of Significance: 1895 - 1930

Neighborhood Significance: American Foursquare homes are perhaps the most common form of residential architecture within the Elmhurst Neighborhood. Within the original Elmhurst Addition, this style establishes the predominate character of each block.

Architectural Description: This style of architecture is typified by a simple box shape, usually two-and-a-half stories high, with a four-room floor plan on each floor. The roof is low-hipped, with deep overhanging eaves, and often features a large central dormer. American Foursquare homes also feature a full-width porch with wide stairs. The exterior façade may be of brick, stone, stucco, or wood siding.

Neighborhood Conservation District Application

Prairie Craftsman



Time Period of Significance: 1890 - 1940

Neighborhood Significance: Prairie Craftsman is a rare architectural style within the Elmhurst Neighborhood, but was constructed by a limited number of prominent local businessmen to showcase their stature and wealth within an early 20th Century suburban development.

Architectural Description: Prairie Craftsman architecture is predominately characterized by a low-pitched roof with wide overhanging eaves, accentuated by long, uninterrupted horizontal lines. The presence of a central chimney is also common, as is a broad, open interior floor plan. Clerestory windows, or a high wall with a band of narrow windows along the very top, are also an important design element to this style of architecture. Materials used for Prairie Craftsman structures are most commonly brick, stucco, or a mixture of both within the same structure.

Cape Cod



Time Period of Significance: 1880 - 1960

Neighborhood Significance: Cape Cod signifies the end of development of single-family homes within the Elmhurst Neighborhood. Few examples of this style of architecture exist within the Elmhurst Neighborhood boundaries, and represent the last period of infill development during the post WWI era.

Architectural Description: Cape Code homes are small and very efficient, built with a steep pitched roof with side gables, a narrow roof overhang, are typically limited to 1 or 1½ stories in height, and are typically sided in wood, shingle, or stucco. Cape Cod homes are also generally rectangular shape. The front door is typically placed at the center or, in some cases, at the side of the front façade. Use of this style during the middle of 1950s and 1960s added the feature of one, or two dormers to the upper floor, to allow for more functional upper living space.

Neighborhood Conservation District Application

Dutch Colonial Revival



Period of Significance: 1920 - 1940

Neighborhood Significance: There are several examples of Dutch Colonial Revival within the Elmhurst Neighborhood, each representing a popular style of architecture within the early part of the 20th Century.

Architectural Description: Dutch Colonial Revival homes are usually 1 ½ to 2 stories in height, with a distinguished shed, hipped, or gambrel roof, sometimes seen with flared eaves. Siding may be wood clapboard, shingle, brick, or stone. Its façade may be symmetrical, but it's common to see side entries and balanced asymmetry, often offset with a gable-end chimney. A porch may be present under the overhanging eaves, occasionally running the full width of the house. The entry may have a decorative hood with brackets or portico with classically-styled columns supporting the porch. Windows are multi-light such as six-over-one, six-over-six, or eight-over-eight.

English Tudor Cottage



Period of Significance: 1890 - 1940

Neighborhood Significance: During the time period of the development of the Elmhurst neighborhood, English Tudor was a common style of home, and was constructed within several of Topeka's earliest subdivisions. Most remaining examples of this style are currently present within Elmhurst on Garfield Street.

Architectural Description: English Tudor features combinations of half-timbered accents on its facades, casement windows, steep gables, prominent chimneys, often with decorative chimney pots, Tudor arched doorways, and is constructed of a combination of materials, consisting of brick, stone, wood, and stucco.

Neighborhood Conservation District Application

Folk Victorian



Period of Significance: 1870 - 1910

Neighborhood Significance: Smaller Folk Victorian homes are prevalent within the Elmhurst Neighborhood. Most of these homes were constructed within the Bartholomew Addition, north of SW Munson Street. A few larger Folk Victorian homes were also built within the Elmhurst Addition.

Architectural Description: Folk Victorian is a generic, vernacular Victorian style. Builders of these homes typically added spindles or Gothic windows to simple square and L-shaped buildings. Creative carpenters with the newly-invented jigsaw created detailed trim, but such details were usually added to a no-nonsense farmhouse. Folk Victorian architecture generally utilized wood siding in its construction, with detailed brackets under the eaves. Detailed spindlework was added to porches. This style also contains a low-pitched roof with a front and side gables.

Neo-Classical Revival – 1895 – 1950



Period of Significance: 1895 - 1950

Neighborhood Significance: Neo-Classical Revival is not a common architectural theme within the Elmhurst Neighborhood. The lone home exemplifying this style, however, is a grand expression of its originating history, reflecting the *classical* ideals of order and symmetry.

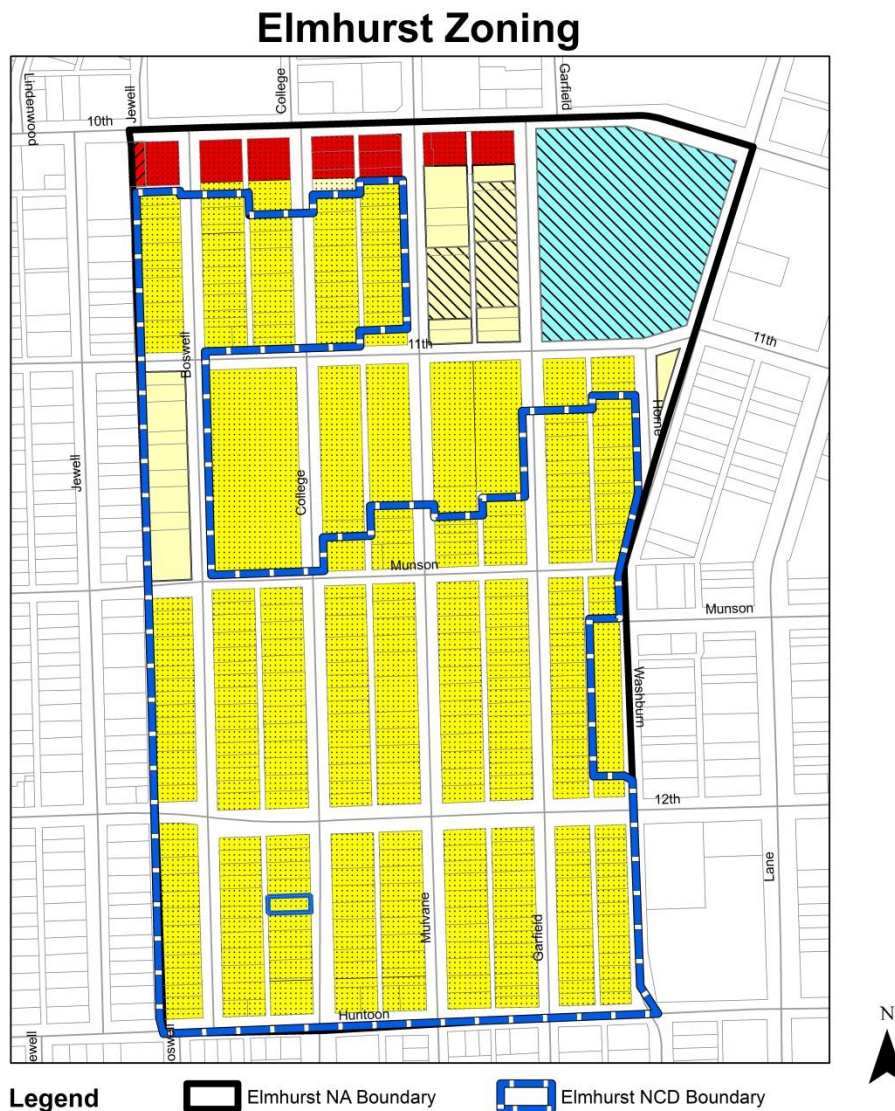
Architectural Description: Neo-Classical designs are typically one to two and one-half stories in height, with symmetrical side-gabled or hipped, medium pitched roofs. This style also presents boxed eaves with a moderate overhang, dentil molding, or a frieze band beneath the cornice. Details include decorative surrounds on doorways including pediments, sidelights, transoms. Windows were built using double hung sashes, with multiple panes of glass on the upper sash, with a single pane below. Windows also exemplified a wide variety of different configurations including paired, triple, bayed or arched. Perhaps most prominently, Neo-Classical Architecture features large balustrades or columns on the porch, often rising to the second floor of the structure.

Neighborhood Conservation District Application

MAP AND DESCRIPTION OF BOUNDARIES

The Elmhurst Neighborhood Conservation District encompasses all properties within the area bounded on the North by Southwest 10th Street, on the East by Southwest Washburn Avenue, on the South by Southwest Huntoon Street and on the West by the alley between SW Jewell and SW Boswell. However, it does exclude institutional properties presently found within these boundaries.

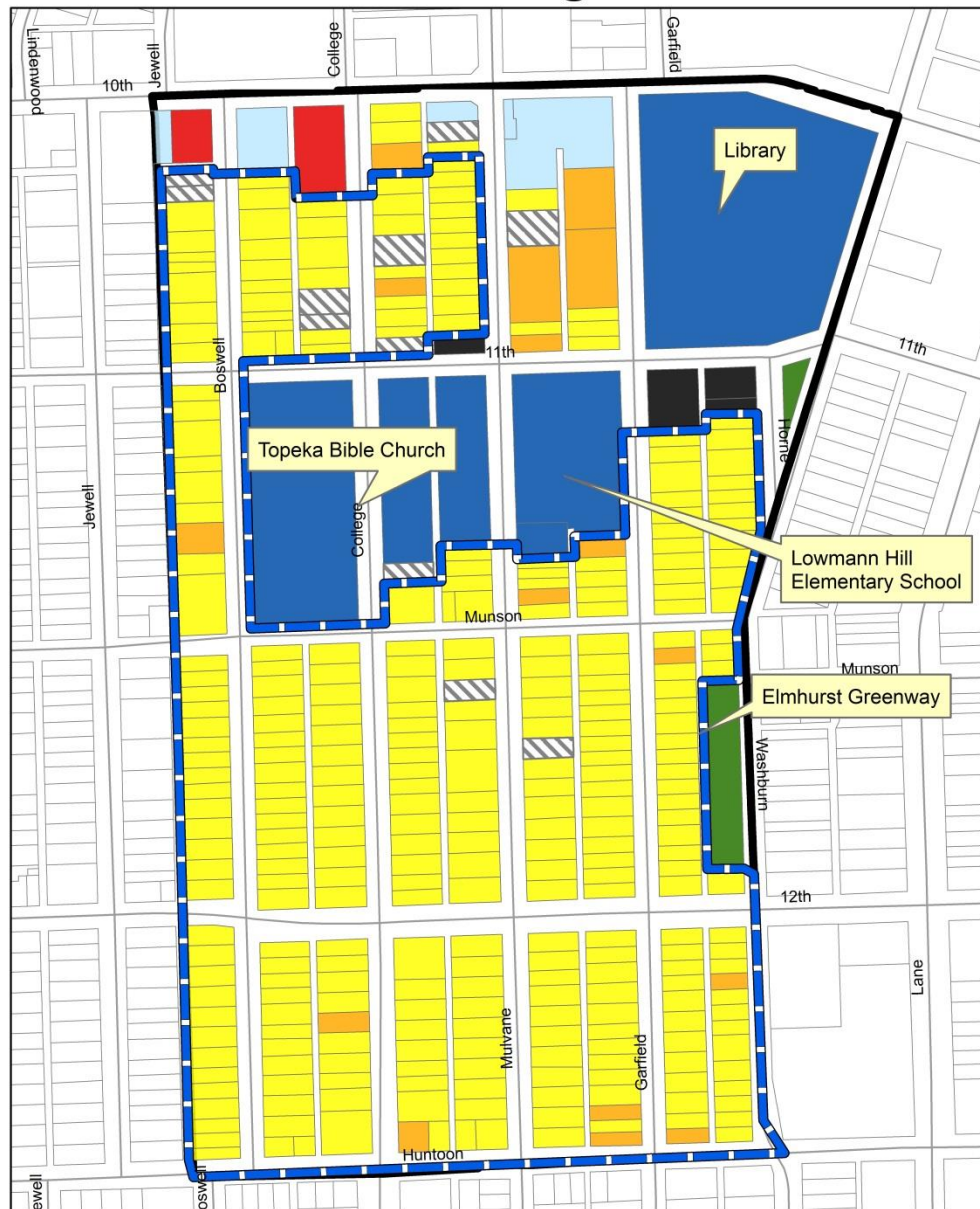
Map 1: Parcels and Zoning



Neighborhood Conservation District Application

Map 2: Existing Land Use

Elmhurst Existing Land Use



Legend



Elmhurst NA Boundary



Elmhurst NCD Boundary

LandUse

Residential - Single Family

Residential - Multi Family

Commercial

Office

Library

Lowmann Hill Elementary

Topeka Bible Church

Parking Lot

Elmhurst Greenway

Vacant



Neighborhood Conservation District Application

Map 3: Architectural Styles

Elmhurst Architectural Styles



Neighborhood Conservation District Application

Map 4: Garage Placement Character

Garage Placement Character refers to where the garage is located in relation to the primary structure. The majority of garages in Elmhurst are detached and located behind the rear face of the house.

Elmhurst Garage Placement



Legend



Elmhurst NA Boundary



Elmhurst NCD Boundary

Garage



Attached, Side



Detached, Side



None



Attached, Rear

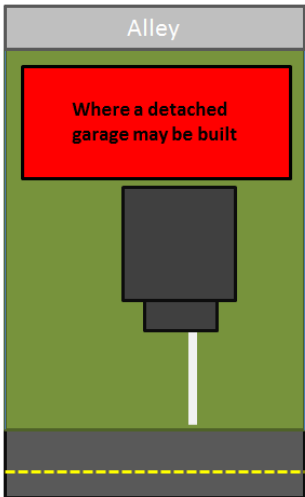


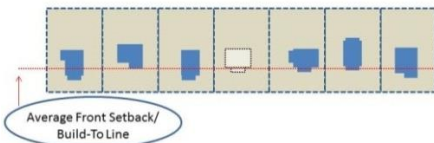
Detached, Rear



- These design standards shall be applied to residential properties only.
- They shall address both new construction and substantial additions to existing residential properties. Substantial Additions shall mean any project visible from the public street whose square footage equals or exceeds 10% of the primary structure's square footage.
- These design standards do not apply to demolitions; however, they do apply to new construction on the site.
- All lawfully existing structures and improvements made non-conforming by the City of Topeka's adoption of this document shall be considered legal non-conforming (grandfathered).

RESIDENTIAL DESIGN STANDARDS

CHARACTERISTICS AND FEATURES	THE SCOPE OF THE RESIDENTIAL DESIGN STANDARDS	CURRENT ZONING CODE REQUIREMENTS *
PRIMARY BUILDINGS	<ul style="list-style-type: none"> • The design shall reflect the character of the neighborhood. 	<ul style="list-style-type: none"> • Primary permitted use is single family residential. However, other uses may be allowed with Provisional Use or Conditional Use permits.

CHARACTERISTICS AND FEATURES	NCD DESIGN STANDARD	CURRENT ZONING CODE REQUIREMENTS* (R2)	ILLUSTRATIVE EXAMPLES APPROPRIATE/INAPPROPRIATE
ACCESSORY BUILDINGS	<ul style="list-style-type: none"> • No metal storage sheds or metal carports visible from the public street shall be permitted. • Garages shall be detached and shall be located to the rear of the primary structure. 	<ul style="list-style-type: none"> • Cumulative footprint of all accessory buildings shall not total more than 90% of the building coverage of the principal structure. • Accessory structure height: No greater than 15' when the principle building is one-story or 20' when the principle building is two-stories or more. • Detached accessory buildings rear yard setback 5' • Detached accessory buildings side yard setback 3' • Accessory structures shall not be located within a required front yard. 	
BUILDING HEIGHT	<ul style="list-style-type: none"> • All new residences shall be between 1 ½ and 2 ½ stories high. 	<ul style="list-style-type: none"> • Primary structure: 42' maximum • Accessory structure: 20' maximum 	

CHARACTERISTICS AND FEATURES	NCD DESIGN STANDARD	CURRENT ZONING REQUIREMENTS* (R2)	CODE	ILLUSTRATIVE EXAMPLES APPROPRIATE/INAPPROPRIATE
BUILDING SIZE/MASSING	<ul style="list-style-type: none"> New residences shall be of a similar size to the other houses on the block. The Floor-to-Area Ratio of a new residence shall fall between the smallest and the largest Floor-to-Area Ratio on the block, $\pm 10\%$. 	<ul style="list-style-type: none"> n/a 		
BUILDING ARCHITECTURAL STYLE AND DETAILS	<ul style="list-style-type: none"> Each new residence shall be constructed consistent with one of the architectural styles currently identified on its block, as shown in the "Architectural Styles" map. <p>Key features include (in no particular order) pitched roof, front porch, proportional front windows, architectural details, raised foundation, and comparable materials.</p> <ul style="list-style-type: none"> Substantial additions shall incorporate and shall be consistent with the architecture of the primary structure. 	<ul style="list-style-type: none"> n/a 		
BUILDING SETBACKS	<ul style="list-style-type: none"> New residences shall be built to the front setback line that is $\pm 10\%$ of the average front setback on the block. 	<ul style="list-style-type: none"> Front yard setback: 25' Side yard setback: 5' Rear yard setback: 25' Unenclosed porch, deck or stoop may encroach not more than 10' into the front or rear yard. 		
BUILDING ORIENTATION AND SITE PLANNING	<ul style="list-style-type: none"> New residences shall face the street. 	<ul style="list-style-type: none"> n/a 		
LOT SIZE	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> Minimum 5,000 square feet 		

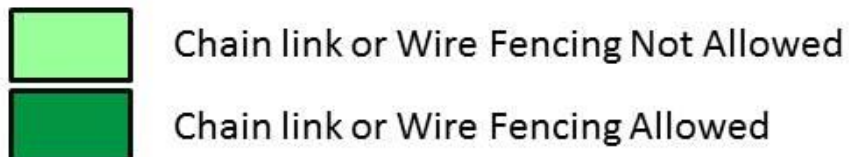
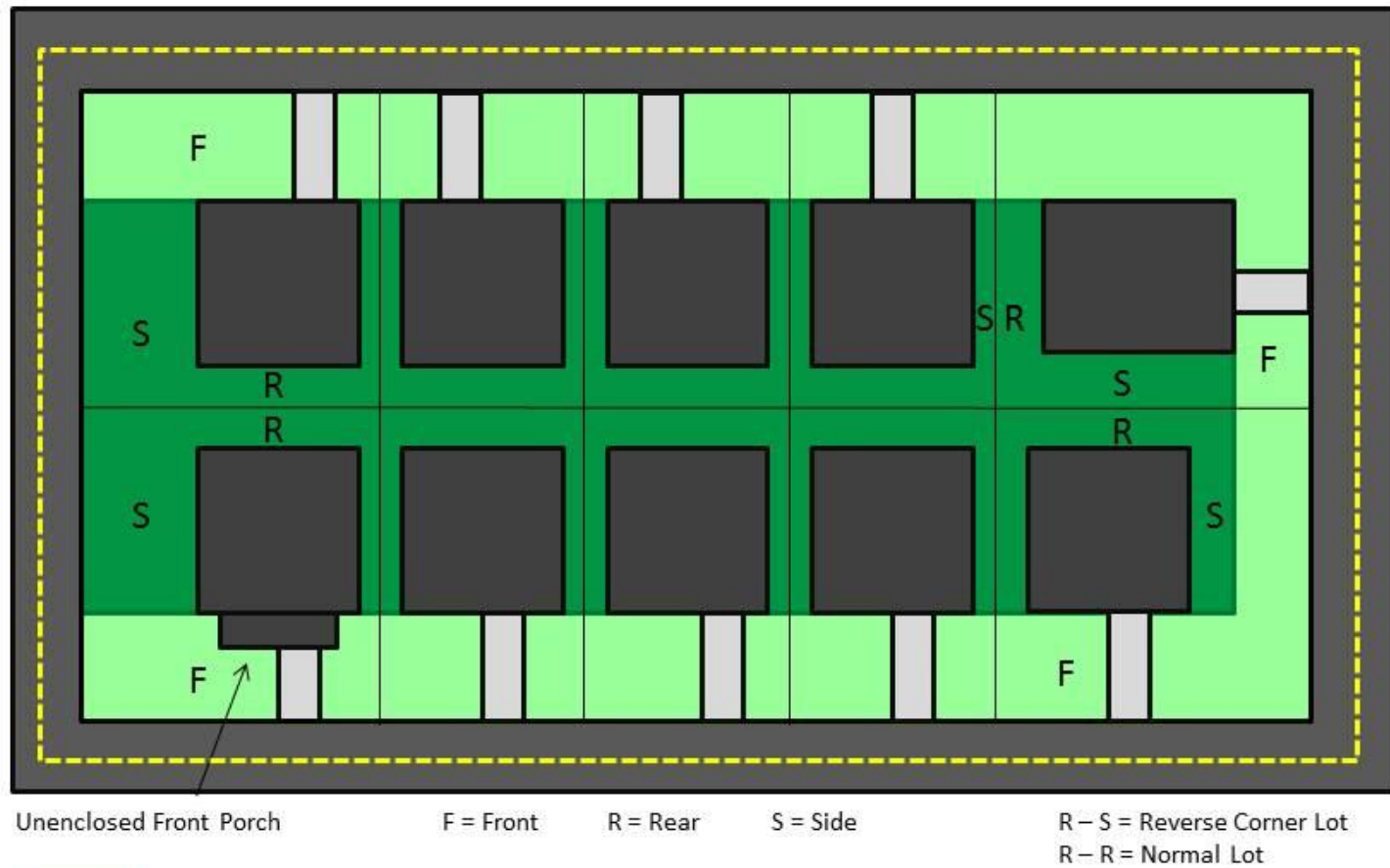
CHARACTERISTICS AND FEATURES	NCD DESIGN STANDARD	CURRENT ZONING REQUIREMENTS* (R2)	CODE	ILLUSTRATIVE EXAMPLES APPROPRIATE/INAPPROPRIATE
LOT COVERAGE	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> Buildable envelope is subject to setback limits. 		
OFF-STREET PARKING REQUIREMENTS	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> 2 spaces per dwelling unit having more than 950 square feet of floor area. 		
ROOF LINE AND PITCH	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		
PAVING, IMPERVIOUS, OR HARDSCAPE COVERAGE	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		
WINDOW OPENINGS	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		
FENCES AND WALLS	<ul style="list-style-type: none"> Chain link and other wire fences shall not be allowed in front of the front face of the residence. See Appendix A for illustration. 	<ul style="list-style-type: none"> Shall be less than 8' in height Shall not extend into public right-of-way or closer than 1' to a public sidewalk. Fences in front of the front face of the primary structure shall not exceed 4' in height. 		 

CHARACTERISTICS AND FEATURES	NCD DESIGN STANDARD	CURRENT ZONING REQUIREMENTS* (R2)	CODE	ILLUSTRATIVE EXAMPLES APPROPRIATE/INAPPROPRIATE
DRIVEWAYS, CURB CUTS, ALLEYS, AND SIDEWALKS	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		
TREE PRESERVATION	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		
PRIVATE AND PUBLIC UTILITY STRUCTURES	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> Satellite receiving devices, shall not be located in the front yard or the required side yards. 		
PUBLIC ART	<ul style="list-style-type: none"> n/a 	<ul style="list-style-type: none"> n/a 		

* These are generalized code requirements from the Topeka Municipal Code. These regulations are in addition to any NCD standards which take precedence and are more restrictive. For specific zoning regulations, please see Chapter 18 of the Topeka Municipal Code or contact the Topeka Planning Department.

Appendix A: Elmhurst NCD Fencing Requirements*

The NCD does not allow for chain link or other wire fences in the light green shaded area.



**For illustrative purposes only.
Please contact the Planning Department for
help on your specific property and question.*

CITY OF TOPEKA PLANNING DEPARTMENT

SUMMARY REPORT

Re: NCD16/1 – Elmhurst Neighborhood Conservation District

Proposal: - A Neighborhood Conservation District (NCD) is a neighborhood-initiated set of design standards to preserve historic character. This proposal adds the “Elmhurst Neighborhood Conservation District Overlay” to the existing base zoning for residential properties between SW 10th Ave to the north, SW Washburn Ave to the east, SW Huntoon St to the south, and SW Boswell Ave to the west. This will be the second NCD in Topeka after the Westboro NCD was adopted in February, 2014.

The Elmhurst NCD

The Elmhurst Neighborhood Association (NA) contacted staff in early 2014 wanting to create an NCD zoning overlay for their neighborhood to provide a level of protection from incompatible development. Staff assisted in the drafting of their preliminary NCD and attended all of the public meetings held on this case. Many of the suggested changes that the residents made at the public meetings were incorporated into final draft NCD document approved by the Elmhurst NA Board to be presented to the Planning Commission. Some of the changes made to the document after the public meetings include:

- Concern about the proposed restriction on new curb cuts—this standard was removed
- Concern about the accessory building standard that did not allow for metal sheds if they were visible from the alley or street—this standard was rewritten to only consider visibility from the street, not the alley
- Concern about the proposed standard regarding window sizes—this standard was removed

Some examples of the standards included in the final NCD draft are:

- No metal storage sheds or carports visible from the public street shall be permitted
- Each new residence or substantial addition shall be constructed consistent with one of the architectural styles currently identified on its block
- Chain link and other wire fences shall not be allowed in front of the front face of the residence

Process

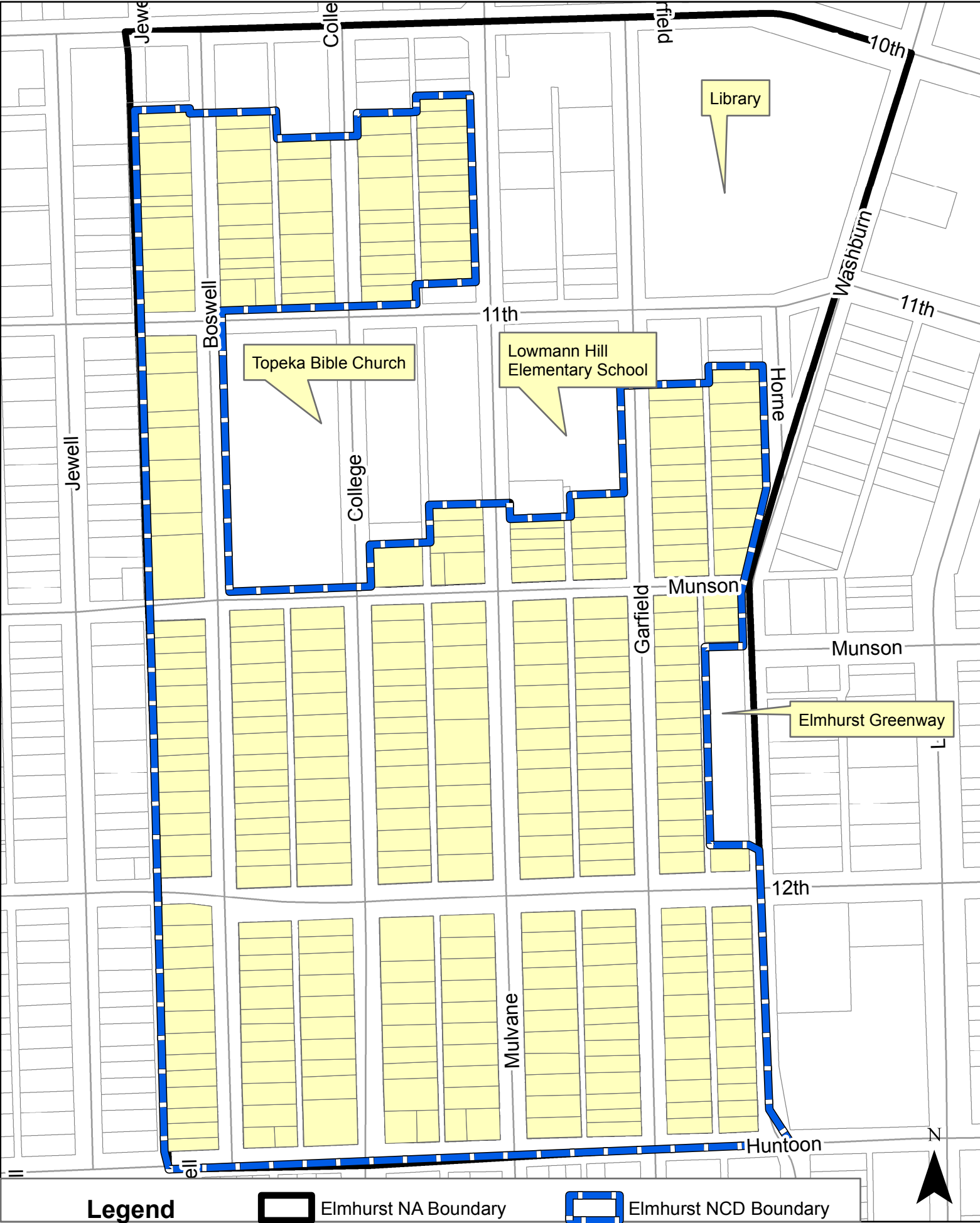
In addition to the Elmhurst NA’s regularly held meetings, there were two public meetings held before the Planning Commission initiated this zoning case, a Neighborhood Information Meeting, and a Public Hearing held by the Planning Commission. City staff mailed notices to all registered property owners within this district for all four of these public comment meetings.

Recommendation

The Topeka Planning Commission met to hold the Public Hearing on the Elmhurst Neighborhood Conservation District on May 17th, 2016. The Planning Commission voted unanimously to recommend **APPROVAL** of the Elmhurst Neighborhood Conservation District

Staff recommends **APPROVAL** of the Elmhurst Neighborhood Conservation District.

Elmhurst Neighborhood Conservation District



**STAFF REPORT – ZONING CASE
TOPEKA PLANNING DEPARTMENT**

PLANNING COMMISSION DATE: May 18, 2016

APPLICATION INFORMATION

APPLICATION CASE NO:	NCD 16/1 – Elmhurst Neighborhood Conservation District
REQUESTED ACTION / CURRENT ZONING:	Apply an overlay zoning district over properties as described in the attached map within the Elmhurst Neighborhood.
APPLICANT / PROPERTY OWNER:	Elmhurst Neighborhood Association
APPLICANT REPRESENTATIVE:	Marc Galbraith
PROPERTY LOCATION / PARCEL ID:	320 properties within the Elmhurst Neighborhood
PARCEL SIZE:	40.3 total acres
STAFF PLANNER:	Hanzlik/Warner

PROJECT AND SITE INFORMATION

PROPOSED USE / SUMMARY: Amend the District Zoning Classification by the addition of a Neighborhood Conservation District Zoning overlay for the Elmhurst neighborhood for properties roughly bounded by SW 10th St to the north, the alley between SW Boswell Ave. and SW Jewell Ave. to the west, SW Huntoon Ave. to the south, and SW Washburn Ave to the east, excluding the commercial properties along SW 10th St, the Library, the Topeka Bible Church campus, Lowman Hill Elementary School, the Elmhurst Green Park, and the 1000 block located between SW Mulvane Ave. and SW Garfield Ave, all located in the City of Topeka, Kansas

DEVELOPMENT / CASE HISTORY: In May of 2013, the Topeka City Council passed Ordinance #19815 enabling Neighborhood Conservation Districts (**NCDs**.) This ordinance set out the requirements for the application, content, and process for interested parties to request an NCD for their area. The Westboro Homeowners Association became the first adopted NCD in Topeka, with their zoning overlay district approved by the Governing Body in January of 2014. Shortly after that, the Elmhurst Neighborhood Association requested assistance in writing their NCD application before submitting it to the Planning Commission for initiation.

Staff met with the Elmhurst NA NCD committee members several times before meeting with the Elmhurst neighborhood. The Board brought forward their ideas for design guidelines and staff worked

through the concepts to make sure the proposed design guidelines accurately represented Elmhurst and the requirements of the enabling ordinance. Staff was present at two neighborhood meetings to answer any technical questions regarding the design guidelines. The Elmhurst NA made it clear to the residents that the Elmhurst NCD process was initiated on the request of the HOA.

On February 15th, 2016, the Topeka Planning Commission approved a motion to initiate the Elmhurst NCD and send it to the Planning Department for further study, recommendation, and public hearing in accordance with the provisions of City of Topeka Code Sec. 18.245.020.

**ZONING AND CHARACTER OF
SURROUNDING PROPERTIES:**

To the north of the Elmhurst neighborhood is the Medical District and Topeka Shawnee County Public Library. To the east, south, and west, the neighborhood is surrounded by other low-density single family residential developments. SW 10th Avenue serves as a commercial corridor to the north and the old Dillon's grocery store provides the opportunity for a commercial node to the southeast.

COMPLIANCE WITH DEVELOPMENT STANDARDS AND POLICIES

BUILDING SETBACKS AND OTHER DIMENSIONAL STANDARDS:	Not applicable.
OFF-STREET PARKING:	Not applicable.
LANDSCAPING:	Not applicable.
OTHER DESIGN GUIDELINES AND CONSIDERATIONS:	Not applicable.
TRANSPORTATION/MTPO PLANS:	Not applicable.

OTHER FACTORS

SUBDIVISION PLAT:	Existing lots of record as parts of the following subdivisions: Stilson & Bartholomew, Brooks Addition, John Norton's Addition, and Elmhurst.
FLOOD HAZARDS, STREAM BUFFERS:	Not applicable.
UTILITIES:	Not applicable as no new development is proposed.

TRANSPORTATION/TRAFFIC:	Not applicable as no new development is proposed.
HISTORIC PROPERTIES:	121 SW College Avenue is listed as a Local Landmark on the City of Topeka's Local Landmark registry.
NEIGHBORHOOD INFORMATION MEETING:	The Neighborhood Information Meeting was held on March 16, 2016 at the Topeka & Shawnee County Public Library. Sixteen residents and Neighborhood Association members were in attendance. Planning staff assisted in presenting the details of the NCD standards. Questions raised included how this will affect new construction, how permits will be processed if the NCD is approved, "grandfathering" of existing structures and permits, enforcement of the NCD standards, impact on property taxes, the district boundary, and the overall goals that the Neighborhood Association is looking to achieve by the adoption of this document.

REVIEW COMMENTS BY CITY DEPARTMENTS AND EXTERNAL AGENCIES

PUBLIC WORKS/ENGINEERING:	Not applicable.
WATER POLLUTION CONTROL:	Not applicable.
FIRE:	Not applicable.
DEVELOPMENT SERVICES:	Not applicable.
Other:	Not applicable.

KEY DATES

SUBMITTAL:	December 1, 2015
PLANNING COMMISSION INITIATION:	January 25, 2016
NEIGHBORHOOD INFORMATION MEETING:	March 16, 2016
LEGAL NOTICE PUBLICATION:	April 25, 2016
PROPERTY OWNER NOTICE MAILED:	April 22, 2016

STAFF ANALYSIS

CHARACTER OF NEIGHBORHOOD:

Location and Setting: The Elmhurst neighborhood is located in the central portion of the City of Topeka, approximately 1 mile from the Capitol building and the Central Business District. The Elmhurst neighborhood itself is bounded by SW 10th Ave to the north, SW Washburn Ave to the east, SW Huntoon St to the south, and SW Boswell Ave to the west. The area proposed for NCD designation encompasses much of the same area, with the exclusion of commercial properties along SW 10th Ave, parking lots, and institutional uses in the exterior of the neighborhood (The Topeka & Shawnee County Public Library, Topeka Bible Church and Lowman Hill Elementary.) The neighborhood itself encompasses a total area of about 58 acres, the majority of which is used for single-family purposes (92.8% of the properties included in the NCD).

Nearby attractions and institutions include the Topeka & Shawnee County Public Library, Topeka Bible Church and Lowman Hill Elementary and the Medical District is located just to the north of Elmhurst.

History & Character: Elmhurst was advertised in the Daily Capital as Topeka's newest housing addition, with proximity to Lowman Hill School being promoted as a key amenity. Elm trees would line the streets, there would be two street car lines, and it would be the first development where all the homes would be served by a new gas main and a new water main.

Homes were advertised as all having a standard lot size of 50' x 125' with 35' setbacks. Houses include various styles of Bungalows, American Foursquare, English Cottage, Prairie Craftsman, Cape Cod, Dutch Colonial Revival, English Tudor Cottage, Folk Victorian, and Neo-Classical Revival. In its NCD application Neighborhood describes the housing as "homogenous," reflecting middle class tastes from the 1910's. It also notes that the neighborhood blends the various styles well and that it has seen a change in attitudes of people who were looking for "classic, charming, and historic" housing, like that which can be found in Elmhurst.

Though originally designed for single family housing, Elmhurst was "up-zoned" by 1956 to a multi-family designation. This allowed for the conversion of existing, older homes into multi-unit complexes. The Elmhurst Neighborhood Association was formed in the 1980's and in 1996 they requested that the Topeka-Shawnee County Planning Commission down-zone the neighborhood back to single-family residential. Not only did this effort result in the ultimate downzoning of the neighborhood, it also produced the 2001 Elmhurst Neighborhood Plan.

Existing Conditions: According to the 2014 Neighborhood Health Map, the Elmhurst neighborhood falls into two health categories—"Out Patient" south of SW 11th St and "At Risk" to the north of this street. "Out Patient" blocks tend to have more positive instances of the categories measured in the Health Maps: low instance of poverty, low crimes, high average residential property values, high percentage of owner-occupied homes, and a low number of boarded up houses. One thing to note is that the "At Risk" block group includes commercial areas, the Library, and extends north beyond the Elmhurst boundary. These blocks, too, contribute to the overall "At Risk" rating for this block group, not just the four blocks that are within the Elmhurst boundary. In all, a total of 320 properties with a total size of 40.3 acres are being considered for the NCD overlay in this proposal. Of these, 314 are currently being used for a residential use; 6 are vacant.

In the Elmhurst NCD, the overwhelming majority of parcels are currently being used as single-family residences. Of 320 parcels, 8 are vacant. The rest are all low-density residential housing. Lot sizes range from 0.05 to 0.42 acres and home values range from \$7,000 to \$173,000.

SUITABILITY OF PROPERTY FOR USES TO WHICH IT HAS BEEN RESTRICTED:

The Elmhurst neighborhood was originally platted as a low-density, residential neighborhood in 1909. It maintained this overall character of single-family homes over the last 107 years, despite spending a couple of decades being up-zoned to allow for multi-family housing. This neighborhood is surrounded by residential uses on three sides, with the fourth

side containing a mix of commercial, institutional and medical district uses. Some neighborhood institutional uses, such as the Topeka Bible Church and Lowman Hill Elementary school, are located in the interior of the neighborhood itself.

LENGTH OF TIME PROPERTY HAS REMAINED VACANT AS ZONED OR USED FOR ITS CURRENT USE UNDER PRESENT CLASSIFICATION:

The residential zoning of Elmhurst has not changed since it was originally platted in 1909, although multi-family use was permitted and even encouraged for a while. The subject properties are predominantly single-family in character and have remained as such since the original development of the neighborhood.

CONFORMANCE TO COMPREHENSIVE PLAN:

The Planning Commission recently recommended approval of the Historic Preservation Plan. In this, numerous strategies and policies are identified for protecting Topeka's greatest asset—its neighborhoods. In fact, *Special Places Recommendation* 5.3 calls for using neighborhood conservation districts as a means for neighborhoods to guide change in a manner that supports and enhances neighborhood character, (pg 5-4).

The Neighborhood Element of the *Topeka Comprehensive Plan* identifies 5 “vital signs” that indicate the overall “health” of a neighborhood and then continues the “patient” metaphor throughout the document. Many of the goals and policies listed here highlight the importance of supporting the healthy neighborhoods, such as Elmhurst. For example, Policy 2.2 states that “...revitalization strategies should augment protection strategies for *At Risk* neighborhoods,” (pg 27). Action steps in this document that support the NCD concept include: 1) support for “traditional neighborhood design” principles; and, 2) develop, adopt, and enforce appropriate design guidelines for neighborhoods or image areas;

The proposed NCD supports both the preservation of the historic assets of Elmhurst and publicly recognizes this historic neighborhood as a source of community pride.

THE EXTENT TO WHICH REMOVAL OF THE RESTRICTIONS WILL DETRIMENTALLY AFFECT NEARBY PROPERTIES:

The NCD is a zoning overlay district. The base zoning districts—R-2, HL-R2, or M-2 depending on the particular parcel—will remain in place with the adoption of the NCD. As such, present restrictions are not being removed; rather, more restrictive regulations are being added. Therefore, there are no detrimental effects of removing the present restrictions.

THE RELATIVE GAIN TO THE PUBLIC HEALTH, SAFETY AND WELFARE BY THE DESTRUCTION OF THE VALUE OF THE OWNER'S PROPERTY AS COMPARED TO THE HARDSHIP IMPOSED UPON THE INDIVIDUAL LANDOWNER:

The integrity of the neighborhood's single-family residential character has been largely preserved since its original platting in 1909. The historic nature of the neighborhood is a feature respected and enjoyed by current property owners who spoke at the public meetings describing the history of their home in Elmhurst. As the Neighborhood's application describes, they have seen more interest in people wanting to move to Elmhurst because of the historic nature. Adoption of the Elmhurst NCD would provide property owners additional stability and confidence in the neighborhood when making investments to improve their properties.

These design guidelines describe current characteristics predominant in the neighborhood that should be preserved (e.g. setbacks, architectural styles). Some of the design guidelines look at what elements may detract from the neighborhood should they become widespread, and regulates against them (e.g. chain link fences). The design guidelines only apply to new construction or substantial additions of existing structures (projects visible from the public street whose square footage equals or exceeds 10% of the primary structure's square footage.)

The increased stability and assurance provided to homeowners by the Elmhurst NCD are a gain to the community's health, safety, and welfare. This will ensure that new development and significant property investment is compatible with the current character of the neighborhood. Any hardship placed on individual landowners by the restrictions of the design guidelines is balanced by the protection and preservation of Elmhurst's character and property values to the benefit of all property owners.

AVAILABILITY OF PUBLIC SERVICES: Not applicable as no new development is being proposed.

COMPLIANCE WITH ZONING AND SUBDIVISION REGULATIONS:

The Neighborhood Conservation District ordinance is part of the Zoning Code. The proposed Elmhurst NCD fulfills all of the requirements set forth in the ordinance, from the contents of the application to the design guidelines to conformance with the Comprehensive Plan. Additionally, as Elmhurst is a platted subdivision, this proposal is compliant with the City's subdivision regulations.

Of the 8 design guideline categories selected to be included in the Elmhurst NCD, 5 are currently addressed in the "R-2," "HL-R2," or "M-1" District zoning. These include: Primary Buildings; Accessory Buildings; Building Height; Building Setbacks; and Fences and Walls. Any construction that falls within these five categories would be subject to both the base zoning and "NCD-2" regulations. The remaining 3 design guideline categories are not currently addressed in the base zoning regulations, but are compliant with the NCD zoning regulations.

All lawfully existing structures and improvements made non-conforming by the adoption of the Elmhurst NCD would be able to continue pursuant to Sec. 18.50.040 and Sec. 18.230.020 of the Zoning Regulations. New construction or substantial additions created after the adoption of the NCD would need to conform to either "R-2/NCD-2," "HL-R2/NCD-2," or "M-1/NCD-2" zoning regulations, depending on the base zoning of the particular parcel.

STAFF RECOMMENDATION:

Based upon the above findings and analysis Planning Staff recommends APPROVAL of this proposal.

Attachments: Elmhurst Neighborhood Conservation District Document

December 2, 2015

Bill Fiander
Topeka Planning Department, Director
620 SE Madison
Topeka, KS 66607

Dear Mr. Fiander,

I am writing on behalf of the Elmhurst Neighborhood Association to request that the Topeka Planning Commission initiate the process which we hope will lead to the creation of a neighborhood conservation district for the Elmhurst neighborhood.

For more than two years now, the Elmhurst Neighborhood Association has carefully considers the merits of an NCD as it might apply to the Elmhurst neighborhood. We have concluded that the design standards included in our NCD plan will significantly strengthen our efforts to preserve the historic character of our neighborhood.

On November 17, 2015 the neighborhood association board voted unanimously to approve the NCD plan which we recently sent to Susan Hanzlik as part of our application packet.

We greatly appreciate the professional help provided by Susan and other members of your staff.

Sincerely,

A handwritten signature in black ink, appearing to read "Marc Galbraith", written in a cursive style.

Marc Galbraith
Elmhurst Neighborhood Association, President
1230 College
Topeka, KS 66604

Elmhurst Neighborhood Conservation District Meeting – July 28, 2015

Marc Galbraith, NA President, welcomed attendees and expressed two main points of the plan

- Only concerns new construction & substantial additions
- There is no cost/tax involved

Elmhurst is a historic neighborhood with high quality craftsmanship worth preserving. Marc would like to see new construction in Elmhurst

Susan Hanslik, City Planning Dept. Plan is a city approved option and is neighborhood driven. Existing structures will be grandfathered in. Susan explained process, and proposed design standards.

During Susan's presentation:

John Lyle (1161 Mulvane) – questions regarding window size and shape not being altered, keeping the consistency, installing stain glass windows

Cathy Cathey (1191 College) – Built an upper deck. Currently they just access it through a window. Eventually they would like to put in a door. Will they be allowed to?

John Lyle (1161 Mulvane) – Will there be an appeals process? He has concerns with hard fast rules.

Susan – Yes, an appeal process to the board of zoning appeals

Don Cathey (1191 College) – no new curb cuts, concerned with curbside parking, the neighborhood is no longer functional for today's families with multiple cars.

L.J. Polly – Expressed to the group that the board is looking for the soft spots in the plan – nothing is final and that they are looking for revisions.

Don Cathey (1191 College) – also concerned with window restrictions

Lonnie Nesvarba (1156 Boswell) – What about handicap needs?

Beatrice Wilkerson (1221 SW Mulvane) – Questions about type of windows allowed

John Lyle (1161 Mulvane) – Concerned with curb cuts. He would like to expand a drive to a two car. Asked the board to consider this.

Phil Johnson spoke about the neighborhood's next meeting on August 10th. He thanked all for attending and expressed his support to the board in moving forward with a plan.

Open for Questions/Comments

Rachel Moeller (1235 Boswell) – attending to learn about the proposal

Deb Southerland (1227 College) – thankful to the board and thinks it is wonderful

Don & Cathy Cathey (1191 College) – Concerned that it will work like we hope it to. Doesn't like being told what we can do with our properties. Made the point that to build a new home in Elmhurst of quality would be too costly. Average new build/replace cost approx \$180k. Who would do that?

Marc G. – The plan is to help protect against less costly/poor quality structures being erected in Elmhurst

Don Cathey – Mentioned habitat homes at 12th & Lane

L.J. – It will be a block by block issue with new homes being similar in size as those nearby

Don Cathey – questioned size and mass of structures

Susan - +/- 10% The neighborhood has varied lot sizes

Marc – mentioned habitat homes again to readdress Don Cathey's question

Susan – new construction homes have to be 1 of the 20 architectural styles listed

Cathy Cathey (1191 College) - suggests curb cut guidelines be block by block as some have many driveways

Don Cathey – suggests addressing the style of window rather than the size. The large windows in our homes are hard to find and can't be purchased at Lowes. Windows should be proportional.

Lloyd & Alice Huyett (1170 College) – Asked what the min. size lot to build is. If a tornado destroyed their home, would they be able to rebuild as they have a small lot.

Bill with the city - Yes, you could rebuild. Original lots were 25 x 100. There is now a 50 foot minimum, but this is only for new subdivisions.

Lloyd Huyett – mentioned Phil Johnson and the board act as if they feel threatened.

Phil – said yes, because he and the board are scared of what could be constructed in our neighborhood if a plan isn't put in place.

Kim – has seen other neighborhoods experience troubles and Elmhurst is trying to prevent that

Lonnie Nesvarba (1156 Boswell) – Asked if someone could be exempt.

Susan – No, no spot zoning

Lonnie – Wants to put up a metal shed but plan says no. He doesn't want to have to go to the board for all things. If someone is against something, what should they do?

Several in the group said – speak up

Kim – Asked that specifics be given to the board. The board wants to meet the majority of the neighbor's concerns

Cathy Cathey (1191 College) – Will there be a vote?

L.J. – The board makes the decision

Susan? – Official protests can be made to planning and zoning

Marc – We are here tonight to hear your concerns

L.J. – clarified no metal carports not all carports

Phil – decision will be what's best for the entire neighborhood

John Lyle (1161 Mulvane) – Agrees with many of the items on the plan. Big on preserving homes. Offers to share his time and be part of the solution. His concerns are: 1) New homes shall be similar in size +/- 10% of other homes, but what about additions? 2) Window size – suggests allowing an appeal process. 3) Curb cuts – he would like to see more cars off the streets.

Cathy Cathey (1191 College) – Wants a driveway someday, costly to maintain these 100 year old homes. Can only do a little at a time. Please don't make it impossible for folks to maintain their properties.

Don Cathey – City development. What brings people to Elmhurst? Don't be too strict or narrow with the plan

Mark Finley (address ?)– Asked what curb cuts were.

Huyett (1170 College) – About curb appeal. What about having restrictions for fronts of homes only?

Marge Ahrens – Asked about carports and sheds

Susan – the plan is written as no metal sheds, no metal carports. Visible from street and alleys.

Marc – plan covers all windows, not just those on the front of the house

Beatrice Wilkerson (1221 Mulvane) – Elmhurst neighbors are a special breed. It's hard to attract folks to our neighborhood because it takes a special person to appreciate what we have and maintain it. These homes are hard to maintain. Her home has 31 windows! Received applause.

Kim – The plan says Front Façade to match architectural style

Phil – The plan has two separate bullets – this may be an error needing correction

Alice Huyett (1170 College) – More comments about windows. Too expensive to custom order.

Marc – mentioned the window restrictions probably needs to be reworded

L.J. – Anyone who comments tonight will be heard

Lonnie Nesvarba (1156 Boswell) – The plan has to pass City Council right?

Susan – The timeframe is up to the board. It will be approved 1st with the planning commission, then to city council

Don Cathey (1191 College) – Questioned garage location to the rear.

Susan – must be set back from the house. Door direction was not addressed by the board.

Lonnie Nesvarba (1156 Boswell) – When will the final draft be made?

Susan – whenever the planning commission approves.

L.J. – mentioned that information will be mailed to property owners not renters

Marc – appreciates all who participated tonight. The board meets regularly every 2nd Wednesday of the month.

National night out - August 8th, 6-8 pm

Next meeting – August 10th

Elmhurst Neighborhood Conservation District Meeting Notes 8/10/15

Phil Johnson (1156 Mulvane) asked about illegal improvements – those who built something on their property without a permit.

Susan Hanslik mentioned you need a permit for buildings greater than 150 sq. feet.

Marc G. mentioned that nobody was going to be out looking for structures built illegally.

Owen Fall (1181 College) asked if window design was considered new construction. Susan answered Yes, if it requires a permit. *That may not have been the exact question, Sandy*

Jim Woods (1195 Mulvane) commented he was amazed at how much the neighborhood hasn't changed and he would like to keep it that way.

Steve Good (1167 Mulvane) shared that he had contacted Cromwell Solar about installing solar panels on his home. Solar panels would definitely change the architectural details of the house and they would be visible from the public right-of-way. He asked if the restrictions would prevent him from having this done.

Marc G. said the board would consider this as it was not addressed in the plan.

Steve also commented again on the points John Lyle brought up in our last meeting regarding windows.

Lloyd Hewitt (1170 College) The plan prevents us from doing a lot of things and that would hurt him. Stated changes need to be made to fit today's world. In general, he is not in favor of the plan.

Marge Ahrens (1238 Mulvane) The plan is about preventing the potential eye sores. They saw what happened in Westboro which upset many neighbors. For example: 1) One neighbor filled their entire yard with rock. 2) Another neighbor built a large Morton style carport and parked a huge RV in the drive. Westboro neighbors thought these eye sores would lower their property values.

Steve Good (1176 Mulvane) Mentioned a neighbor had redone the siding of their house with a foam stucco and it looks great.

Marc G. said materials were not addressed in the plan

Jim Woods (1195 Mulvane) Jim has looked for examples of home since our last meeting. He showed the group a photo of a house that completely covered up a second story window. Windows have a large part in the character of a house.

Owen Fall (1181 College) Suggested curb cut restrictions be regulated by blocks not the neighborhood as a whole.

Susan Hanslik stated it can be done by block as many items in the plan are already by blocks

Owen Fall (1181 College) Shared his opinion that the board should focus on other things like code compliance rather than restrictions.

Marc G. explained that the board has been working a lot with code compliance issues

Judy Fall (1181 College) Shared that they plan to remodel their kitchen someday. Their kitchen is in the front of the house and they will want to change the size of the windows to accommodate kitchen cabinets.

Don Cathey (1191 College) Asked to define setbacks.

Dan Warner explained they are from the edge of the right-of-way (your side of the sidewalk) Accessory structures have different setback regulations. R1 & R2 zoning difference – R2 is a smaller lot (5,000 sq. feet)

Bebo Lowery (1172 College) Not in favor of more regulations, however is concerned with what some folks will do and says a plan should be in place.

Elaine Sherrick (1216 College) Concerns will be addressed by the board and we will be in a good place to move forward with a plan most will agree on.

Don Cathey (1191 College) Topeka Bible Church did a great job blending old with the new on their addition.

Public Meeting on the Elmhurst Neighborhood Association's Neighborhood Conservation District (NCD) Plan.

16 Mar 2016 at 6:30 pm

Meeting opened by Marc Galbraith, Elmhurst Neighborhood Association president. Marc gave a brief overview of Topeka's implementation of the neighborhood conservation district concept. Marc also said that two years ago the Elmhurst Neighborhood Association began a process leading up to an NCD plan. The Elmhurst Neighborhood Association held 2 neighborhood meetings gathering comments and suggestions from owners. Much of what was suggested by Elmhurst residents was incorporated into the plan. The completed plan was voted on by ENA board and presented to Planning Commission. This meeting is an official public meeting of the Elmhurst NCD plan to the property owners as called for by the ordinance and the Topeka Planning Commission.

Susan Hanzlik, Topeka Planning Department, provided an overview of the Elmhurst NCD. Susan explained that all existing zoning laws remain in place. NCD design guidelines act as an overlay and help ensure new construction reflects neighborhood character.

Applies to new construction or substantial additions visible from the public street

Zoning covers land use. NCD covers design.

Susan showed inventory of architectural styles and location of garages. Eight architectural styles identified in Elmhurst.

Design Elements – 18 available, Elmhurst chose 8.

NCD applies only to residential, not commercial or demolitions. All existing structures are grandfathered.

Susan covered each of the 8 elements, describing key elements and guidance that will be used by Planning.

What's next?

Currently is a Planning Commission Case.

There will be a public hearing @ Planning Commission. If approved by Planning, it will go to City Council for final approval.

The meeting was then opened for questions and comments.

Questions/Comments from attendees:

1. Q: (Lonnie Nesuarba) I am completely against more rules. What happens if tornado destroys Elmhurst?

A: New construction would have to be rebuilt consistent with NCD but not identical to what was lost.

2. Q: (Lonnie Nesuarba) Can I donate my home to a care facility?

A: NCD does not apply to "who" lives in home.

3. Q: (Mark J. Gibbs) I want to build a two car garaged and the NCD apparently would not allow that. Is that correct?

A: If the garage is located in back of the house it would be allowed, but it would have to be evaluated based on design.

4. Q: (Mark J. Gibbs) Is there another level of bureaucracy that will go around saying this doesn't fit the NCD?

A: No, the permit process is the same and ultimately the decision rests with the city.

5. Q: (Mark J. Gibbs) How can I get around the NCD ruling?

A: Can go to Board of Zoning Appeal.

6. Q: If passed, is there more oversight on existing property?

A: No. NCD only applies to new or substantial additions.

6. Q: (Mark J. Gibbs) What were issues with Westborough NCD?

A: More concerned with accessory buildings and fencing.

7. Q: (Joe Ybarra) Is there a specific date for grandfathering?

A: Anything in process (has a building permit) when Elmhurst NCD ordinance is published.

8. Q: (Don Cathey) What is process for building permit? How does the city know the new building permit is for a property in Elmhurst?

A: Building Services passes permit request to interested departments. If NCD is in place, permit request will be routed to Planning for review.

9. Q: (Mark J. Gibbs) Does a building need to be completed or just started to be grandfathered in?

A: As long as a building permit has been issued, it is okay.

10. Q: (Jim Woods) Who polices violation?

A: Enforced by Zoning Inspector.

11. Q: (Jan Pette) If existing grandfathered fence gets destroyed, can it be replaced?

A: Planning will need to research.

12. Q: (Jim Woods) Any other neighborhoods researching establishing a NCD?

A: No.

13. Q: (Lonnie Nesuarba) What are rules for public comment at Planning hearing?

A: Limit to 4 min. Can bring others to the meeting.

14. Q: (Joe Ybarra) Any impact on taxes?

A: No.

15. Q: (Don Cathey) Has there been consideration of a buffer around the NCD? In other words, if your house is no longer there and if other blocks have smaller houses can you use that design in a block full of bigger houses.

A: Probably not as the NCD is written so that new construction would have to look something like one of the other properties on the same block.

16. Q: (LJ Polly) What is considered a "block"?

A: The facing block – alley to alley. Not street to street.

17. Q: (Joe Yabarra) Is there an angle to “visible from the street”?

A: It is probably a judgment call but will not be measuring inch for inch or at a certain angle.

18. Q: (Lonnie Nesuarba) Why is ENA doing this?

A: Want to protect and preserve historic character of neighborhood.

19. Q: (Don Cathey) If natural disaster, what are back out options?

A: NCD could be rezoned out of the NCD, if that is preferred and appropriate.

20. Q: (Lonnie Nesuarba) How does City Council feel about this?

A: Can’t speak for City Council.

Property owners were reminded that they will get another notice of the Planning Commission public hearing but will not receive notice of the City Council meeting should the NCD be approved by Planning. If you want to speak at the City Council, you would have to monitor the City Council agenda and sign up if you want to speak.

Meeting adjourned.

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Topeka Planning Commission
Wednesday, February 15, 2016**

- 1) Elmhurst Neighborhood Conservation District (NCD)** Elmhurst N.A. is requesting the initiation of a Neighborhood Conservation District Zoning overlay for the properties roughly bounded by SW 10th St to the north, the alley between SW Boswell Ave. and SW Jewell Ave. to the west, SW Huntoon Ave. to the south, and SW Washburn Ave to the east, excluding the commercial properties along SW 10th St, the Library, the Topeka Bible Church campus, Lowman Hill Elementary School, the Elmhurst Greenway Park, and the 1000 block located between SW Mulvane Ave. and SW Garfield Ave. **(Hanzlik)**

Ms. Hanzlik reviewed the Elmhurst NCD, explaining that Elmhurst is the second neighborhood to seek this zoning overlay. Westboro was the first neighborhood to do so. She stated that the zoning overlay standards are administered and enforced by the Topeka Planning Department, with the design guidelines within the document reflecting the existing character of the neighborhood. The guidelines are written by neighborhood representatives and approved by the relevant Neighborhood Association, thus they reflect the concerns of the neighborhood property owners.

Upon Ms. Hanzlik's review of the proposal, Mr. Gales called for questions from Planning Commissioners.

Mr. Haugh asked about the wording of the fence portion of the regulations. Mr. Fiander stated that the verbiage will be reviewed to assure clarity.

Mr. Gales inquired regarding document's dealing with the styles of homes that are allowed to be built in the district and what someone's options might be if they wanted to build a different style of home. Mr. Fiander stated that additional detail may need to be added. Ms. Hanzlik stated that she had worked closely with neighborhood property owners to design the guidelines, and it was quite important to them that the neighborhood maintain the historic period goal.

Mark Galbraith of 1230 College, president of the Elmhurst Neighborhood Association (NA), came forward to speak as representative for the NA. He stated that the NA is grateful to City Council for making the NCD option available to Elmhurst and other older, historic neighborhoods in Topeka because they feel there is value in the historic character of some of our older neighborhoods. The NCD gives neighborhoods a tool to help preserve that historic character.

Mr. Galbraith relayed some of the history of the neighborhood, stating it was developed in 1909 (the first year houses were made available) and though they're a fairly small neighborhood of around 400 homes, there is a wide variety of architectural styles. He stated there are a number of vacant properties and the neighborhood is somewhat concerned about the style of homes that might be built that could negatively impact the historic character of the neighborhood.

**Minutes of the
Topeka Planning Commission
Wednesday, February 15, 2016**

Mr. Galbraith shared that the NA has been working on the NCD plan for approximately two years. They got a lot of public input from the two neighborhood meetings required for NCD status, and they believe they were able to incorporate almost all the recommendations that came out of the meetings, making it a much better plan because of the process.

Ms. Ringler asked if there were any major items that came out of the neighborhood meetings that the neighborhood was unable to come to a compromise on. Mr. Galbraith stated he couldn't think of anything. He said there was a lot of discussion about metal accessory buildings. The plan originally called for none, but the compromise was that they would be allowed if they couldn't be seen from the street.

Mr. Gales thanked Mr. Galbraith for the work that the Neighborhood has done on the plan.

Mr. Fiander stated that staff would appreciate any comments the Commissioners may offer, as staff will work on clarifications or revisions the Commission feels necessary.

Mr. Haugh asked who would be responsible for the review and compliance with the NCD guidelines. Mr. Fiander stated it would be the responsibility of Planning Staff, and the BZA would be the ultimate arbiter of any disagreements.

Ms. Jordan stated it's exciting to her that the neighborhood is willing to go to these lengths to initiate this to protect their neighborhood. She added that she feels neighborhoods are the strength of our city and it fits well with the new land use planning.

Mr. Gales asked why there was nothing in the NCD plan addressing sidewalks or driveways.

Ms. Hanzlik explained that the neighborhood was content with the current standards and didn't feel they needed to be more restrictive.

Motion by Mr. Woods to initiate the application for the Elmhurst NCD. Second by Ms. Ringler. Mr. Fiander pointed out that a vote for the initiation does not mean commissioners are in favor of the NCD. Mr. Gales encouraged the NA to remain sensitive to what options there might be for design and not be too explicit in the statement of design. **APPROVAL (9-0-0)**

**Minutes of the
Topeka Planning Commission**

Monday, May 16, 2016

NCD16/01 Elmhurst Neighborhood Conservation District (NCD) requesting to amend the District Zoning Classification from “R-2” Single Family Dwelling District, “HL-R2” Historic Landmark Single Family Dwelling District and “M-1” Multi-Family Dwelling District **TO** “R-2/NCD-2,” “HL-R2/NCD-2,” and “M-1/NCD-2,” adding the Elmhurst Neighborhood Conservation District Overlay to the existing base zoning, for residential properties between SW 10th Ave to the north, SW Washburn Ave to the east, SW Huntoon St to the south, and SW Boswell Ave to the west. **(Warner)**

Mr. Warner informed the Commission that Ms. Hanzlik would be presenting the item, which was initiated at the March, 2016 Planning Commission Meeting.

Ms. Hanzlik reviewed the item, pointing out that there had been some minor changes since the Commissioners had last seen it. She concluded by stating that staff recommends approval.

Mr. Gales called for questions, and Mr. Haugh asked if metal storage sheds would be banned as metal garages/carports are. Ms. Hanzlik stated that they would be banned unless they were not visible from the public street. They would be permitted if located in back of the house and screened by a fence or other screening materials.

Mr. Haugh asked if the same applied to plastic storage sheds, and Ms. Hanzlik stated that the neighborhood had not brought these up as a concern.

Mr. Gales asked for confirmation that front yard fences in place at the time of the plan’s approval would be “grandfathered” in and allowed to remain. He received confirmation of this, and also confirmation that, while ordinary maintenance/upkeep of the fences would be allowed, material modification/location changes would be subject to the new regulations.

Mr. Mark Galbraith, 1230 College Avenue, president of Elmhurst Neighborhood Association (NA), came forward representing the Neighborhood Association. He thanked the Planning Commission for allowing them to be here and began with a brief history of the neighborhood, which celebrated its 100th anniversary about 6 years ago. Items that made the neighborhood distinct in its early days included cement sidewalks throughout, streetcar lines serving the homes, new gas mains and high pressure water, universal telephone service throughout the neighborhood, and its proximity to Washburn University.

Mr. Galbraith stated that Mr. Burge, the founder of the neighborhood, brought many distinguishing factors from the Arts & Crafts movement in Great Britain, including the common themes of originality, simplicity, use of local materials, and craftsmanship throughout the building process.

Mr. Galbraith spoke to his belief that the City did a good thing in allowing for Neighborhood Conservation Districts, stating that it shows that the City recognizes there is value in the historic character of many of Topeka’s older neighborhoods.

Mr. Galbraith briefly reviewed the process the Elmhurst NA has gone through in developing their proposed NCD plan, stating that they’ve had a great deal of neighborhood involvement. He feels the NA has been very responsive to concerns that have been expressed throughout the process, and stated he believes the NA has incorporated most all of the recommendations received into the plan in its present state.

Mr. Galbraith stated that he would be happy to answer questions, and Mr. Kannarr asked him if he could think of any suggestions from neighborhood residents that were not adopted into the plan. Mr. Galbraith stated that the only one he could think of was one from a neighbor who suggested they not go forward with the plan at all. He looked to Ms. Hanzlik, who also stated that the only one that stood out to her was the one to hold off pursuing the NCD.

**Minutes of the
Topeka Planning Commission**

Monday, May 16, 2016

Mr. Gales declared the **public hearing open** and invited people to come forward to speak.

Mr. Lonnie Nessler, 1156 Boswell, came forward to speak against the plan. He stated concerns about adding rules, about not being able to put up a fence in his front yard, and not being able to put up a metal storage shed because they're cheaper than wood sheds. He added that he has been to all the Neighborhood Meetings and has been consistently unsupportive of Elmhurst being an NCD.

Mr. Gales asked Ms. Hanzlik for clarification regarding metal sheds, and Ms. Hanzlik stated that they are allowed as long as they are placed in back of the house and not visible from the street.

Mr. Phil Johnson, 1156 SW Mulvane, came forward to speak in support of the plan. He stated that the Elmhurst neighborhood has done an amazing job throughout the process and has listened to and taken into accounts all opinions.

Mr. Mark Gibbs, 1816 SW 11th, came forward to speak against the plan, stating that he believes there are enough ordinances in place without adding the NCD rules. He specifically has concerns that he wouldn't be able to build a garage that he's been considering.

Ms. Ringler had to leave due to a scheduling conflict, but before going she stated that she is in support of approving the NCD.

With nobody else coming forward to speak, Mr. Gales declared the **public hearing closed**.

Mr. Armstrong asked for clarification about rules regarding garages. Mr. Warner stated that the NCD does not address how the garage can be accessed (from the street vs. from the alley), only that it must be placed behind the house.

Mr. Gales asked how much leeway one might have regarding design of a new home. Mr. Warner confirmed that it must include some design elements that are prevalent in the neighborhood.

Motion to approve the NCD by Ms. Jordan, second by Mr. Armstrong. APPROVED (5-0-1 with Mr. Beck abstaining)



**City of Topeka
Council Action Form
Council Chambers
214 SE 8th Street
Topeka, Kansas 66603
www.topeka.org
June 21, 2016**

DATE:	June 21, 2016	
CONTACT PERSON:	Nickie Lee	DOCUMENT #:
SECOND PARTY/SUBJECT:	Doug Gerber/Lisa Robertson	PROJECT #:
CATEGORY/SUBCATEGORY		
CIP PROJECT:	No	
ACTION OF COUNCIL:		JOURNAL #:
		PAGE #:

DOCUMENT DESCRIPTION:

DISCUSSION of potential uses for the excess funds from the 2004-2016 Countywide Half Cent Sales Tax and continuation of Public Works budget item from the June 15, 2016 Budget Committee Meeting.

POLICY ISSUE:

Discuss use of excess sales tax funds. As outlined in the current interlocal agreement, unless otherwise agreed to by the parties, excess funds (less any economic development or county bridge commitments) will be distributed to the City and County in the proportional rates as provided by Kansas Law. Additionally, the June 15, 2016 Budget Committee agenda included a discussion about the Public Works budget and infrastructure which will be continued as part of this discussion.

STAFF RECOMMENDATION:

To discuss potential projects.

BACKGROUND:

The Countywide Excess Funds discussion is a continued discussion from the March 1, 2016 Council meeting.

It is estimated the City will have an excess of at least \$8 million in funds from the original 2004-2016 Countywide Half-Cent Sales Tax because all original projects are projected to be completed by year end and these are unallocated funds that can be used for any purpose although, State law restricts use of any proceeds (excess or not) as a guarantee for the payment of bonds issued by a city or county. K.S.A. 12-195. In the spirit of the original ballot language, the City believes the best use of these funds is for infrastructure.

Attached is the current interlocal agreement (City of Topeka Contract No. 34790) with the County. Subsection 3(a) addresses excess sales tax funds:

“Upon the later of the expiration or termination of the sales tax and the completion of and payment for the projects described/listed in Attachment A and the Topeka Boulevard Bridge project, the committee shall inform the City and County of any money remaining in the account. Unless otherwise agreed to by the parties, these excesses monies, less any economic development (as provided by paragraph five of this agreement) or county bridge (as provided by paragraph six of this agreement) commitments, shall be distributed to the City and County in the proportional rates as provided by Kansas law at the time of the excess monies determination.” Shawnee County Resolution No. 2015-12 has indicated that it will use its portion of the unallocated funds from the 2004-2016 Citywide Half-Cent Sales Tax for the replacement of the NW Carlson Road Bridge over the Kansas River.

Additionally, the June 15, 2016 Budget Committee Agenda included the following item: Discuss Infrastructure, including an update on 2016 initiatives (\$12m in local streets, streetlights, 8 Equipment Operators) and an update on the Pavement Management Plan. Due to time constraints, these items along with discussing the Public Works General Fund budget were not addressed so they have been extended to the June 21, 2016 Discussion.

BUDGETARY IMPACT:

The excess funds have been included in the 2016 budget and proposed 2017 budget. Individual project budgets would need to be approved if not included in the CIP. The Public Works discussion is included in the proposed 2017 budget.

SOURCE OF FUNDING:

Countywide Half-Cent Sales Tax, Citywide Half Cent Sales Tax, General Fund, Motor Fuel Fund, GO Bonds

ATTACHMENTS:

Description

Interlocal Agreement (City Contract No. 34790) 2004-2016

Shawnee County Resolution No. 2015-12

2016-2017 CIP Street Maps and Transportation Operations Data

INTERLOCAL AGREEMENT

(Shawnee County Contract No. C334-2004)

(City of Topeka Contract No. 34790)

AN INTERLOCAL AGREEMENT RELATING TO FINANCING COUNTYWIDE INFRASTRUCTURE DEVELOPMENT AND ECONOMIC DEVELOPMENT TO BE FUNDED BY A ONE-HALF OF ONE CENT COUNTYWIDE RETAILERS' SALES TAX

THIS AGREEMENT is entered into this 9th day of December, 2004, by and between THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF SHAWNEE, KANSAS, a governmental subdivision of the State of Kansas, hereinafter referred to as the "County," and THE CITY OF TOPEKA, KANSAS, a duly organized municipal corporation hereinafter referred to as the "City."

WHEREAS, on the August 3, 2004 election, the voters of Shawnee County approved a countywide retailers' sales tax in the amount of one-half of one cent to be levied in Shawnee County, Kansas and to take effect on January 1, 2005 and expire on December 31, 2016, to provide revenue to finance economic development and countywide infrastructure development and replacing the existing one-quarter of one cent retailer's sales tax; and

WHEREAS, economic development is defined as the implementation of the economic development priorities established on a yearly basis by the Joint Economic Development Organization (JEDO), guided by the Topeka/Shawnee County Economic Development Plan to the extent such a plan has been adopted by both parties. For purposes of this agreement, economic development includes research, target marketing, existing business retention and expansion, new business recruitment, infrastructure development, site acquisition, incentive funds, workforce training and expansion, and other such activities; and

WHEREAS, countywide infrastructure improvements include all the projects listed on the August 3, 2004 ballot question; and

WHEREAS, the County and City desire to enter into an interlocal agreement, pursuant to K.S.A. 12-2901 *et seq.*, relating to financing countywide infrastructure improvements and economic development to be funded by a one-half of one cent countywide retailers' sales tax and that shall rescind the existing interlocal agreement regarding the same; and

WHEREAS, the County and the City agree to a joint countywide economic development program as authorized by K.S.A. 12-2901 *et seq.*;

NOW THEREFORE, IN CONSIDERATION OF THE MUTUAL COVENANTS CONTAINED HEREIN, THE PARTIES AGREE AS FOLLOWS:

1. The County and City hereby desire to continue the Joint Economic Development Organization, hereinafter referred to as "JEDO", a separate legal entity created by Shawnee County Contract No. C261-2001 and City of Topeka Contract No. 31439, and authorize said JEDO to provide the economic development program for the County and the City. This agreement shall rescind Shawnee County Contract No. C261-2001 and City of Topeka Contract No. 31439. All other contracts and resolutions approved by JEDO prior to this agreement shall remain in full force and effect. JEDO shall be organized according to the following provisions:

- a) The JEDO shall be composed of a seven (7) member board containing the three (3) County Commissioners, the Mayor, Deputy Mayor, and two (2) City Council members. If the Deputy Mayor or other voting City Council member of the board cannot be present at a meeting, an alternate may be

appointed to serve at that meeting, with full voting rights. The alternate shall be a City Council member of the absent member's choice. The Chair of said JEDO shall rotate between the County and the City on a yearly basis with each municipality having sole discretion to designate its Chairperson. The County shall have the Chair in even numbered years. The remaining six (6) City Council members shall be ex-officio (non-voting) members of the JEDO; and

- b) The JEDO shall establish its own operational policies and procedures. The JEDO may employ such staff as is necessary for the performance of the functions and purposes of this agreement (see K.S.A. 12-2904a); and
- c) This contract shall be operative upon final approval of this Interlocal Agreement by the County and the City as well as the Attorney General's Office and shall be in existence for the life of the retailers' sales tax plus one (1) year. The JEDO shall have the authority to own and hold property. Any property held by the JEDO at its termination shall revert jointly to the County and City; and
- d) The JEDO shall be subject to the provisions of the Kansas Open Meetings Act, K.S.A. 75-6101, and the Kansas Open Records Act, K.S.A. 45-221; and
- e) There shall be an annual audit of the JEDO completed in accordance with approved accounting standards. Such audit and report shall be provided to the City and County and filed with the City Clerk and County Clerk and at the Topeka-Shawnee County Public Library. Both the City Clerk and the

County Clerk shall be authorized agents for the purpose of obtaining information about this one-half of one cent countywide retailers' sales tax from the Kansas Department of Revenue.

2. On or before November 1st of each year, the City Council, the Mayor, and the County Commission shall meet for purposes of considering the economic development priorities for the coming year. Thereafter, but not later than January 1st, the JEDO shall establish the economic development priorities for the next year based on the input received from the joint meeting of the City Council, the Mayor, and the County Commission. If for any reason priorities are not established by the JEDO for the next year, the priorities as established for the previous year shall remain in effect.

3. There is hereby created the JEDO Finance Committee. This Committee shall be composed of the Shawnee County Public Works Director, the Topeka Public Works Director, the Shawnee County Financial Administrator, and the Topeka City Manager or a designee. The City and County shall transfer all of the sales tax receipts into an account created and maintained by the Committee. Such account will be the holding account for all the money needed to complete the economic development program and infrastructure improvements. When money is needed for the economic development program or to further any of the infrastructure improvements, this account shall be drawn upon by the signatures of two members of the Committee, one from the City and one from the County. The actions of the JEDO and the JEDO Finance Committee with respect to the completion of the infrastructure improvements and the economic development program contained in the ballot question shall be ministerial and not discretionary.

- a) Upon the later of the expiration or termination of the sales tax and the completion of and payment for the projects described/listed in Attachment A and the Topeka Boulevard Bridge project, the committee shall inform the City and County of any money remaining in the account. Unless otherwise agreed to by the parties, these excess monies, less any economic development (as provided by paragraph five of this agreement) or county bridge (as provided by paragraph six of this agreement) commitments, shall be distributed to the City and County in the proportional rates as provided by Kansas law at the time of the excess monies determination.

4. The County dedicated one (1) mill of *ad valorem* taxes in fiscal year 2002 to JEDO for economic development. This money was considered a loan to the economic development program and was to be repaid within four (4) years with no interest to the County from the one-quarter of one cent countywide retailers' sales tax. Such loan shall continue to be repaid in equal installments over the remainder of the four (4) year collection period using revenue collected from the one-half of one cent countywide retailers' sales tax. There are no changes to the terms and conditions of this loan.

5. Beginning in fiscal year 2005 and continuing throughout the life of the retailers' sales tax, the JEDO shall dedicate on an annual basis Five Million Dollars (\$5,000,000) of funds collected by the retailers' sales tax to the economic development program. Such dedication shall be made in equal monthly installments of \$416,666.66. Said monthly installments shall begin once the January 2005 collections are distributed by the Kansas Department of Revenue to the City and County. Any economic

development entity that contracts with JEDO will understand this lag in collection payments may result in receiving its initial payments late.

6. After each monthly distribution of funds as described in paragraph five, all sales tax receipts collected shall be dedicated to County bridges until such time as One Million Five Hundred Thousand Dollars (\$1,500,000) has been collected each year of the sales tax.

7. Beginning in 2007 and continuing through 2016, payments to cover the debt service of the Topeka Boulevard Bridge project shall be made. Such dedication shall occur after the payments as described in paragraphs four through six are made. The Topeka Boulevard Bridge project shall include, but not be limited to, the planning and construction projects previously approved by the Council of the City of Topeka pursuant to Ordinance Nos. 17701, 17814, 18041 and 18317.

8. All money collected in excess of the amounts set forth in paragraphs four through seven shall be distributed monthly to the JEDO Finance Committee account. JEDO shall be required to expend sufficient money to complete all of the remaining infrastructure improvements as specified in the August 3, 2004 primary election ballot question. The governing bodies and JEDO shall adhere as closely as possible to the project and payment schedule as set forth in attachment A, subject to formal approval of the projects by the appropriate governing body. Nothing in this agreement shall be construed as precluding the sales tax ballot projects being completed earlier than scheduled.

9. The JEDO shall have the authority to contract with an independent contractor to direct the economic development program. Any such contract shall

endeavor to use an amount not less than ten percent (10%) of the funds received to support economic development for socially and economically disadvantaged individuals and/or business enterprises. Any such contract shall be limited to one (1) year and subject to an annual review by the JEDO. In addition, any such contracts shall include a requirement that the contractor respond promptly to inquiries from both voting and non-voting members of the board.

10. This agreement may not be terminated by either party as it is expressly acknowledged that this agreement is time limited, revenue specific, and funded with dedicated retailers' sales tax receipts. Unless required by elector petition as provided by K.S.A. 12-187(b)(1), neither the County or City shall submit the question of repeal of the countywide retailers' sales tax approved on August 3, 2004 to the voters during the term of this agreement unless such question contains an enhancement of the countywide retailers' sales tax.

11. The parties acknowledge and agree that this agreement for the distribution of sales tax revenues is a commitment for the protection of the public property, interests, and affairs being administered. Consequently, this agreement is expressly intended by the parties to be binding on future JEDO Boards, Boards of Shawnee County Commissioners, and Topeka City Councils.

12. This agreement is solely for the benefit of the parties hereto and no third party shall be entitled to claim or enforce any rights hereunder.

13. This agreement contains all of the agreements and understandings between the parties concerning its subject matter. The parties acknowledge and agree that this agreement supersedes all prior agreements and understandings, whether or not written.

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be executed as of the date first above written.



BOARD OF COUNTY COMMISSIONERS
SHAWNEE COUNTY, KANSAS

Theodore D. Ensley
Theodore D. Ensley, Chairman

ATTEST:

Cynthia A. Beck
Cynthia A. Beck, Shawnee County Clerk

APPROVED AS TO FORM AND LEGALITY BY THE SHAWNEE COUNTY COUNSELOR'S OFFICE	
DATE <u>12/9/04</u>	BY <u>[Signature]</u>

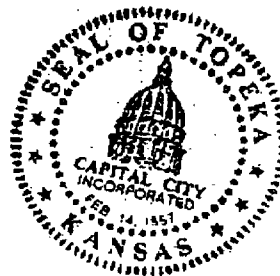
CITY OF TOPEKA, KANSAS

James A. McClinton
James McClinton, Mayor

ATTEST:

Iris E. Walker
Iris E. Walker, Topeka City Clerk

APPROVED AS TO FORM AND LEGALITY BY THE CITY ATTORNEY'S OFFICE	
DATE <u>12/8/04</u>	BY <u>[Signature]</u>



ATTACHMENT A

SALES TAX INFRASTRUCTURE PROJECT SCHEDULE

PROJECT	CONSTRUCTION YEAR	PROJECT ADMINISTRATION AGENCY
SW Wanamaker Road & 53rd Intersection	2007	County
SW 21st Street & Urish Road Intersection	2007	City
SE Croco Road: SE 21st to SW 29th	2008	County
SW 29th Street: SW Wanamaker Road to SW Urish Road	2008	City
SW Wanamaker Road: SW 41st Street to SW 53rd Street	2009	County
SW Wanamaker Road & SW 61st Intersection	2010	County
SE Croco Road: SE 6th Street to Sycamore (I-70)	2010	County
SW Wanamaker Road: 61st Street to 53rd Street	2011	County
SE 45th Street: S. Topeka Blvd to SE Adams	2012	County
SW 21st Street: City Limits to Urish Road	2013	City
SE 45th Street: SE Adams to SE California	2014	County
SW 21st Street: SW Urish Road to SW Indian Hills Road	2015	City
N. Topeka Blvd & 46th Intersection	2016	County

RESOLUTION NO. 2015-12

**A RESOLUTION DEDICATING SHAWNEE COUNTY'S PORTION OF EXCESS SALES TAX
REVENUE TO THE REPLACEMENT OF THE NW CARLSON ROAD BRIDGE OVER THE
KANSAS RIVER**

SPONSORED BY COMMISSIONER BUHLER

WHEREAS, the one half percent (.5%) countywide retailers' sales tax approved by the voters in 2004 provided revenue for public purposes, including county bridges; and

WHEREAS, it is anticipated that there will be unallocated funds remaining when the sales tax expires on December 31, 2016; and

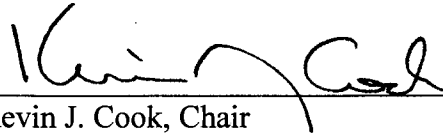
WHEREAS, the Board of County Commissioners believes that replacement of the NW Carlson Road Bridge over the Kansas River is vital; and

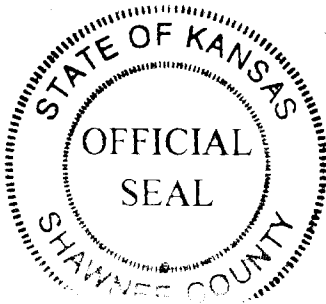
WHEREAS, the Board of County Commissioners desires to dedicate the County's portion of the unallocated funds from the 2004 retailers' sales tax to the replacement of the NW Carlson Road Bridge over the Kansas River:

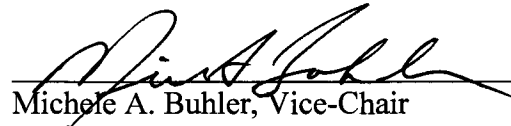
NOW, THEREFORE, BE IT RESOLVED by The Board of County Commissioners of the County of Shawnee, Kansas, meeting in regular session this 5th day of February, 2015 as follows:

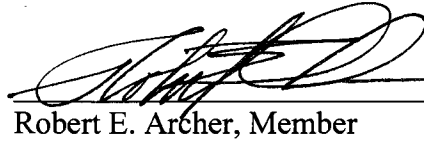
1. Shawnee County shall dedicate its portion of the unallocated funds from the 2004 retailers' sales tax to the replacement of the NW Carlson Road Bridge over the Kansas River.

**BOARD OF COUNTY COMMISSIONERS
SHAWNEE COUNTY, KANSAS**

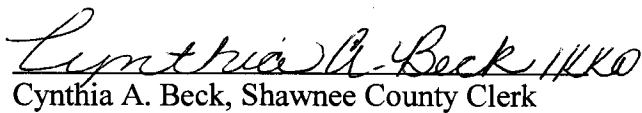

Kevin J. Cook, Chair




Michele A. Buhler, Vice-Chair


Robert E. Archer, Member

ATTEST:

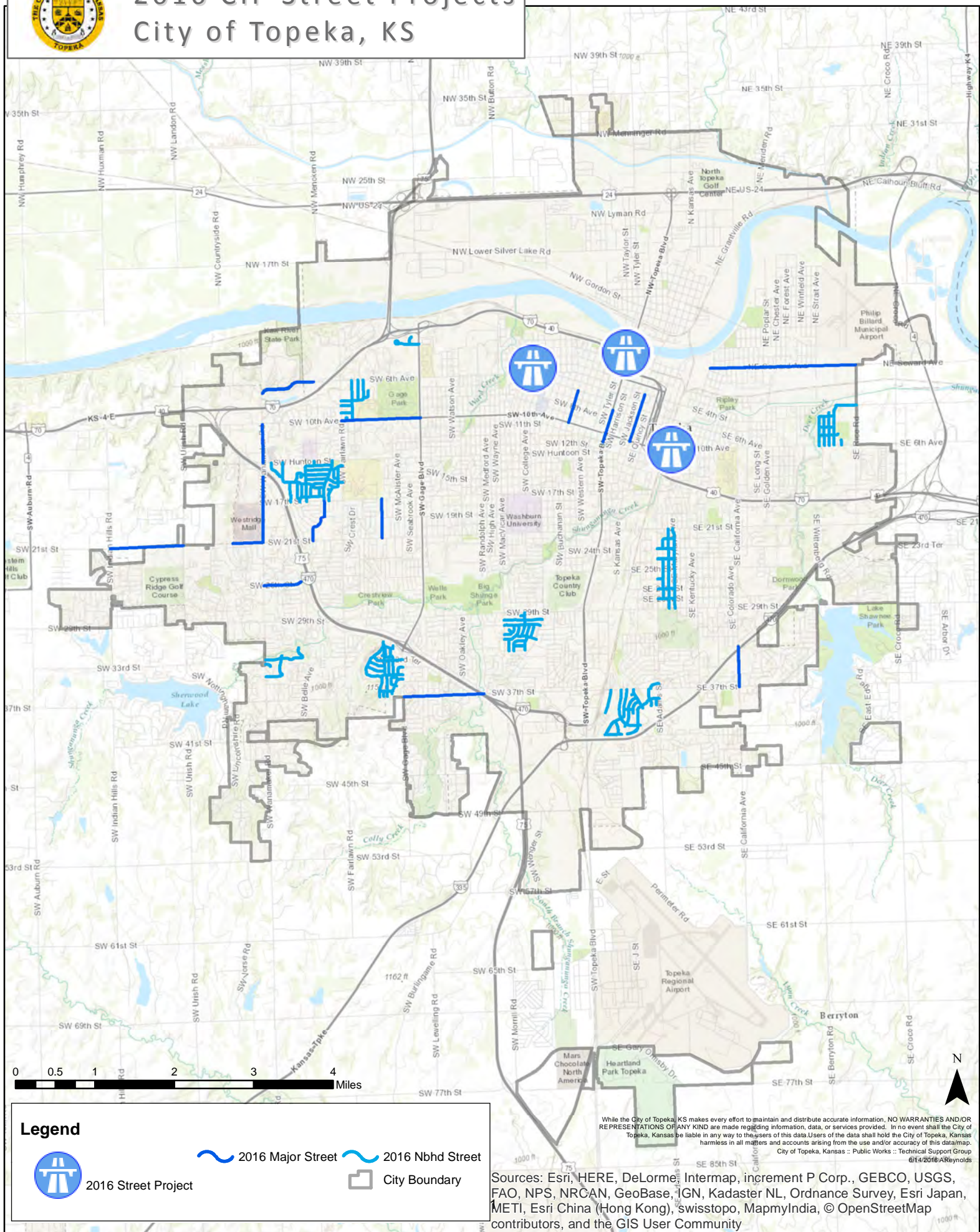

Cynthia A. Beck, Shawnee County Clerk

APPROVED AS TO FORM AND LEGALITY BY THE SHAWNEE COUNTY COUNSELOR'S OFFICE	
DATE <u>2-4-15</u>	BY <u>Jel</u>



2016 CIP Street Projects City of Topeka, KS

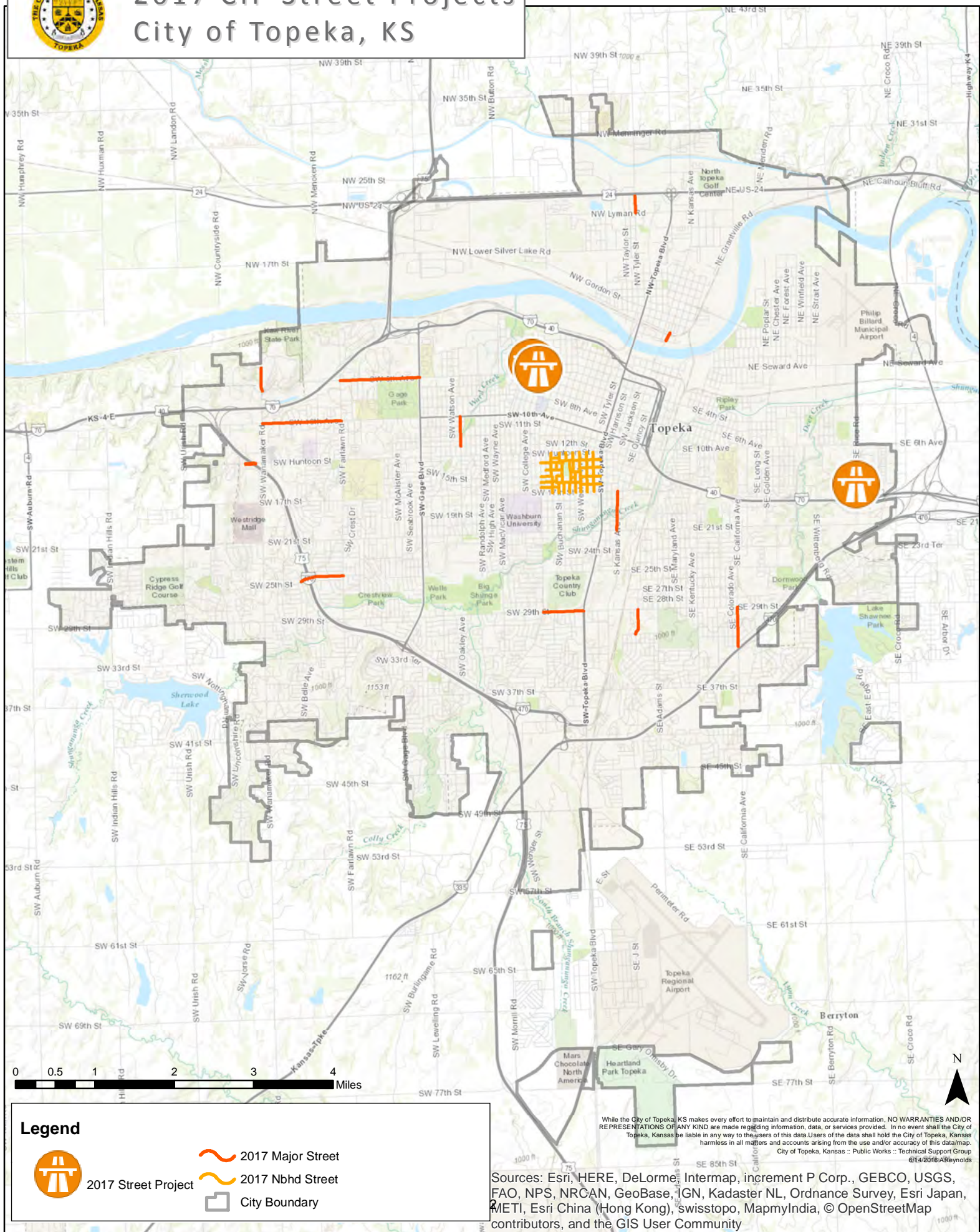
Streets Update for 6/21/16
Governing Body Discussion

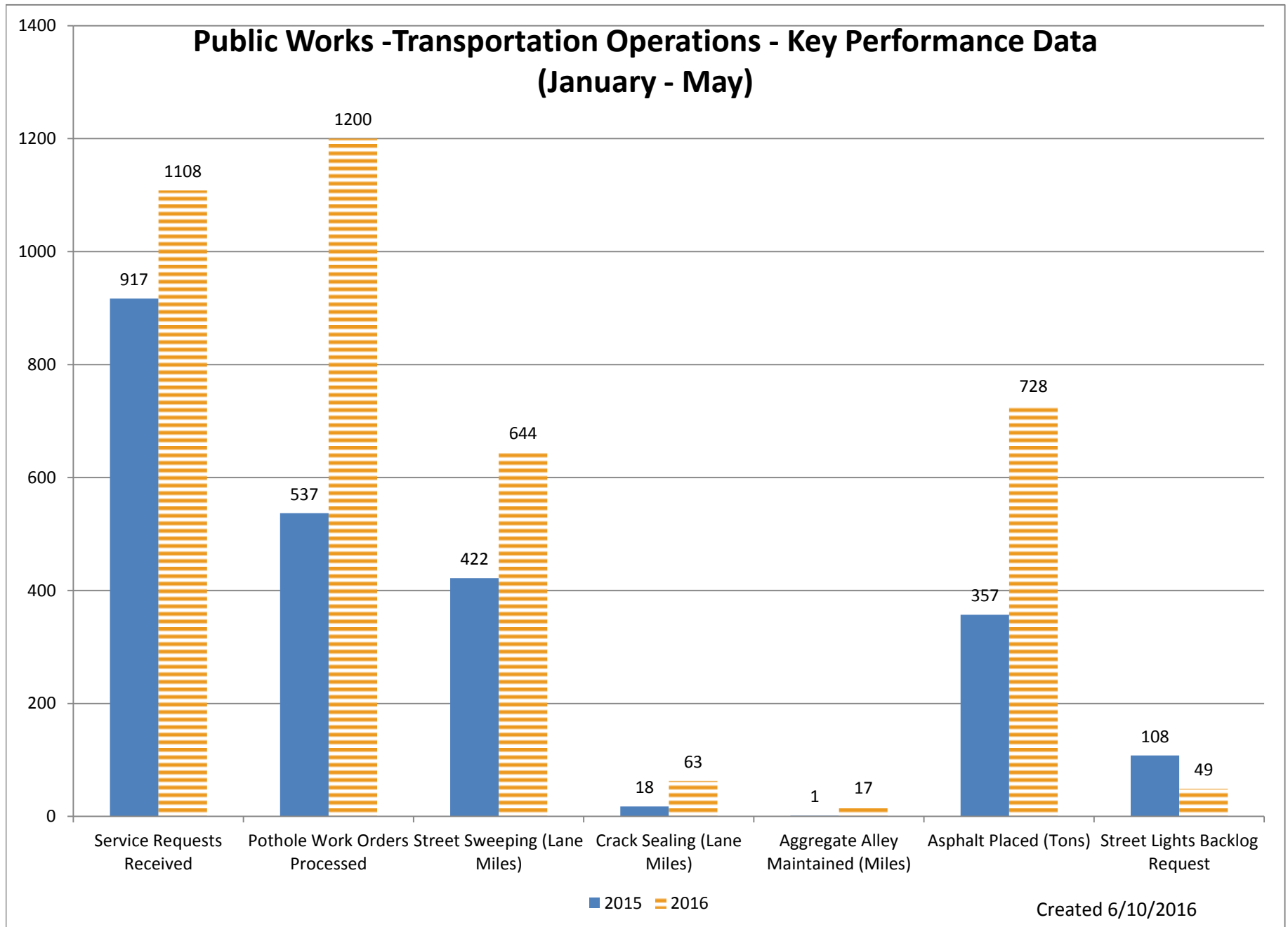




2017 CIP Street Projects City of Topeka, KS

Streets Update for 6/21/16
Governing Body Discussion





Pavement Management

		Funding Source			
		Operations Budget	1/2 Cent City Wide	Countywide Sales Tax	GO Bonds
Pavement Strategy	Preventative Maintenance	X	X		
	Rehabilitation	X	X	X	X
	Reconstruction	X	X	X	X
	Deferred Maintenance	X	X		
	Capacity			X	X

Funding Allocations

		2017 Funding Source				Totals
		Operations Budget	1/2 Cent City Wide	Countywide Sales Tax	GO Bonds	
Pavement Strategy	Preventative Maintenance	\$ 350,000	\$ 1,000,000			\$ 1,350,000
	Rehabilitation	\$ 1,300,000	\$ 2,000,000	\$ -	\$ 2,200,000	\$ 5,500,000
	Reconstruction	\$ 610,000	\$ 8,500,000	\$ 500,000	\$ 2,900,000	\$ 12,510,000
	Deferred Maintenance	\$ 1,600,000	\$ -			\$ 1,600,000
	Capacity			\$ -	\$ 2,400,000	\$ 2,400,000
		\$ 3,860,000	\$ 11,500,000	\$ 500,000	\$ 7,500,000	\$ 23,360,000

Created: 06/13/2016